

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

12-5-23

Donald Dudley, Jr.
Penny Design, LLC
302 Sandia Rd NW
Albuquerque, NM 87107

Re: Seven Clover
3641 12th St NW
Site Plan
Architect's Stamp 8-27-23 (G14D062)

Dear Mr. Dudley,

Based upon the information provided in your submittal received 12-4-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

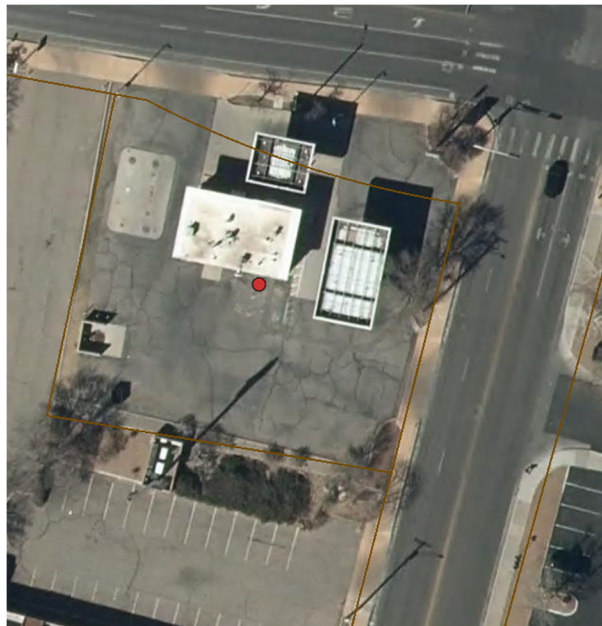
1. Complete the Traffic Scoping Form and send to Matt Grush.
2. The BernCo Assessor database shows an interesting property line (Brown line) along the northern boundary. See below:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Please confirm this is the correct property line or provide information (e.g. plat) that shows a different property line.

3. Provide the use of the building per the IDO, rather than "Commercial Building", so parking requirements are known.
4. Provide the required amount of parking and the provided amount of parking.
5. Show the location of the front door.

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6. Please explain the purpose of Note 6 as it applies to this submittal or remove it.
7. Show the mini clear sight triangles at both drive pads.
8. Keyed Note 9 and Note 7: You could delete Note 7 and Keyed Note 9 could read "Remove existing drive entrance. Replace with curb and gutter per COA STD Dwg 2415A and construct sidewalk per COA STD DWG 2430, matching adjacent sidewalk width and color.
9. Note 7 should be removed or rewritten. You don't need a drive-pad drawing as the drive-pad is being removed and this plan should include all notes for constructing transportation related items.
10. Provide the dimension for the angled parking, including the angle.
11. The drive aisle near the Candelaria entrance is labeled s 4'-9" wide. The minimum for 2-way traffic is 22 feet.
12. Show the 6' ADA accessible route from a City ROW to the front door.
13. I could not locate the leader for Keyed Note 1.
14. It appears the leaders for Keyed notes 2,3 and 4 are for the handicap parking rather than for the motorcycle parking. For motorcycle parking you just need a motorcycle parking sign, which are 12" x 18" rather than the 12" x 12" as shown. Some designers put an "MC" in large letters at the entrance to the motorcycle parking stall.
15. Handicap (HC) parking:
 - a. Signage: See image attached to the email. Remove non-compliant sign images "Reserved Parking".
 - b. Note 2: refers to signage, where it should refer to a pavement marking. Recommend putting this in the Keyed Note area.
 - c. HC parking should be near the front door.
 - d. Please add a length dimension to the HC parking stall.
 - e. The HC sign should be in front of the parking space, rather than in front of the "No Parking" aisle.
16. Keyed note 5 refers to "2'x5'-2" – gabion...". Are they to be constructed on the walking surface as shown?
17. It appears there is a sidewalk to be built around three sides of the building. Provide build notes, including the width. This may necessitate the need for a handicap ramp.
18. Bicycle parking:
 - a. Parking is to be separated from vehicle parking areas and driveways by a barrier such as a curb or bollard.
 - b. Keyed Note 7 references Notes 9 and 10 and Detail C6, which don't exist. Please revise note and provide Detail C6.
 - c. You will most likely need to provide 3 bicycle parking spaces.
19. Provide Fire and Solid Waste Dept. approvals.

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Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

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