

### GENERAL NOTES:

- DRAWINGS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD SURVEYS BY THE ARCHITECT. THE CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION, AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISH SURFACES SHOULD BE ALIGNED TO CONCEAL ALL JOINTS, ETC., OR TO MAKE AS INCONSPICUOUS AS POSSIBLE AT ALL TRANSITIONS.
- ALL EQUIPMENT AND OTHER ITEMS TO BE REMOVED SHALL BE SALVAGED TO THE OWNER, U.N.D. PROVIDE SEPARATE FENCED STORAGE AREA TO TEMPORARILY HOLD AND PROTECT SALVAGED ITEMS UNTIL OWNER IS PREPARED TO TAKE POSSESSION. COVER AND PROTECT ITEMS FROM DETERIORATION DUE TO WEATHER, ETC.
- CONTRACTOR TO REPAIR OR REPLACE ALL ITEMS DAMAGED AS A RESULT OF CONSTRUCTION DURING COURSE OF WORK. RESTORE ALL REPAIRED ITEMS TO CONSISTENT APPEARANCE AND TO MAINTAIN INTEGRITY OF ALL ITEMS. PREPARE ALL SURFACES, NEW AND EXISTING, AS REQUIRED TO RECEIVE NEW FINISHES AS INDICATED ON PLANS AND FINISH SCHEDULE.
- ALL ACTIVE PIPING, EQUIPMENT, ETC., SERVING FIXTURES AND EQUIPMENT TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL ACTIVE ELECTRICAL WIRING, EQUIPMENT, ETC., SERVING LIGHTING, POWER, ETC. TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL WIRING, PIPING, AND EQUIPMENT FOR MECHANICAL OR ELECTRICAL USED WHICH HAVE BEEN, OR ARE TO BE ABANDONED SHALL BE REMOVED AND CAPPED OFF AS NECESSARY TO CONCEAL ALL REMAINING ELEMENTS WITHIN THE CONSTRUCTION TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS AS A RESULT OF MECHANICAL AND ELECTRICAL MODIFICATIONS. RESTORE ALL ITEMS TO BE PATCHED AND/OR REPAIRED TO CONSISTENT APPEARANCE AND MAINTAIN INTEGRITY OF ALL ITEMS.
- AN AS-BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT (INCLUDING A LETTER OF CERTIFICATION STATING THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL). VERIFICATION OF TCL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O. FOR TRANSPORTATION. INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET. ONCE MINOR CHANGES TO THE TCL (SITE PLAN) REQUIRED BY TRANSPORTATION ARE VERIFIED AS ACCEPTABLE TO HYDROLOGY.

### KEYED NOTES:

- ASPHALT PAVING OVER BASE, OVER COMPACTED SUBGRADE PER CIVIL DRAWINGS. MATCH EXISTING THICKNESS OF ASPHALT AND BASE.
- CONCRETE DRIVE THRU ISLANDS W/BOLLARDS. SEE ENLARGED PLAN INDICATED AND DETAIL 2/AS2.
- RESURFACE EXISTING ASPHALT PAVING.
- 4" WIDE ASPHALT PAINT MARKINGS AS SHOWN.
- EXISTING RETAINING WALL TO REMAIN.
- NEW CANOPY STRUCTURE AND ISLAND CONSTRUCTION. SEE STRUCTURAL DWGS.
- EXISTING CONCRETE DRIVE THRU ISLANDS TO REMAIN.
- REPLACE BOLLARDS IN EXISTING ISLAND.
- NEW DRIVE-UP TELLER ADDITION. SEE FLOOR PLAN.
- CONSTRUCT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
- TRASH ENCLOSURE. SEE DETAIL INDICATED.
- ATM MACHINE (OWNER FURNISHED AND INSTALLED) CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- DRIVE-UP TELLER MACHINE (OWNER FURNISHED AND INSTALLED), CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- REMOVE AND DISPOSE OF EXISTING CURB AND CONCRETE.
- REMOVE EXISTING PARKING ISLAND.
- REMOVE EXISTING PARKING STRIPES (DASHED PARKING LINES INDICATE THOSE TO BE REMOVED).
- EXISTING METER ENCLOSURE.
- EXISTING HANDICAP ACCESSIBLE PARKING SPACES.
- EXISTING LANDSCAPED AREAS TO REMAIN.
- NEW LANDSCAPE AREA.
- EXISTING YARD HYDRANT IN SIDEWALK TO BE USED FOR IRRIGATION.
- BICYCLE RACK.
- NEW HANDICAP RAMP PER CITY STANDARDS.
- EXIT ONLY SIGN.
- EXISTING HANDICAP RAMP TO REMAIN.
- EXISTING PARK TO REMAIN.
- PAINT ARROWS AS SHOWN.
- NEW SIGN TO INDICATE "OWNER PARKING ONLY".
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN. RE-STRIPES ENTIRE PARKING TO CITY STANDARDS.
- NEW SIGN TO INDICATE "EXIT ONLY".
- EXISTING H.C. PARKING TO REMAIN.
- ALIGN REFUSE ENCLOSURE TO 6" CONCRETE CURB AT THIS POINT.

### LANDSCAPE CALCULATIONS

GROSS LOT AREA: 83,920 SQ. FT.  
LESS BUILDING AREA: 10,960 SQ. FT.  
NET LOT AREA: 72,960 SQ. FT.  
REQUIRED LANDSCAPING: 10,944 SQ. FT.  
PROVIDED LANDSCAPING: 8,674 SQ. FT.

### PLANT SCHEDULE

KEY	COMMON NAME	SIZE	QUANTITY
T1	SHADE MASTER HONEY LOCUST	2" CALIPER	11
T2	DESERT WILLOW	2" CALIPER	6
S5	CHINESE FOUNTAIN GRASS	12" TALL (1 GAL)	10
GRD COVER	CRUSHER FINES-SANTA ANA TAN		2" DEEP

WATERING SHALL BE OWNER'S RESPONSIBILITY.  
YARD HYDRANTS EXIST AT SITE FOR HAND WATERING.

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
*[Signature]* 4/10/01  
Date

NOTE: TEMPORARY C.O. WILL NOT BE ISSUED UNTIL REVISED APPROVED GRADING & DRAINAGE PLAN (BY HYDROLOGY) IS IN PERMIT SET AND HAS BEEN REVIEWED BY TRANSPORTATION DEVELOPMENT.

SITE-PLAN-NEW CONSTRUCTION  
SCALE: 1"=20'-0"

**NIMS, CALVANI & ASSOCIATES, P.A.**  
ARCHITECTS • PLANNERS • AIA

ALBUQUERQUE  
525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-6400  
FAX: (505) 268-6954  
LAS CRUCES  
425-C N. TOLSON, SUITE 203  
LAS CRUCES, NEW MEXICO 88011  
(505) 521-3757  
FAX: (505) 521-3880



WELLS FARGO  
BANK RENOVATIONS  
FOURTH STREET BRANCH  
ALBUQUERQUE, NEW MEXICO  
SITE PLAN

REVISIONS  


  
DRAWN BY: KJM CHECKED BY: JL  
JOB NUMBER: 0067  
DATE: 01.08.01  
SHEET NUMBER: AS1.1



# GENERAL NOTES:

- DRAWINGS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD SURVEYS BY THE ARCHITECT. THE CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION, AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISH SURFACES SHOULD BE ALIGNED TO CONCEAL ALL JOINTS, ETC., OR TO MAKE AS INCONSPICUOUS AS POSSIBLE AT ALL TRANSITIONS.
- ALL EQUIPMENT AND OTHER ITEMS TO BE REMOVED SHALL BE SALVAGED TO THE OWNER, U.N.D. PROVIDE SEPARATE FENCED STORAGE AREA TO TEMPORARILY HOLD AND PROTECT SALVAGED ITEMS UNTIL OWNER IS PREPARED TO TAKE POSSESSION. COVER AND PROTECT ITEMS FROM DETRIORATION DUE TO WEATHER, ETC.
- CONTRACTOR TO REPAIR OR REPLACE ALL ITEMS DAMAGED AS A RESULT OF CONSTRUCTION DURING COURSE OF WORK. RESTORE ALL REPAIRED ITEMS TO CONSISTENT APPEARANCE AND TO MAINTAIN INTEGRITY OF ALL ITEMS.
- PREPARE ALL SURFACES, NEW AND EXISTING, AS REQUIRED TO RECEIVE NEW FINISHES AS INDICATED ON PLANS AND FINISH SCHEDULE.
- ALL ACTIVE PIPING, EQUIPMENT, ETC., SERVING FIXTURES AND EQUIPMENT TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL ACTIVE ELECTRICAL WIRING, EQUIPMENT, ETC., SERVING LIGHTING, POWER, ETC., TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL WIRING, PIPING, AND EQUIPMENT FOR MECHANICAL OR ELECTRICAL USED WHICH HAVE BEEN, OR ARE TO BE ABANDONED SHALL BE REMOVED AND CAPPED OFF AS NECESSARY TO CONCEAL ALL REMAINING ELEMENTS WITHIN THE CONSTRUCTION TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS AS A RESULT OF MECHANICAL AND ELECTRICAL MODIFICATIONS. RESTORE ALL ITEMS TO BE PATCHED AND/OR REPAIRED TO CONSISTENT APPEARANCE AND MAINTAIN INTEGRITY OF ALL ITEMS.
- AN AS-BUILT COPY OF THE APPROVED TOL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT (INCLUDING A LETTER OF CERTIFICATION STATING THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TOL). VERIFICATION OF TOL ACCEPTABILITY (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O. FOR INSPECTION OF CONSTRUCTION FOR C.O. FOR TRANSPORTATION. WILL BE DONE FROM THIS SHEET. ONCE MINOR CHANGES TO THE TOL (SITE PLAN) REQUIRED BY TRANSPORTATION ARE VERIFIED AS ACCEPTABLE TO HYDROLOGY.

## KEYED NOTES:

- ASPHALT PAVING OVER BASE, OVER COMPACTED SUBGRADE PER CIVIL DRAWINGS. MATCH EXISTING THICKNESS OF ASPHALT AND BASE. AND DETAIL 2/ AS2.1
- CONCRETE DRIVE THRU ISLANDS W/BOLLARDS. SEE ENLARGED PLAN INDICATED
- CONCRETE CURB. SEE CIVIL DRAWINGS.
- RESURFACE EXISTING ASPHALT PAVING.
- WIDE ASPHALT PAINT MARKINGS AS SHOWN.
- EXISTING RETAINING WALL TO REMAIN.
- NEW GARDEN STRUCTURE AND ISLAND CONSTRUCTION. SEE STRUCTURAL DWGS.
- EXISTING CONCRETE DRIVE THRU ISLANDS TO REMAIN.
- REPLACE BOLLARDS IN EXISTING ISLAND.
- NEW DRIVE-UP TELLER ADDITION. SEE FLOOR PLAN.
- CONSTRUCT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
- FLASH ENCLOSURE. SEE DETAIL INDICATED.
- ATM MACHINE (OWNER FURNISHED AND INSTALLED) CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- DRIVE UP TELLER MACHINE (OWNER FURNISHED AND INSTALLED).
- CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- REMOVE AND DISPOSE OF EXISTING CURB AND CONCRETE.
- REMOVE AND DISPOSE OF EXISTING PARKING STRIPES.
- REMOVE EXISTING PARKING STRIPES (DASHED PARKING LINES INDICATE THOSE TO BE REMOVED).
- EXISTING METER ENCLOSURE.
- EXISTING HANDICAP ACCESSIBLE PARKING SPACES.
- EXISTING LANDSCAPED AREAS TO REMAIN.
- NEW LANDSCAPE AREA.
- EXISTING YARD HYDRANT IN SIDEWALK TO BE USED FOR IRRIGATION.
- EXISTING RACK.
- NEW HANDICAP RAMP. PER CITY STANDARDS.
- EXIT ONLY SIGN.
- EXISTING HANDICAP RAMP TO REMAIN.
- EXISTING CURB TO REMAIN.
- PAINT MARKINGS AS SHOWN.
- NEW SIGN TO INDICATE "OWNER PARKING ONLY".
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN.
- NEW SIGN TO INDICATE "EXIT ONLY".
- EXISTING H.C. PARKING TO REMAIN.
- ALIGN REFUSE ENCLOSURE TO 6" CONCRETE CURB AT THIS POINT.

## LANDSCAPE CALCULATIONS

GROSS LOT AREA: 83,920 SQ. FT.  
LESS BUILDING AREA: 10,960 SQ. FT.  
NET LOT AREA: 72,960 SQ. FT.  
REQUIRED LANDSCAPING: 10,944 SQ. FT.  
PROVIDED LANDSCAPING: 8,674 SQ. FT.

## PLANT SCHEDULE

KEY	COMMON NAME	SIZE	QUANTITY
T1	SHADE MASTER MONEY LOCUST	2" CALIPER	11
T2	DESERT WILLOW	2" CALIPER	6
T3	CHINESE FOUNTAIN GRASS	12" TALL (1 GAL)	10
GRD COVER	CRUSHER FINES-SANTA ANA TAN	2" DEEP	

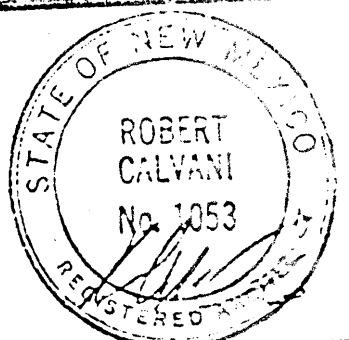
WATERING SHALL BE OWNER'S RESPONSIBILITY.  
YARD HYDRANTS EXIST AT SITE FOR HAND WATERING.

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
amended JCH 5/18/01  
4/17/01  
D100

NIMS, CALVANI & ASSOCIATES, P.A.  
ARCHITECTS • PLANNERS • AIA

505 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 255-8400  
FAX: (505) 288-5954

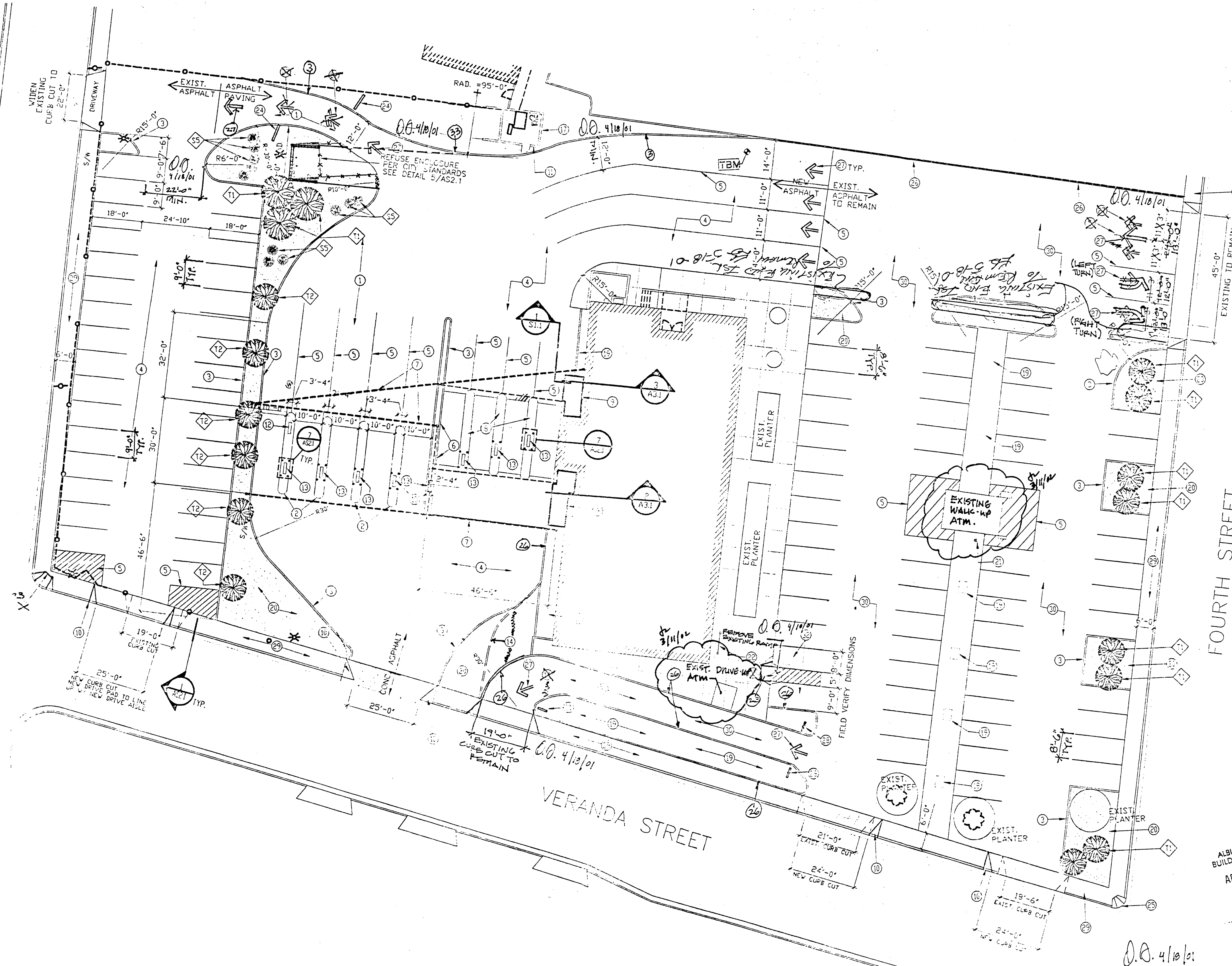
425-C N. TELSHOR, SUITE 103  
LAS CRUCES, NEW MEXICO 88001  
(505) 521-3757  
FAX: (505) 521-3530



WELLS FARGO  
BANK RENOVATIONS  
FOURTH STREET BRANCH  
ALBUQUERQUE, NEW MEXICO

SITE PLAN

AS11



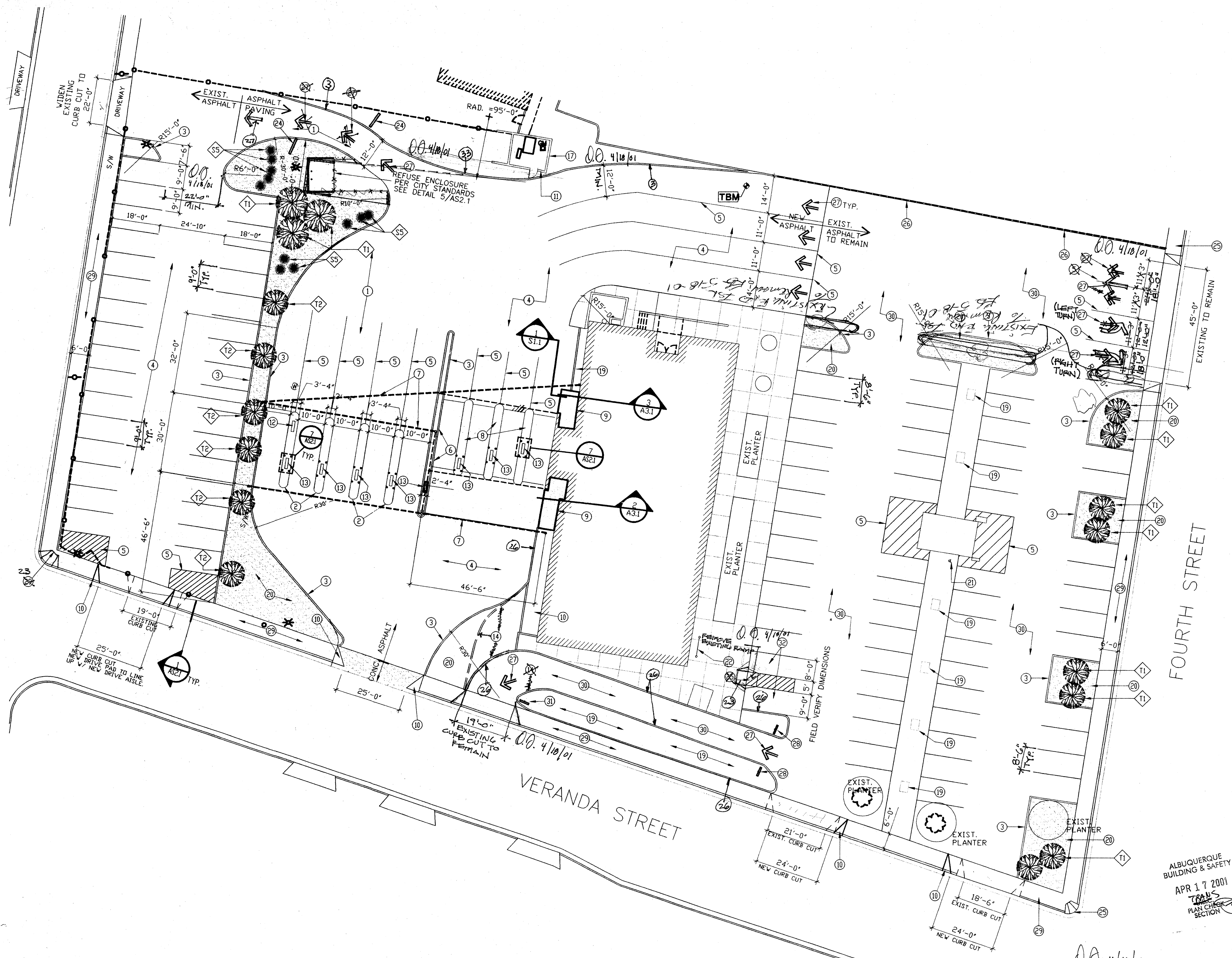
ALBUQUERQUE  
BUILDING & SAFETY  
APR 17 2001  
PLAN CHECK  
SECTION

NOTE: TEMPORARY C.O. WILL NOT BE ISSUED UNTIL REVISED APPROVED GRADING & DRAINAGE PLAN (BY HYDROLOGY) IS IN PERMIT SET AND HAS BEEN REVIEWED BY TRANSPORTATION DEVELOPMENT.

## SITE-PLAN-NEW CONSTRUCTION

SCALE: 1"=20'-0"





# SITE-PLAN-NEW CONSTRUCTION

SCALE: 1"=20'-0"

NOTE: TEMPORARY C.D. WILL NOT BE ISSUED UNTIL REVISED APPROVED GRADING & DRAINAGE PLAN (BY HYDROLOGY) IS IN PERMIT SET AND HAS BEEN REVIEWED BY TRANSPORTATION DEVELOPMENT.

## GENERAL NOTES:

- DRAWINGS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD SURVEYS BY THE ARCHITECT. THE CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION, AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISH SURFACES SHOULD BE ALIGNED TO CONCEAL ALL JOINTS, ETC., OR TO MAKE AS INCONSPICUOUS AS POSSIBLE AT ALL TRANSITIONS.
- ALL EQUIPMENT AND OTHER ITEMS TO BE REMOVED SHALL BE SALVAGED TO THE OWNER, U.N.D. PROVIDE SEPARATE FENCED STORAGE AREA TO TEMPORARILY HOLD AND PROTECT SALVAGED ITEMS UNTIL OWNER IS PREPARED TO TAKE POSSESSION. COVER AND PROTECT ITEMS FROM DETERIORATION DUE TO WEATHER, ETC.
- CONTRACTOR TO REPAIR OR REPLACE ALL ITEMS DAMAGED AS A RESULT OF CONSTRUCTION DURING COURSE OF WORK. RESTORE ALL REPAIRED ITEMS TO CONSISTENT APPEARANCE AND TO MAINTAIN INTEGRITY OF ALL ITEMS.
- PREPARE ALL SURFACES, NEW AND EXISTING, AS REQUIRED TO RECEIVE NEW FINISHES AS INDICATED ON PLANS AND FINISH SCHEDULE.
- ALL ACTIVE PIPING, EQUIPMENT, ETC., SERVING FIXTURES AND EQUIPMENT TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL ACTIVE ELECTRICAL WIRING, EQUIPMENT, ETC., SERVING LIGHTING, POWER, ETC., TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL WIRING, PIPING, AND EQUIPMENT FOR MECHANICAL OR ELECTRICAL USED WHICH HAVE BEEN, OR ARE TO BE ABANDONED SHALL BE REMOVED AND CAPPED OFF AS NECESSARY TO CONCEAL ALL REMAINING ELEMENTS WITHIN THE CONSTRUCTION TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS AS A RESULT OF MECHANICAL AND ELECTRICAL MODIFICATIONS. RESTORE ALL ITEMS TO BE PATCHED AND/OR REPAIRED TO CONSISTENT APPEARANCE AND MAINTAIN INTEGRITY OF ALL ITEMS.
- AN AS-BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT (INCLUDING A LETTER OF CERTIFICATION STATING THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL). VERIFICATION OF TCL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.D.
- INSPECTION OF CONSTRUCTION FOR C.D. FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET, ONCE MINOR CHANGES TO THE TCL (SITE PLAN) REQUIRED BY TRANSPORTATION ARE VERIFIED AS ACCEPTABLE TO HYDROLOGY.

## KEYED NOTES:

- ASPHALT PAVING OVER BASE, OVER COMPACTED SUBGRADE PER CIVIL DRAWINGS. MATCH EXISTING THICKNESS OF ASPHALT AND BASE.
- CONCRETE DRIVE THRU ISLANDS W/BOLLARDS. SEE ENLARGED PLAN INDICATED AND DETAIL 27 AS2.1
- CONCRETE CURB. SEE CIVIL DRAWINGS.
- RESURFACE EXISTING ASPHALT PAVING
- 4" WIDE ASPHALT PAINT MARKER AS SHOWN.
- EXISTING RETAINING WALL TO REMAIN.
- NEW CANOPY STRUCTURE AND ISLAND CONSTRUCTION. SEE STRUCTURAL DWGS.
- EXISTING CONCRETE DRIVE THRU ISLANDS TO REMAIN.
- REPLACE BOLLARDS IN EXISTING ISLAND.
- NEW DRIVE-UP TELLER ADDITION. SEE FLOOR PLAN.
- CONSTRUCT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
- TRASH ENCLOSURE. SEE DETAIL INDICATED.
- ATM MACHINE (OWNER FURNISHED AND INSTALLED) CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- DRIVE UP TELLER MACHINE (OWNER FURNISHED AND INSTALLED), CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- REMOVE AND DISPOSE OF EXISTING CURB AND CONCRETE.
- REMOVE AND DISPOSE OF EXISTING PARKING ISLAND.
- REMOVE EXISTING PARKING STRIPES (DASHED PARKING LINES INDICATE THOSE TO BE REMOVED).
- EXISTING METER ENCLOSURE.
- EXISTING HANDICAP ACCESSIBLE PARKING SPACES.
- EXISTING LANDSCAPED AREAS TO REMAIN.
- NEW LANDSCAPE AREA.
- EXISTING YARD HYDRANT IN SIDEWALK TO BE USED FOR IRRIGATION.
- BICYCLE RACK.
- NEW HANDICAP RAMP. PER CITY STANDARDS.
- EXIT ONLY SIGN.
- EXISTING HANDICAP RAMP TO REMAIN.
- EXISTING CURB TO REMAIN.
- PAINT ARROWS AS SHOWN.
- NEW SIGN TO INDICATE "OWNER PARKING ONLY".
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN. RE-STRIPES ENTIRE PARKING TO CITY STANDARDS.
- NEW SIGN TO INDICATE "EXIT ONLY".
- EXISTING H.C. PARKING TO REMAIN.
- ALIGN REFUSE ENCLOSURE TO 6" CONCRETE CURB AT THIS POINT.

## LANDSCAPE CALCULATIONS

GROSS LOT AREA: 83,920 SQ. FT.  
LESS BUILDING AREA: 10,960 SQ. FT.  
NET LOT AREA: 72,960 SQ. FT.  
REQUIRED LANDSCAPING: 10,944 SQ. FT.  
PROVIDED LANDSCAPING: 8,674 SQ. FT.

## PLANT SCHEDULE

KEY	COMMON NAME	SIZE	QUANTITY
T1	SHADE MASTER HONEY LOCUST	2" CALIPER	11
T2	DESERT WILLOW	2" CALIPER	6
SS	CHINESE FOUNTAIN GRASS	12" TALL (1 GAL)	10
GRD COVER	CRUSHER FINES-SANTA ANA TAN		2" DEEP

WATERING SHALL BE OWNER'S RESPONSIBILITY.  
YARD HYDRANTS EXIST AT SITE FOR HAND WATERING.

TRAFFIC CIRCULATION LAYOUT APPROVED

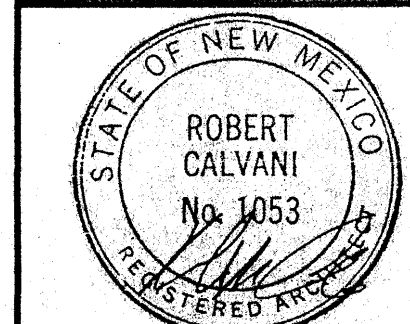
amended JCH 5/13/01  
4/17/01  
Signed Date

RECEIVED  
FEB 06 2002  
HYDROLOGY SECTION

**NIMS, CALVANI & ASSOCIATES, P.A.**  
ARCHITECTS • PLANNERS • AIA

ALBUQUERQUE  
525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-6400  
FAX: (505) 268-6954

LAS CRUCES  
425-C N. TELSHER, SUITE 203  
LAS CRUCES, NEW MEXICO 88011  
(505) 521-3757  
FAX: (505) 521-3880



**WELLS FARGO  
BANK RENOVATIONS  
FOURTH STREET BRANCH**  
ALBUQUERQUE, NEW MEXICO  
**SITE PLAN**

### REVISIONS


DRAWN BY: KJM  
CHECKED BY: JL

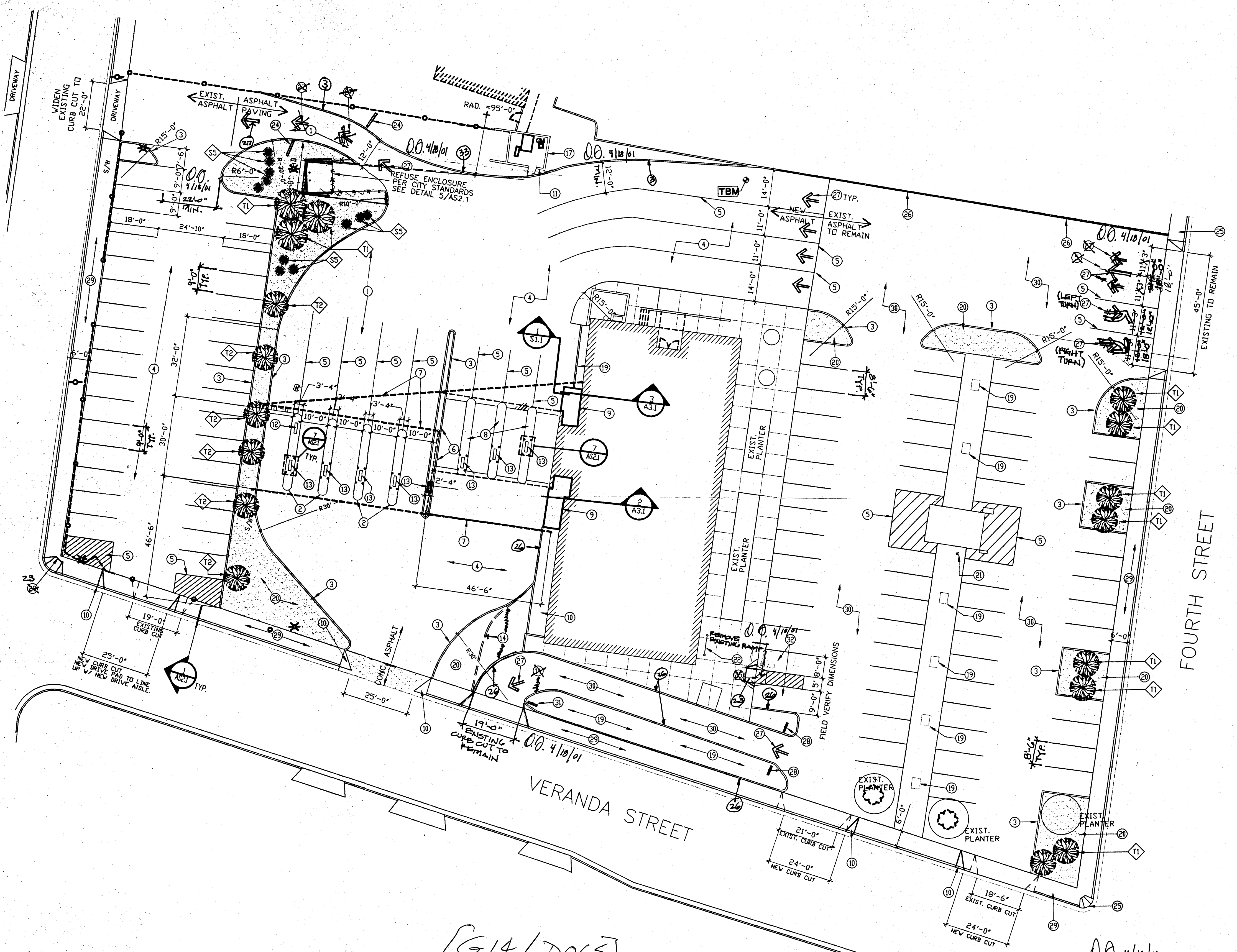
JOB NUMBER: 0067

DATE: 01.08.01

SHEET NUMBER: AS1.1



\\missserver\arch\0067\cd 5\0067sitechanges2.dwg Tue Apr 17 10:11:06 2001



**SITE-PLAN-NEW CONSTRUCTION**  
SCALE: 1"=20'-0"

NOTE: TEMPORARY C.O. WILL NOT BE ISSUED UNTIL REVISED APPROVED GRADING & DRAINAGE PLAN (BY HYDROLOGY) IS IN PERMIT SET AND HAS BEEN REVIEWED BY TRANSPORTATION DEVELOPMENT.

**GENERAL NOTES:**

- DRAWINGS WERE DERIVED FROM CONSTRUCTION DOCUMENTS OF THE ORIGINAL BUILDING AS WELL AS FIELD SURVEYS BY THE ARCHITECT. THE CONTRACTOR IS TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONSTRUCTION, AND REPORT ANY INCONSISTENCIES TO THE ARCHITECT.
- WHERE NEW CONSTRUCTION IS ADJACENT TO EXISTING CONSTRUCTION, THE FINISH SURFACES SHOULD BE ALIGNED TO CONCEAL ALL JOINTS, ETC., OR TO MAKE AS INCONSPICUOUS AS POSSIBLE AT ALL TRANSITIONS.
- ALL EQUIPMENT AND OTHER ITEMS TO BE REMOVED SHALL BE SALVAGED TO THE OWNER, U.N.C. PROVIDE SEPARATE FENCED STORAGE AREA TO TEMPORARILY HOLD AND PROTECT SALVAGED ITEMS UNTIL OWNER IS PREPARED TO TAKE POSSESSION. COVER AND PROTECT ITEMS FROM DETERIORATION DUE TO WEATHER, ETC.
- CONTRACTOR TO REPAIR OR REPLACE ALL ITEMS DAMAGED AS A RESULT OF CONSTRUCTION DURING COURSE OF WORK. RESTORE ALL REPAIRED ITEMS TO CONSISTENT APPEARANCE AND TO MAINTAIN INTEGRITY OF ALL ITEMS.
- PREPARE ALL SURFACES, NEW AND EXISTING, AS REQUIRED TO RECEIVE NEW FINISHES AS INDICATED ON PLANS AND FINISH SCHEDULE.
- ALL ACTIVE PIPING, EQUIPMENT, ETC., SERVING FIXTURES AND EQUIPMENT TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL ACTIVE ELECTRICAL WIRING, EQUIPMENT, ETC., SERVING LIGHTING, POWER, ETC., TO REMAIN SHALL BE RELOCATED AS NECESSARY WHEN CONTAINED IN EXISTING CONSTRUCTION TO BE REMOVED.
- ALL WIRING, PIPING, AND EQUIPMENT FOR MECHANICAL OR ELECTRICAL USED WHICH HAVE BEEN, OR ARE TO BE ABANDONED SHALL BE REMOVED AND CAPPED OFF AS NECESSARY TO CONCEAL ALL REMAINING ELEMENTS WITHIN THE CONSTRUCTION TO REMAIN.
- CONTRACTOR IS RESPONSIBLE TO PATCH AND REPAIR ALL CEILINGS, WALL AND FLOORS AS A RESULT OF MECHANICAL AND ELECTRICAL MODIFICATIONS. RESTORE ALL ITEMS TO BE PATCHED AND/OR REPAIRED TO CONSISTENT APPEARANCE AND MAINTAIN INTEGRITY OF ALL ITEMS.
- AN AS-BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER-OF-RECORD, AS REQUIRED BY TRANSPORTATION DEVELOPMENT (INCLUDING A LETTER OF CERTIFICATION STATING THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL). VERIFICATION OF TCL ACCEPTABILITY, (INCLUDING RANDOM FIELD CHECKS) WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O. INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET, ONCE MINOR CHANGES TO THE TCL (SITE PLAN) REQUIRED BY TRANSPORTATION ARE VERIFIED AS ACCEPTABLE TO HYDROLOGY.

**KEYED NOTES:**

- ASPHALT PAVING OVER BASE, OVER COMPACTED SUBGRADE PER CIVIL DRAWINGS. MATCH EXISTING THICKNESS OF ASPHALT AND BASE.
- CONCRETE DRIVE THRU ISLANDS W/BOLLARDS. SEE ENLARGED PLAN INDICATED AND DETAIL 5/AS2.1
- CONCRETE CURB. SEE CIVIL DRAWINGS.
- RESURFACE EXISTING ASPHALT PAVING.
- 4" VIDE ASPHALT PAINT MARKINGS AS SHOWN.
- EXISTING RETAINING WALL TO REMAIN.
- NEW CANOPY STRUCTURE AND ISLAND CONSTRUCTION. SEE STRUCTURAL DWGS.
- EXISTING CONCRETE DRIVE THRU ISLANDS TO REMAIN. REPLACE BOLLARDS IN EXISTING ISLAND.
- NEW DRIVE-UP TELLER ADDITION. SEE FLOOR PLAN.
- CONSTRUCT CURB CUT PER CITY OF ALBUQUERQUE STANDARDS.
- TRASH ENCLOSURE. SEE DETAIL INDICATED.
- ATM MACHINE (OWNER FURNISHED AND INSTALLED) CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- DRIVE UP TELLER MACHINE (OWNER FURNISHED AND INSTALLED), CONTRACTOR TO PROVIDE ALL ELECTRICAL POWER AND HOOK-UP.
- REMOVE AND DISPOSE OF EXISTING CURB AND CONCRETE.
- REMOVE AND DISPOSE OF EXISTING PARKING ISLAND.
- REMOVE EXISTING PARKING STRIPES (DASHED PARKING LINES INDICATE THOSE TO BE REMOVED).
- EXISTING METER ENCLOSURE.
- EXISTING HANDICAP ACCESSIBLE PARKING SPACES.
- EXISTING LANDSCAPED AREAS TO REMAIN.
- NEW LANDSCAPE AREA.
- EXISTING YARD HYDRANT IN SIDEWALK TO BE USED FOR IRRIGATION.
- BICYCLE RACK.
- NEW HANDICAP RAMP. PER CITY STANDARDS.
- EXIT ONLY SIGN.
- NEW HANDICAP RAMP TO REMAIN.
- EXISTING CURB TO REMAIN.
- PAINT ARROWS AS SHOWN.
- NEW SIGN TO INDICATE "OWNER PARKING ONLY".
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING ASPHALT PAVING TO REMAIN. RESTRIPES ENTIRE PARKING TO CITY STANDARDS.
- NEW SIGN TO INDICATE "EXIT ONLY".
- EXISTING H. PARKING TO REMAIN.
- ALIGN REUSE ENCLOSURE TO 6" CONCRETE CURB AT THIS POINT.

**LANDSCAPE CALCULATIONS**

GROSS LOT AREA: 83,920 SQ. FT.  
LESS BUILDING AREA: 10,960 SQ. FT.  
NET LOT AREA: 72,960 SQ. FT.  
REQUIRED LANDSCAPING: 10,944 SQ. FT.  
PROVIDED LANDSCAPING: 8,674 SQ. FT.

**PLANT SCHEDULE**

KEY	COMMON NAME	SIZE	QUANTITY
T1	SHADE MASTER HONEY LOCUST	2" CALIPER	11
T2	DESERT WILLOW	2" CALIPER	6
S5	CHINESE FOUNTAIN GRASS	12" TALL (1 GAL)	10
GRD COVER	CRUSHER FINES-SANTA ANA TAN		2" DEEP

WATERING SHALL BE OWNER'S RESPONSIBILITY.  
YARD HYDRANTS EXIST AT SITE FOR HAND WATERING.

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
[Signature] 4/17/01  
Date

**NIMS, CALVANI & ASSOCIATES, P.A.**  
ARCHITECTS • PLANNERS • AIA

ALBUQUERQUE  
525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-6400  
FAX: (505) 268-6954

LAS CRUCES  
425-C N. TELSHOR, SUITE 203  
LAS CRUCES, NEW MEXICO 88011  
(505) 521-3757  
FAX: (505) 521-3880

STATE OF NEW MEXICO  
ROBERT CALVANI  
No. 1053  
REGISTERED ARCHITECT

WELLS FARGO  
BANK RENOVATIONS  
FOURTH STREET BRANCH  
ALBUQUERQUE, NEW MEXICO

**SITE PLAN**

REVISIONS


DRAWN BY: CHECKED BY:  
KJM JL

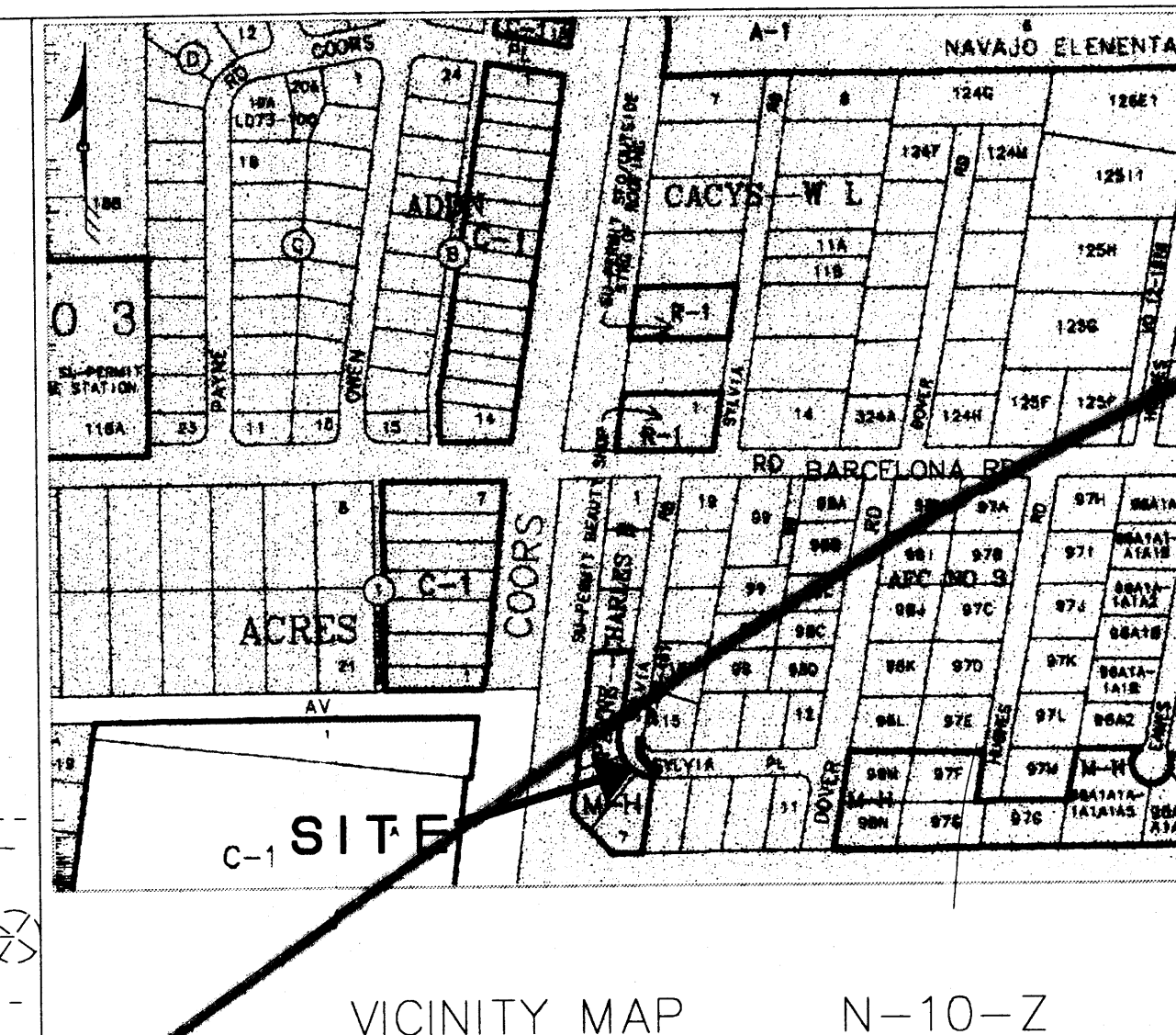
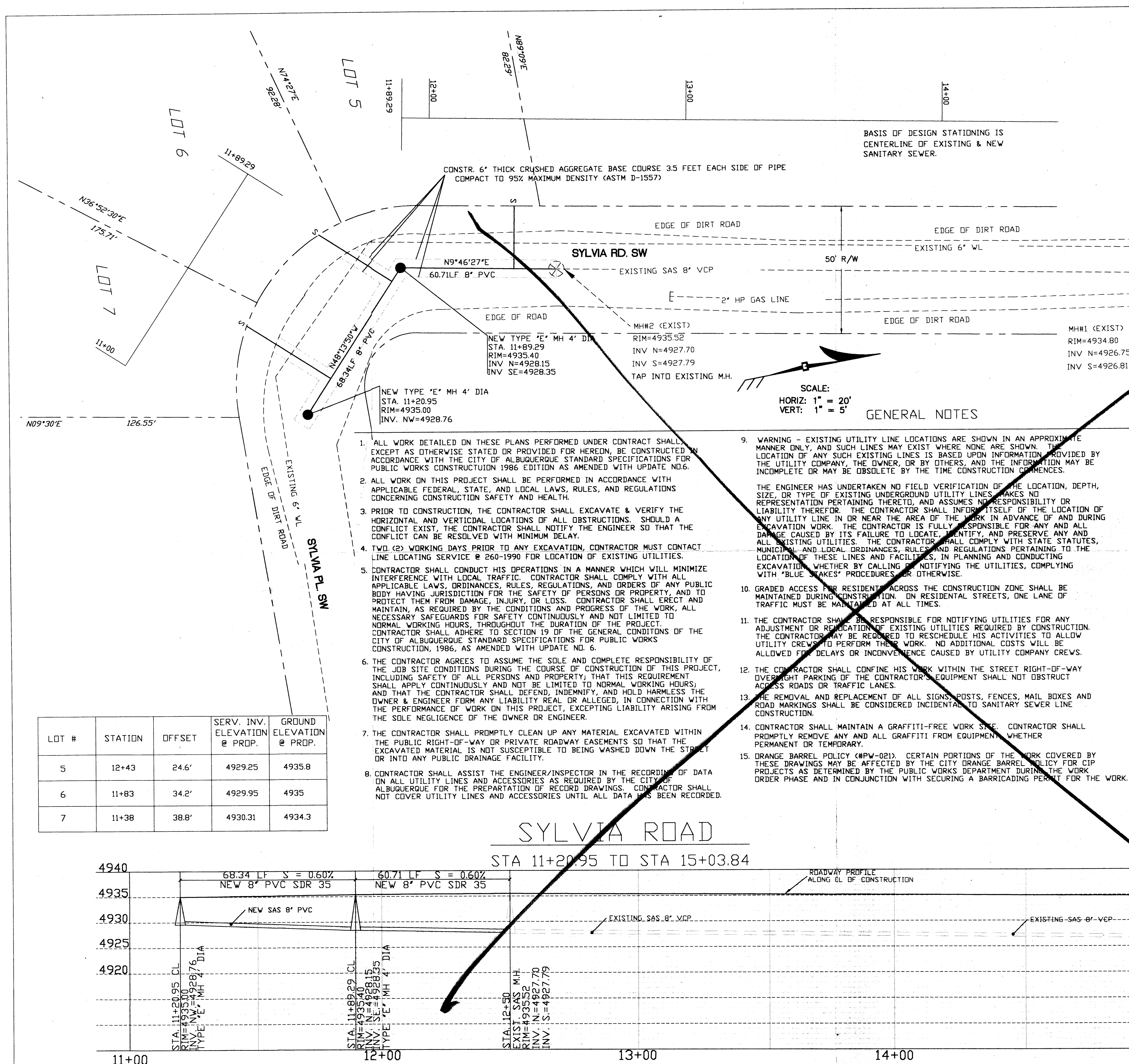
JOB NUMBER: 0067

DATE: 01.08.01

SHEET NUMBER: AS1.1

G-14/D065





LOT #	STATION	OFFSET	SERV. INV. ELEVATION @ PROP.	GRUOND ELEVATION @ PROP.
5	12+43	24.6'	4929.25	4935.8
6	11+83	34.2'	4929.95	4935
7	11+38	38.8'	4930.31	4934.3

VICINITY MAP      N-10-Z

**AS BUILT INFORMATION**

CONTRACTOR: \_\_\_\_\_

STATION IS 4.8 MI. SW FROM DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF COORS RD. AND BLAKE RD. STATION IS LOCATED IN THE ROADWAY ON THE CENTERLINE OF BLAKE RD., 42.3' WEST FROM CENTERLINE OF COORS. STANDARD ACS BRASS CAP STAMPED "ACS45-7A" 0.2' BELOW ROADWAY IN A WATER METER BOX.

**SURVEY INFORMATION**

FIELD NOTES

NO.	BY	DATE

**ENGINEER'S SEAL**

DESIGNED BY	DATE	01/01
DRAWN BY	DATE	01/01
CHECKED BY	DATE	01/01

**Terry O. Brown, P.E.**

P. O. Box 92051  
 Albuquerque, NM 87199-2051  
 (505) 883-8807

SY-VAS76.DWG

01/28/01

CITY OF ALBUQUERQUE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING DEVELOPMENT GROUP

**TITLE: SYLVIA RD. IMPROVEMENTS  
 SANITARY SEWER EXTENSION & SERVICES**

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS		ENGINEER		DATE	
<div style="text-align: center;"> </div>		DRC Chairman					
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks					
		Constr. Mngmt.					
		Bern. County					
City Project No.		659381		Sheet		Of	
				1		1	

\*\*\*\*\*

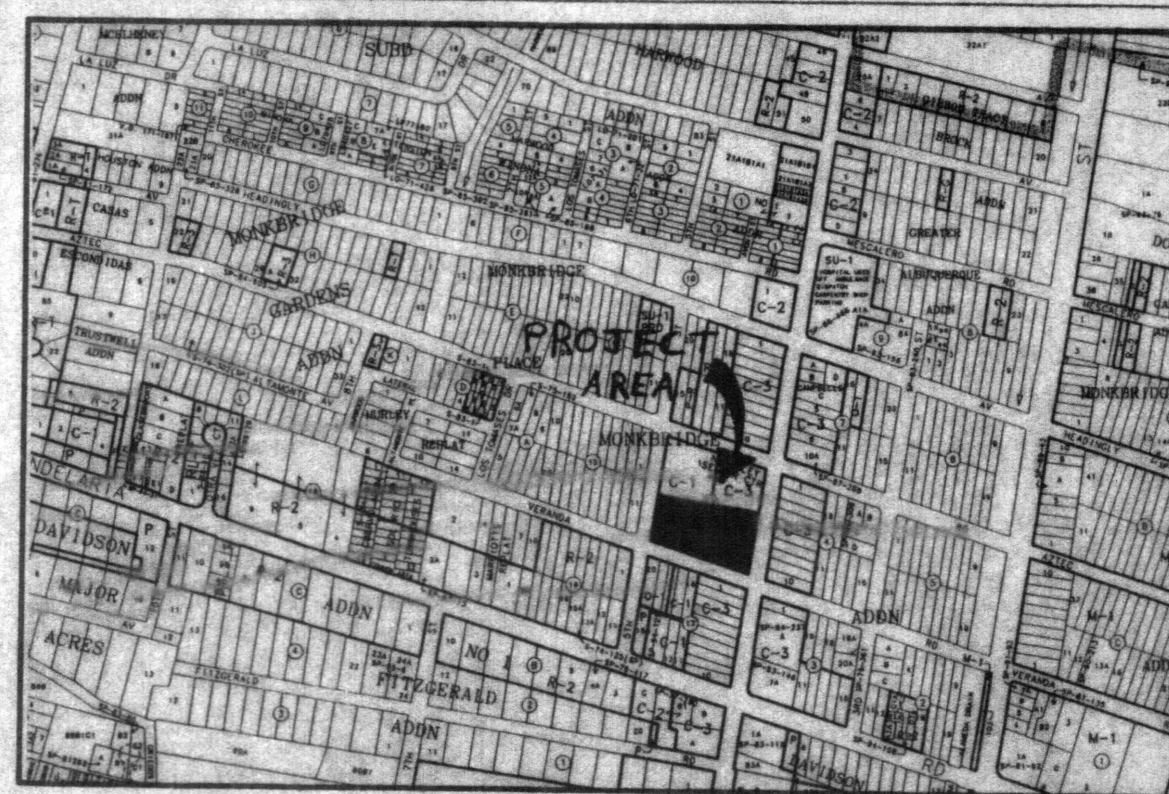
APPROVED FOR CONSTRUCTION

City Engineer      Date

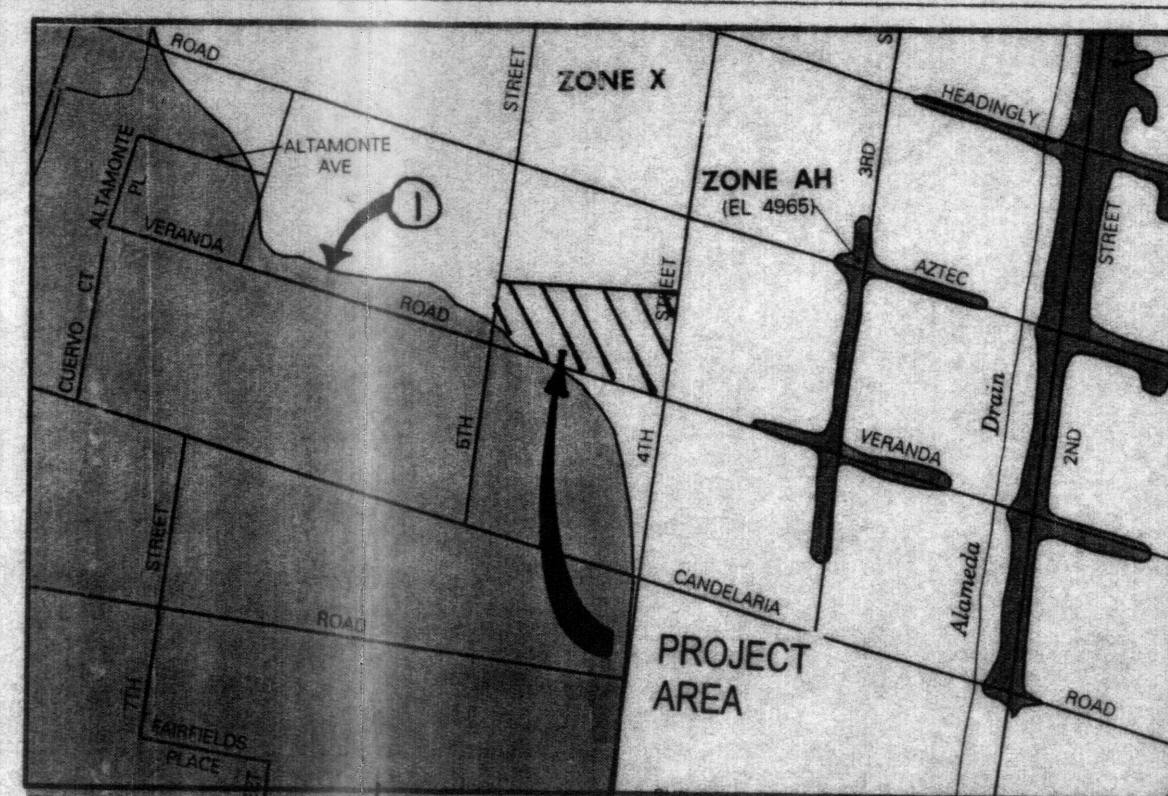
DESIGN

REMARKS



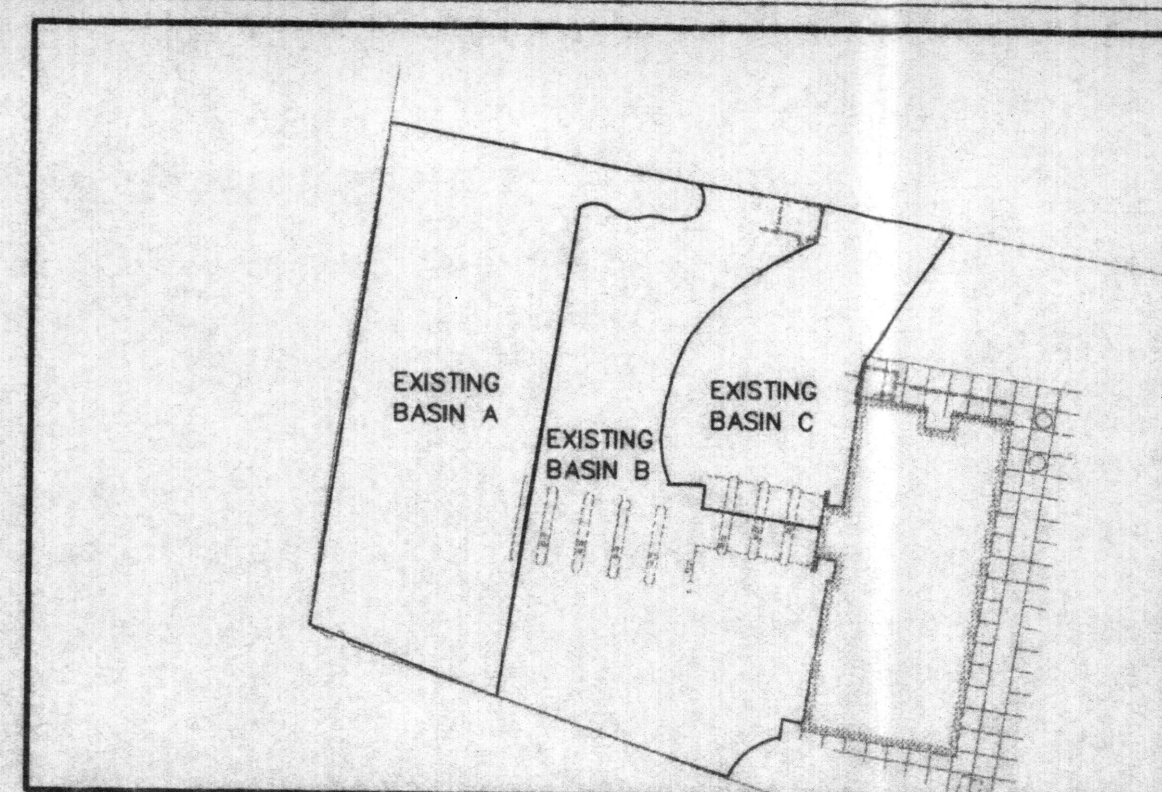


VICINITY MAP ZONE ATLAS # G-14-Z

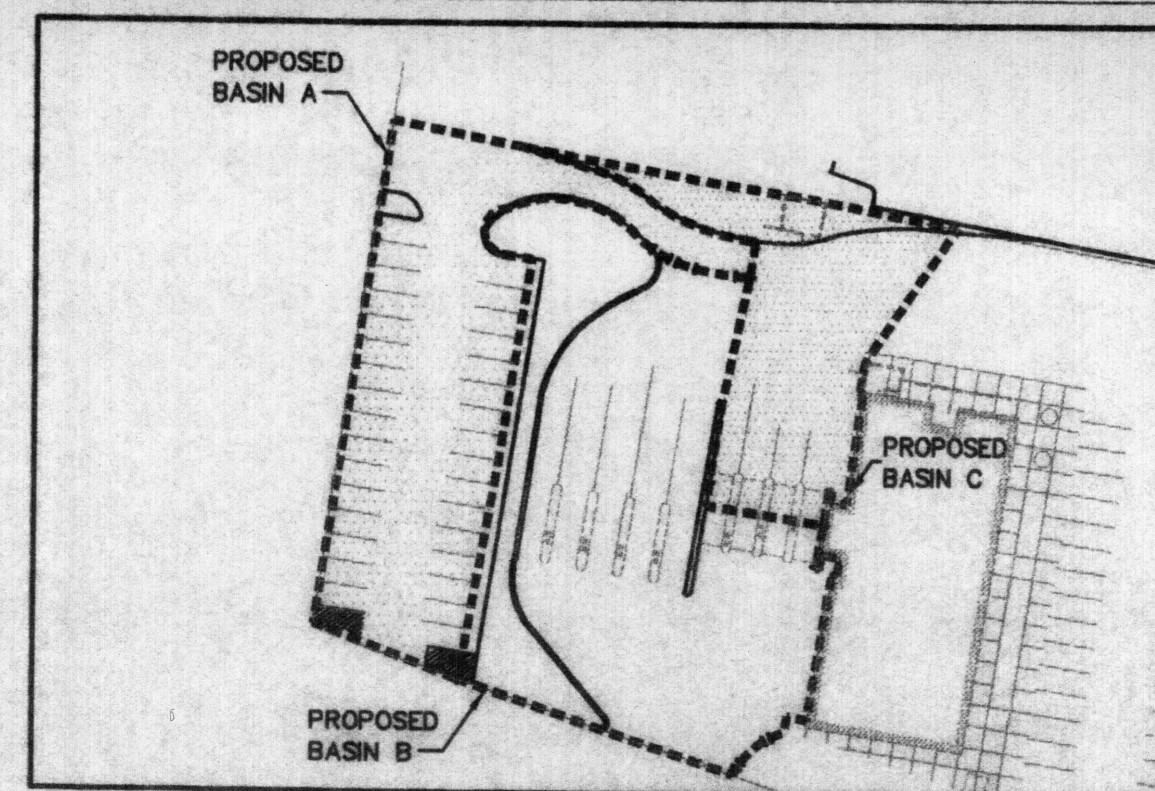


FIRM MAP PANEL 35001C0332

AREAS OF 500 YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD



EXISTING DRAINAGE BASINS



PROPOSED DRAINAGE BASINS

## HYDROLOGY CALCULATIONS

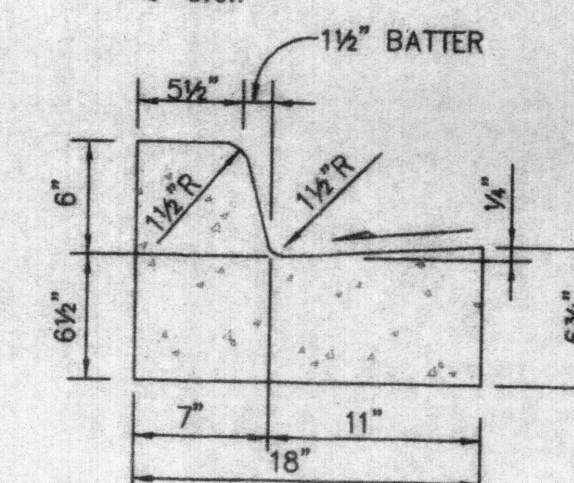
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10-day) (acre-ft)	V (10-day) (cu-ft)	C (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	0.33	0.00	4.90	0.00	95.10	2.05	0.06	2.461	0.10	4.284	1.51
B	0.36	0.00	7.10	2.20	90.70	2.00	0.06	2.618	0.10	4.514	1.62
C	0.16	0.00	4.90	2.80	92.30	2.03	0.03	1.177	0.05	2.035	0.73
TOTAL	0.85						0.14	6.256	0.25	10.832	3.86
PROPOSED CONDITIONS											
A	0.28	0.00	0.00	0.00	100.00	2.12	0.05	2.155	0.09	3.781	1.32
B	0.41	0.00	24.30	0.00	75.70	1.79	0.06	2.671	0.10	4.473	1.69
C	0.16	0.00	0.00	17.70	82.30	1.94	0.03	1.130	0.04	1.994	0.71
TOTAL	0.85						0.14	5.955	0.23	10.149	3.71

EXCESS PRECIP. 0.53 0.78 1.13 2.12 E (in) 4.70  
PEAK DISCHARGE 1.56 2.28 3.14 Q (cfs)

WEIGHTED E (in) = (EA)(A%) + (EB)(B%) + (EC)(C%) + (ED)(D%)  
V (6-hr) (acre-ft) = (WEIGHTED E)(AREA)/12  
V (10-day) (acre-ft) = V (6-hr) + (AD)(P10-day - P6-hr)/12  
Q (cfs) = (QPA)(A) + (QPB)(B) + (QPC)(C) + (QPD)(D)

ZONE = 2  
P6-hr (in) = 2.35  
P24-hr (in) = 2.75  
P10-day (in) = 3.95

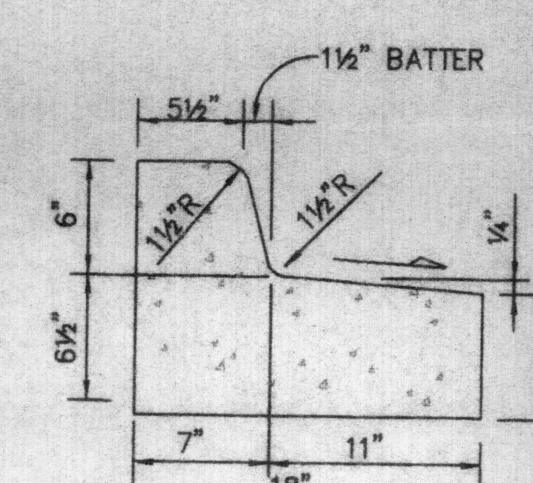
4000 PSI PCC AT 28 DAYS. PROVIDE 1/2" EXPANSION JOINTS @ 36" O.C. • IMMOVABLE OBJECTS & BEGINNING & END OF CURVES. PROVIDE 1 1/2" DEEP CONTRACTION JOINTS @ 6" O.C.



USE WHEN PAVEMENT SLOPE IS TOWARDS CURB

6" CONCRETE CURB AND GUTTER DETAIL

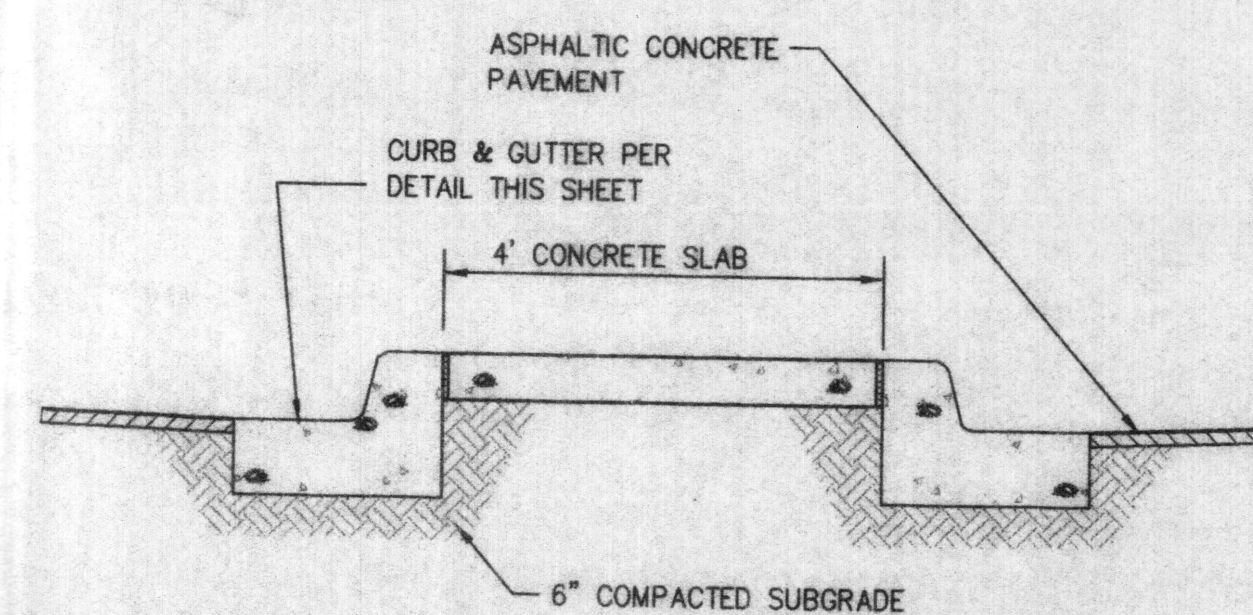
NTS



USE WHEN PAVEMENT SLOPE IS AWAY FROM CURB

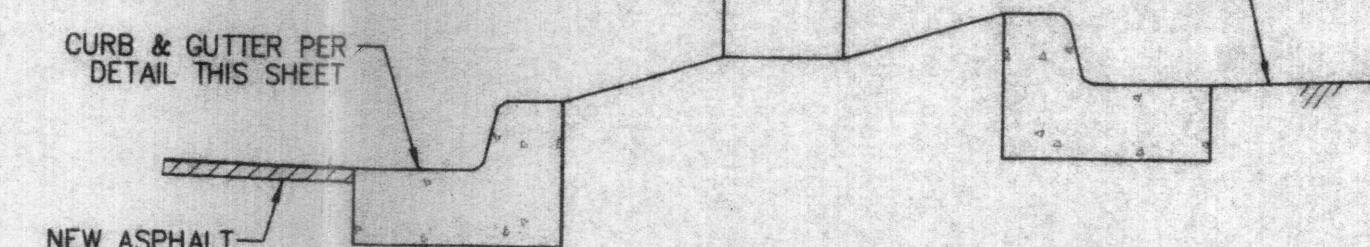
6" CONCRETE CURB AND GUTTER DETAIL

NTS



DIVIDER ISLAND

NTS



SECTION B-B

NTS



GRAPHIC SCALE



( IN FEET )

1 inch = 20 ft

CONTOUR INTERVAL 1'

## GRADING AND DRAINAGE PLAN

## GENERAL NOTES

ALL NEW CURB AND GUTTER TO BE INSTALLED PER DETAIL 1 THIS SHEET.  
SEE ARCHITECTURAL SHEETS FOR SITE AND DEMOLITION PLAN.

## BENCHMARK

ACS ALUMINUM DISK, STAMPED "ACS BM, 21-514", EPOXYED TO TOP OF A CONCRETE INLET, WNW QUADRANT OF FOURTH ST. AND CANDELARIA RD NW. ELEV. = 4868.431'

## TEMPORARY BENCHMARK (TBM)

PK NAIL SET IN ASPHALT AND LOCATED AS SHOWN ON PLANS. ELEV. = 4868.46'

## LOCATION

THE PROJECT AREA IS LOCATED AT 3801 FOURTH ST. BORDERING FOURTH ST., VERANDA ROAD, AND FIFTH ST. THIS AREA CAN BE FOUND ON THE CITY OF ALBUQUERQUE ZONE ATLAS PAGE G-14-Z

## EXISTING SITE CONDITIONS

THE RENOVATION WILL CONTAIN 0.85 ACRES OF THE SITE. THIS AREA CONSISTS OF THREE DRAINAGE BASINS. BASIN A DRAINS TO A DRIVEWAY ENTRANCE ONTO FIFTH STREET AND FLOWS NORTH ON FIFTH. BASIN B DRAINS TO VERANDA ROAD VIA THREE DRIVEWAY ENTRANCES. ONCE BASIN B DRAINS TO VERANDA, IT FLOWS SOUTHEAST ON VERANDA AND IS COLLECTED INTO A STORM DRAIN ON FOURTH ST. BASIN C DRAINS TO FOURTH STREET VIA A DRIVEWAY ENTRANCE.

## PROPOSED SITE CONDITIONS

THE PROPOSED RENOVATION WILL EFFECT 0.85 ACRES OF THE EXISTING SITE. THIS AREA WILL CONSIST OF THREE DRAINAGE BASINS. BASIN A WILL CONTINUE TO DRAIN AS EXISTING CONDITIONS BUT WILL DECREASE IN SIZE BY 0.05 ACRES. BASIN B WILL ALSO CONTINUE TO DRAIN AS EXISTING CONDITIONS BUT TOTAL SIZE WILL INCREASE BY 0.05 ACRES. BASIN C WILL CONTINUE TO DRAIN AS EXISTING CONDITIONS AND TOTAL SIZE WILL REMAIN THE SAME. THE PROPOSED CONDITIONS WILL DECREASE THE TOTAL IMPERVIOUS AREA, THROUGH THE ADDITION OF LANDSCAPED AREA, RESULTING IN AN ACCUMULATIVE DECREASE OF 0.15 CFS FROM EXISTING TO PROPOSED CONDITIONS.

**NIMS, CALVANI & ASSOCIATES, P.A.**  
ARCHITECTS • PLANNERS • AIA

ALBUQUERQUE  
525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-6400  
FAX: (505) 268-6954

425-C N. TELSHOR, SUITE 203  
LOS CRUCES, NEW MEXICO 88011  
(505) 321-3757  
FAX: (505) 521-3880



WELLS FARGO  
BANK RENOVATIONS  
ALBUQUERQUE, NM  
GRADING AND DRAINAGE

REVISIONS  
DRAWN BY: BO  
CHECKED BY: JK  
JOB NUMBER: 0067  
DATE: 07-02-01  
SHEET NUMBER:

C-601

**CHAVEZ • GRIEVES**  
CONSULTING ENGINEERS, INC.

5630 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 344-4080 • FAX (505) 343-8759

JOB NO. N02-163-00  
FILE: N0216300.DWG  
XREF: N0216300.DWG  
REV: 07/02/01 BO



## CONSTRUCTION NOTES

### GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO START OF CONSTRUCTION. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCE MADE TO APWA REFERS TO AMERICAN PUBLIC WORKS ASSOCIATION.

REFERENCE MADE TO NMHS&TD REFERS TO NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

ALL PAVEMENTS, STRUCTURES, UTILITIES, VEGETATION AND DELETERIOUS MATERIAL SCHEDULED FOR REMOVAL SHALL BE DISPOSED OF OFFSITE BY, AND AT THE CONTRACTOR'S OWN EXPENSE IN ACCORDANCE WITH ALL GOVERNING AGENCIES.

THE CONTRACTOR MAY SELECT A STAGING AREA ONSITE FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ONSITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT OR MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. AN OFFSITE STAGING AREA MAY BE USED AT THE CONTRACTOR'S OPTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

### SURVEY MONUMENTATION

THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY SURVEY MONUMENT THAT IS DISTURBED. REPLACEMENT SHALL BE DONE ONLY BY A REGISTERED SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, OBTAIN THE SERVICES OF A REGISTERED SURVEYOR TO ADJUST THE MONUMENT AS REQUIRED AND PROPERLY REPORT THE NEW DATA TO THE CONTROLLING AUTHORITIES.

### TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

### DIMENSIONS

ALL DIMENSIONS IN PARKING AREAS AND DRIVES ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO CENTERLINE OF RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN FEET/FOOT UNLESS OTHERWISE NOTED.

ELEVATIONS SHOWN FOR CURB AND GUTTER ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SEE SHEET C-601 FOR CURB HEIGHT ABOVE FLOWLINE.

### SOILS

UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE ASTM D-1557 MAXIMUM DENSITY.

MATERIAL	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUBBASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROAD PAVEMENT	95
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD PAVEMENT SUBGRADE	95
SIDEWALK SUBGRADE	95
CURB AND GUTTER SUBGRADE	95

### PAVING

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVING TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TV & SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE.

### UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED TO THE ENGINEER BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THE EXISTENCE, LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF, AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY HIS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES, AND SHALL BEAR ALL COSTS TO REPAIR DAMAGES CAUSED BY HIMSELF. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS (IF ANY) PERTAINING TO THE LOCATION OF EXISTING LINES AND FACILITIES.

THE EXISTING UTILITIES DEPICTED ON THESE PLANS WERE DERIVED FROM INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR IS TO EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY POTENTIAL DISRUPTIONS IN UTILITY SERVICE WITH THE UTILITY COMPANIES AFFECTED AT LEAST 24 HOURS PRIOR TO THE DISRUPTION.

CONTRACTOR SHALL EXPOSE AND VERIFY INVERT ELEVATIONS OF RELEVANT SANITARY SEWER LINES BEFORE SETTING ANY NEW INVERTS. SHOULD INVERTS DIFFER MORE THAN 0.20' FROM THOSE SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED TO DETERMINE ANY RESULTING CHANGES IN DESIGN.

CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION, IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING FILL EXCAVATIONS IN A SAFE MANNER, AND IN ACCORDANCE WITH APPLICABLE REGULATIONS. TRENCH SECTIONS AND SHORING SHALL BE PERFORMED BY THE CONTRACTOR IN A SAFE MANNER. JOB SITE SAFETY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

MINIMUM DEPTH OF COVER: WATER=48" SEWER=24" GAS=24".

### EROSION CONTROL PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMES AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC., WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-882-1558 OR 1-800-219-6157.

### ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

### NOTICE TO CONTRACTOR

AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

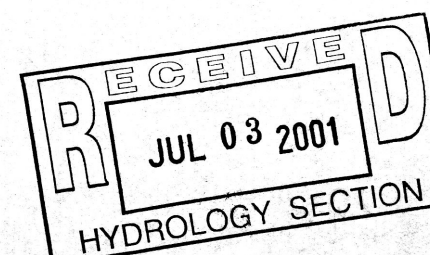
BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.

MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

### ABBREVIATIONS

ABP = ABANDONED IN PLACE	LEN. = LENGTH	UNK = UNKNOWN
BLDG = BUILDING	LF = LINEAR FEET	VP = VENT PIPE
BM = BENCHMARK	LT = LEFT	W = WATER
BW = BASE OF WALL	MH = MANHOLE	WM = WATER METER
CMP = CORRUGATED METAL PIPE	NG = NATURAL GRADE	WV = WATER VALVE
CONC = CONCRETE	PB = PULL BOX	
CL = CENTERLINE	PL = PROPERTY LINE	
DIA = DIAMETER	RD = ROOF DRAIN	
E = ELECTRIC	ROW = RIGHT OF WAY	
ELEV = ELEVATION	RT = RIGHT	
EXIST = EXISTING	S = SLOPE	
EB = ELECTRIC BOX	SAS = SANITARY SEWER LINE	
FD = FLOOR DRAIN	SD = STORM DRAIN	
FF = FINISHED FLOOR ELEVATION	STA = STATION	
FG = FINISHED GRADE	STD = STANDARD	
FH = FIRE HYDRANT	SW = SIDEWALK	
FL = FLOW LINE	T = TELEPHONE LINE	
FM = FORCE MAIN	TA = TOP OF ASPHALT	
FW = FIRE WATER	TOC = TOP OF CONCRETE	
G = GAS	TC = TOP OF CONCRETE CURB	
GM = GAS METER	TD = TOP OF DOCK	
GV = GATE VALVE	TS = TOP OF SIDEWALK	
HC = HANDICAP	TW = TOP OF WALL	
HI PT = HIGH POINT	TYP = TYPICAL	
INV = INVERT ELEVATION	TRS = TRAFFIC SIGN	

DESCRIPTION	LEGEND	NEW
ASPHALT	EXISTING	
FENCE		
BUILDING		
CONTOURS		
CURB AND GUTTER		
HEADER CURB		
SPOT ELEVATION		
MANHOLE		
DIRECTION OF FLOW		
GAS METER		
WATER METER		
FIRE HYDRANT		
WATERBLOCK		
WATER FAUCENT		
IRRIGATION BOX		
ANTI SIPHON BOX		
POWER POLE		
LIGHT POLE		



NIMS, CALVANI & ASSOCIATES, P.A.  
ARCHITECTS • PLANNERS • AIA

525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87108  
(505) 255-4400  
FAX: (505) 268-6954

425-C N. TELSHOR, SUITE 203  
LAS CRUCES, NEW MEXICO 88011  
(505) 521-3757  
FAX: (505) 521-3880



WELLS FARGO  
BANK RENOVATIONS  
ALBUQUERQUE, NM  
CONSTRUCTION NOTES, LEGEND, & ABBREVIATIONS

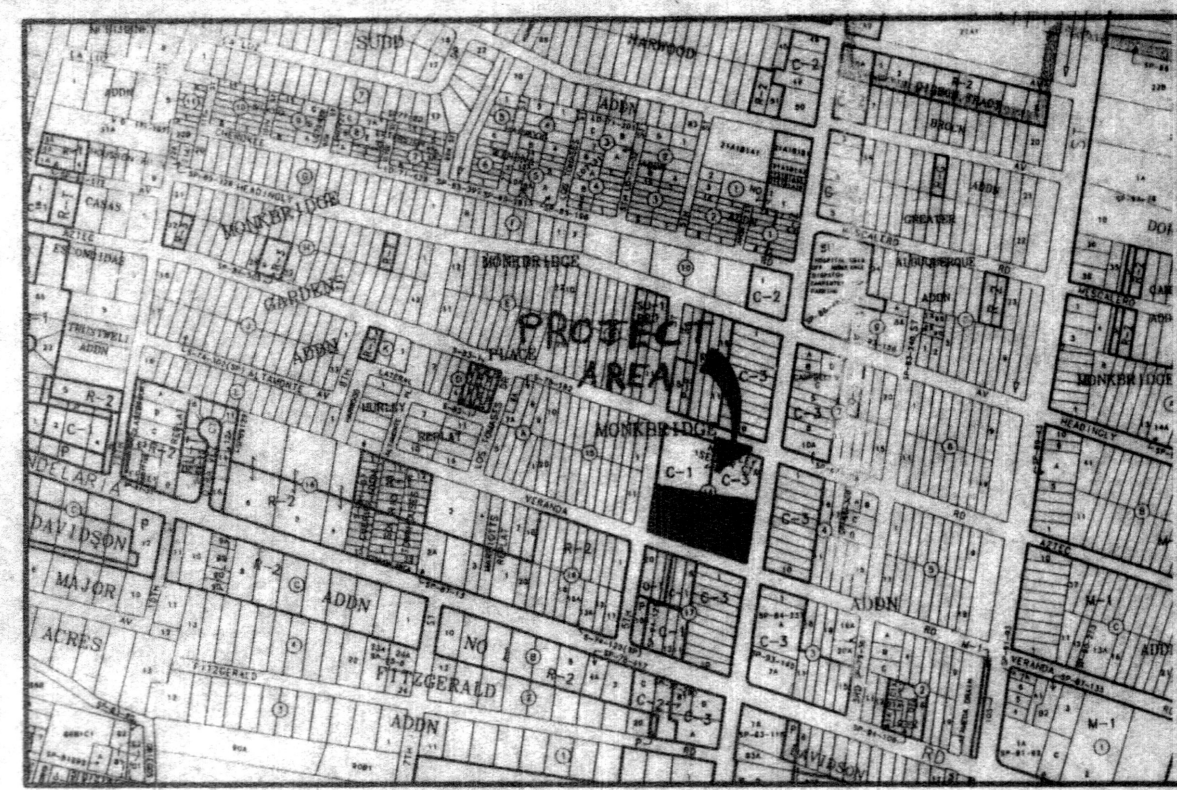
BO JK

0067

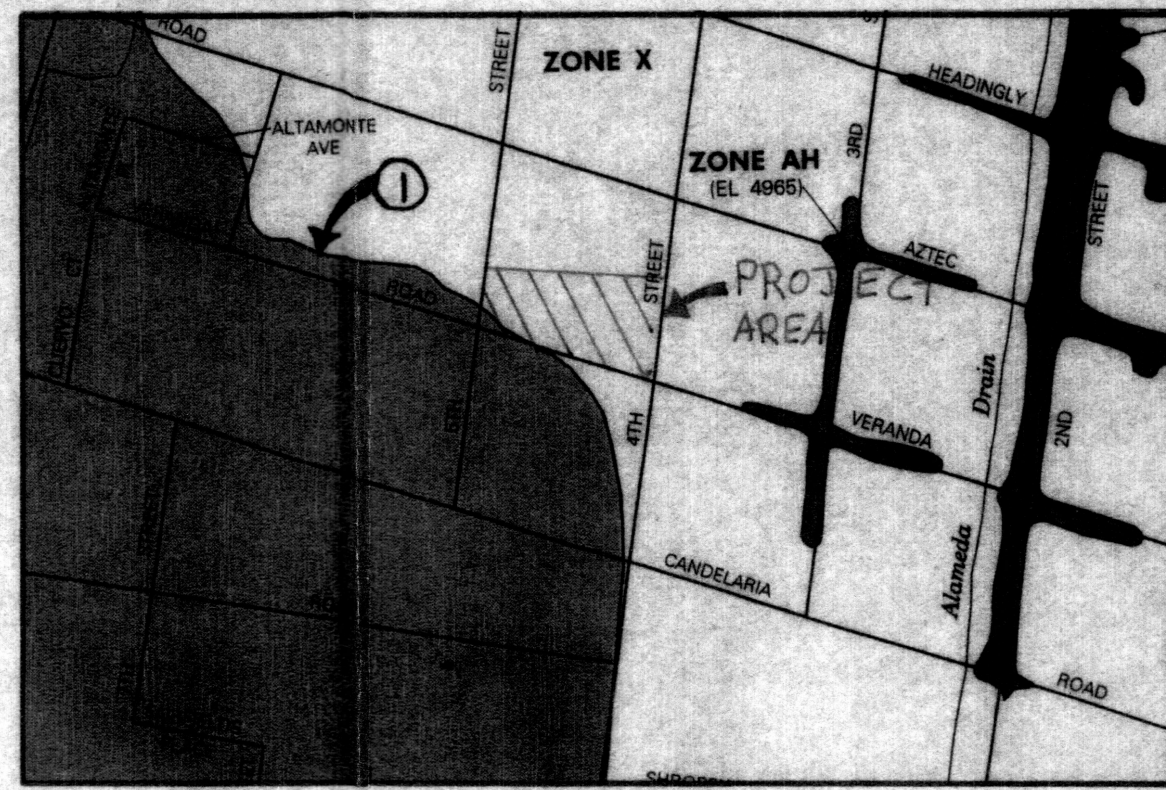
07-02-01

C-201



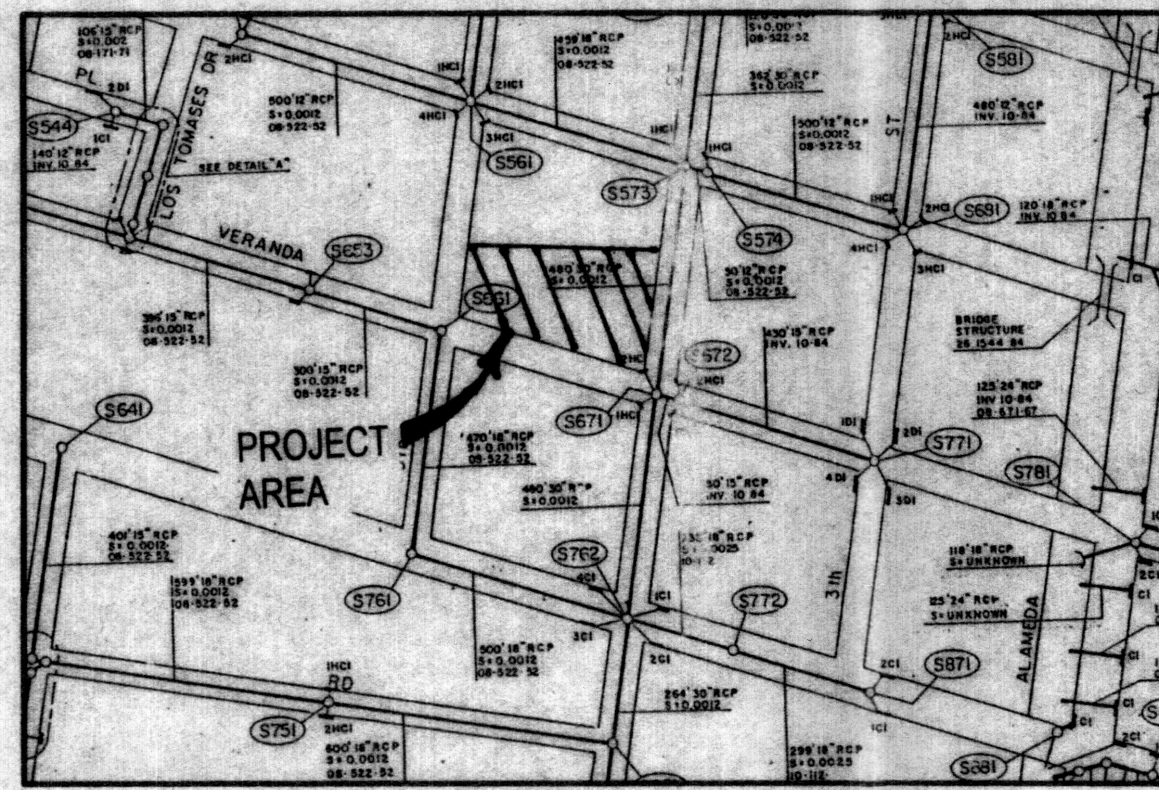


VICINITY MAP

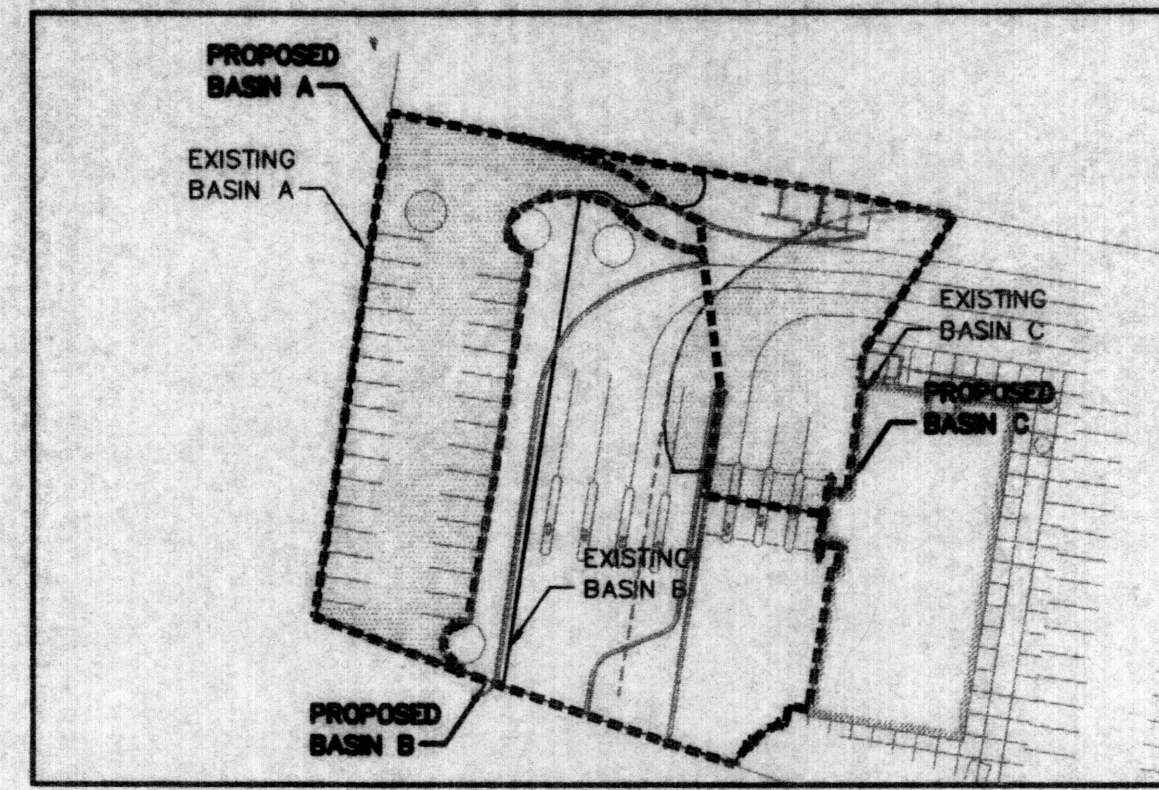


FEMA MAP PANEL

① AREAS OF 500 YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD



DRAINAGE FACILITIES MAP



DRAINAGE BASINS

### HYDROLOGY CALCULATIONS

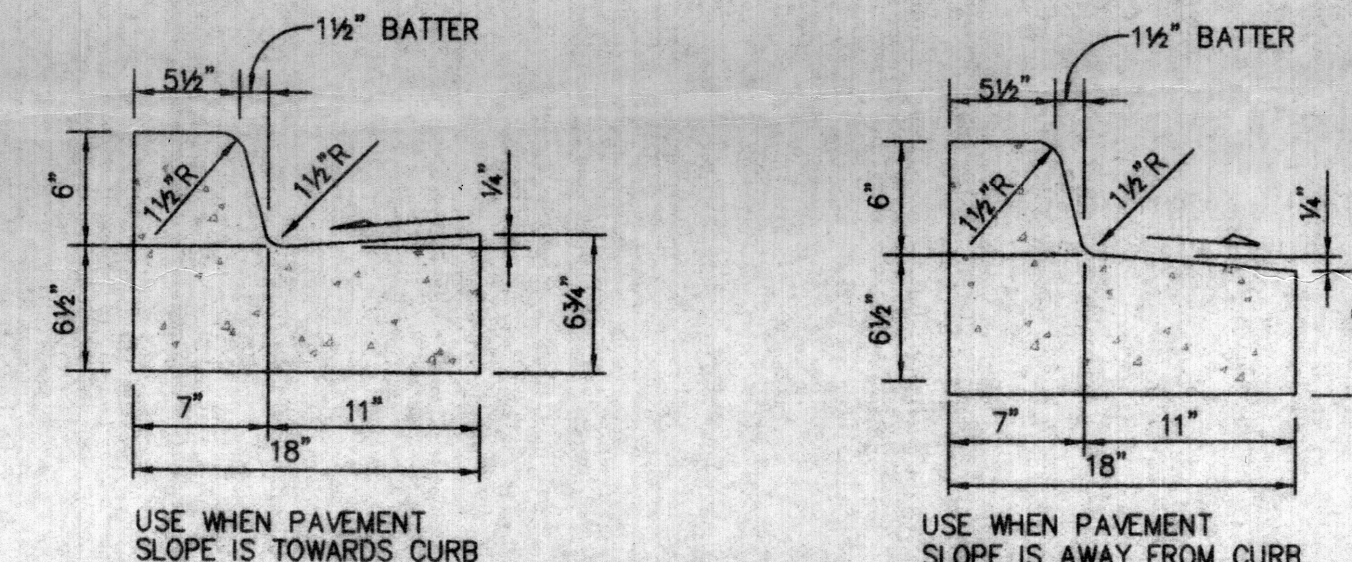
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10-day) (acre-ft)	V (10-day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
A	0.33	0.00	4.90	0.00	95.10	2.05	0.06	2,461	0.10	4,284	1.51
B	0.36	0.00	7.10	2.20	90.70	2.00	0.06	2,618	0.10	4,514	1.62
C	0.16	0.00	4.90	2.80	92.30	2.03	0.03	1,177	0.05	2,035	0.73
TOTAL	0.85						0.14	6,256	0.25	10,832	3.86
PROPOSED CONDITIONS											
A	0.27	0.00	0.00	0.00	100.00	2.12	0.05	2,039	0.08	3,578	1.25
B	0.40	0.00	24.30	0.00	75.70	1.79	0.06	2,664	0.10	4,462	1.66
C	0.18	0.00	0.00	17.70	82.30	1.94	0.03	1,242	0.05	2,084	0.78
TOTAL	0.85						0.14	5,946	0.23	10,125	3.71

EXCESS PRECIP. 0.53 0.78 1.13 2.12 E (in)  
PEAK DISCHARGE 1.56 2.28 3.14 4.70 Q<sub>pt</sub> (cfs)

WEIGHTED E (in) = (EA)(A%) + (EB)(B%) + (EC)(C%) + (ED)(D%)  
V<sub>6-hr</sub> (acre-ft) = (WEIGHTED E)(AREA)/12  
V<sub>10-day</sub> (acre-ft) = V<sub>6-hr</sub> + (AD)(P10-day - P6-hr)/12  
Q (cfs) = (QPA)(AA) + (QPB)(AB) + (QPC)(AC) + (QPD)(AD)

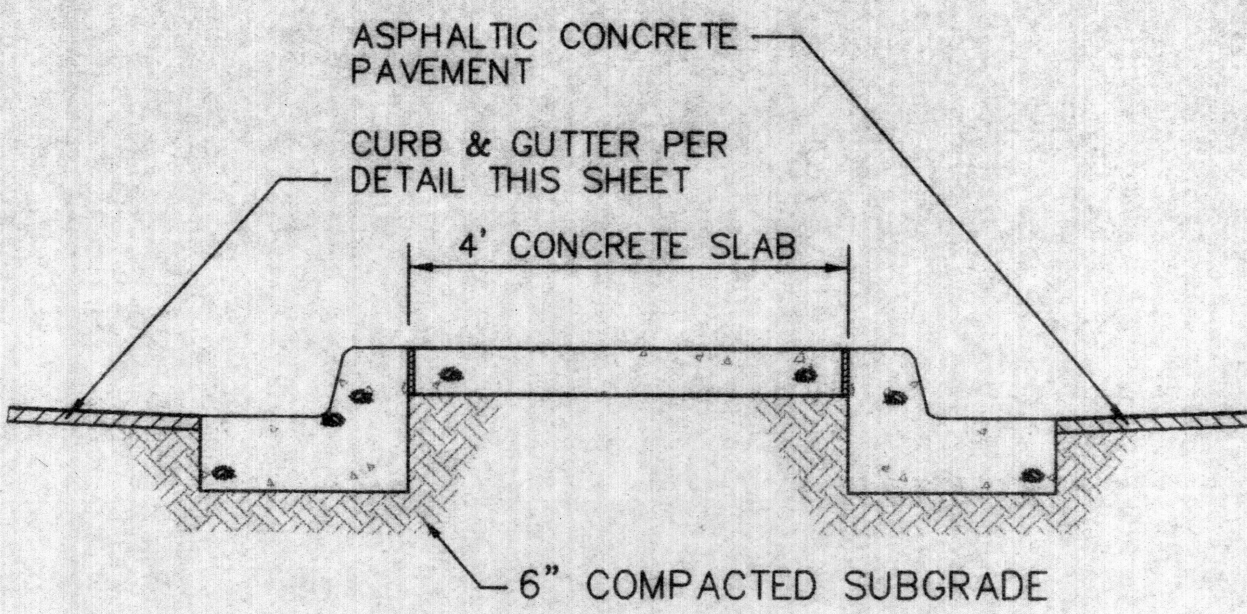
ZONE = 2  
P6-hr (in) = 2.35  
P24-hr (in) = 2.75  
P10-day (in) = 3.95

4000 PSI PCC AT 28 DAYS. PROVIDE 1/4" EXPANSION JOINTS @ 36" O.C. • IMMOVABLE OBJECTS & • BEGINNING & END OF CURVES. PROVIDE 1/2" DEEP CONTRACTION JOINTS @ 6" O.C.



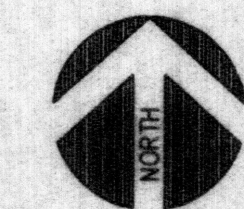
6" CONCRETE CURB AND GUTTER DETAIL

NTS

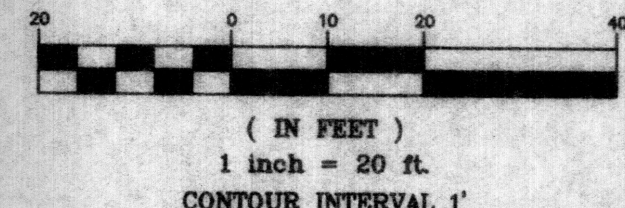


DIVIDER ISLAND

NTS



GRAPHIC SCALE



**CHAVEZ • GRIEVES**  
CONSULTING ENGINEERS, INC.  
5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 344-4080 • FAX (505) 343-8759

### GRADING AND DRAINAGE

### GENERAL NOTES

ALL NEW CURB AND GUTTER TO BE INSTALLED PER DETAIL 1 THIS SHEET.  
SEE ARCHITECTURAL SHEETS FOR SITE AND DEMOLITION PLAN.

### BENCHMARK

ACS ALUMINUM DISK, STAMPED "ACS BM 21-G14", EPOXIED TO TOP OF A CONCRETE INLET, WNW QUADRANT OF FOURTH ST. AND CANDELARIA RD NW. ELEV. = 4968.431'

### TEMPORARY BENCHMARK (TBM)

PK NAIL SET IN ASPHALT AND LOCATED AS SHOWN ON PLANS. ELEV. = 4968.46'

### LOCATION

THE PROJECT AREA IS LOCATED AT 3801 FOURTH ST. BORDERING FOURTH ST., VERANDA ROAD, AND FIFTH ST. THIS AREA CAN BE FOUND ON THE CITY OF ALBUQUERQUE ZONE ATLAS PAGE G-14-Z.

### EXISTING SITE CONDITIONS

THE RENOVATION WILL CONTAIN 0.85 ACRES OF THE SITE. THIS AREA CONSISTS OF THREE DRAINAGE BASINS. BASIN A DRAINS TO A DRIVEWAY ENTRANCE ONTO FIFTH STREET AND FLOWS NORTH ON FIFTH. BASIN B DRAINS TO VERANDA ROAD VIA THREE DRIVEWAY ENTRANCES. ONCE BASIN B DRAINS TO VERANDA, IT FLOWS SOUTHEAST ON VERANDA AND IS COLLECTED INTO A STORM DRAIN ON FOURTH ST. BASIN C DRAINS TO FOURTH STREET VIA A DRIVEWAY ENTRANCE.

### PROPOSED SITE CONDITIONS

THE PROPOSED RENOVATION WILL EFFECT 0.85 ACRES OF THE EXISTING SITE. THIS AREA WILL CONSIST OF THREE DRAINAGE BASINS. BASIN A WILL CONTINUE TO DRAIN AS EXISTING CONDITIONS BUT WILL DECREASE IN SIZE BY 0.07 ACRES. BASIN B WILL ALSO CONTINUE TO DRAIN AS EXISTING CONDITIONS BUT TOTAL SIZE WILL INCREASE BY 0.05 ACRES. BASIN C WILL CONTINUE TO DRAIN AS EXISTING CONDITIONS BUT TOTAL SIZE WILL INCREASE BY 0.02 ACRES. THE PROPOSED CONDITIONS WILL DECREASE THE TOTAL IMPERVIOUS AREA, THROUGH THE ADDITION OF LANDSCAPED AREA, RESULTING IN AN ACCUMULATIVE DECREASE OF 0.15 CFS FROM EXISTING TO PROPOSED CONDITIONS.

**NIMS, CALVANI & ASSOCIATES, P.A.**  
ARCHITECTS • PLANNERS • AIA

525 SAN PEDRO NE, SUITE 110  
ALBUQUERQUE, NEW MEXICO 87106  
(505) 255-6400  
FAX: (505) 268-6954

425-C N. TELSHOR, SUITE 203  
LAS CRUCES, NEW MEXICO 88011  
(505) 521-3757  
FAX: (505) 521-3880



WELLS FARGO  
BANK RENOVATIONS  
ALBUQUERQUE, NM  
GRADING AND DRAINAGE

REVISIONS	TS	BP
0067		
01-02-00		
C-601		

PDF FILE: C02000.PDF  
FILE: A021631001.DWG  
XREF: A/TS  
XREF: 01/02/00 PG

002 NO. 005-003-00  
FILE: A021631001.DWG  
ENG/TECH: A/TS  
REV: 01/02/00 PG



