

CITY OF ALBUQUERQUE



December 10, 2015

Richard J. Berry, Mayor

Jeffrey T. Wooten
Wooten Engineering
1368 Reynosa Loop SE
Rio Rancho, NM, 87124

**RE: Commercial & Apartment Building – Phase I
4th St NW and Freeman Ave NW
Grading and Drainage Plan
Engineer's Stamp Date 12-7-2015 (File: G14D066)**

Dear Mr. Wooten:

Based upon the information received on 12-8-2015, the above referenced Grading and Drainage Plan is approved for Building Permit. Previous approval was given on 12/1/2015, but we understand that the plan was revised to make minor changes to the northern entrance. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

This replaces the previous approval given on 12/1/2015.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file

G14D066_BP_appr.docx



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

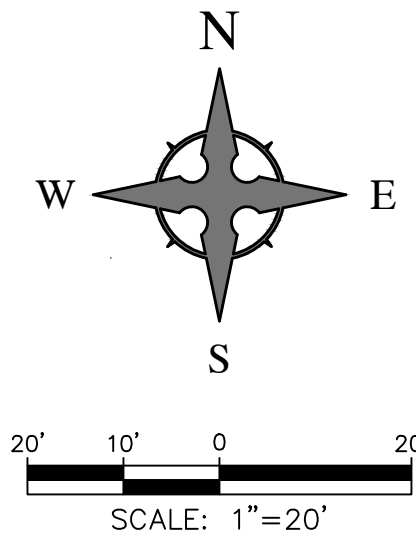
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



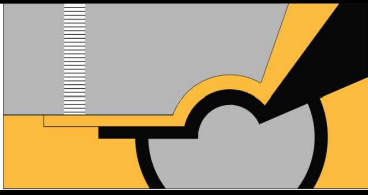

SITE DEVELOPMENT DATA	
ZONING	
CURRENT ZONING	SU-2 NFMX
PROPOSED ZONING	NO CHANGE
PROPOSED USE	MIXED USE RETAIL AND RESIDENTIAL
PARKING CALCULATIONS	
BASED ON THE NORTH 4th STREET CORRIDOR PLAN	
PARKING:	
39 DWELLING UNITS X 1.5 SPACES PER UNIT = 59 SPACES	
4,702 SF RETAIL X 3 SPACES PER 1,000 SF = 15 SPACES	
SUBTOTAL = 74 SPACES	
REDUCTION FOR TRANSIT STOP 20%	
REVISED SUBTOTAL = 60 SPACES	
PER TABLE 3-5 ON PAGE 37 OF NORTH 4th CORRIDOR PLAN (60/1.2) = 50 SPACES	
OFF STREET PARKING PROVIDED INCLUDING HC = 59 SPACES (14 COMPACT - 24%)	
MOTORCYCLE PARKING PER ZONING CODE = 3	
MOTORCYCLE SPACES PROVIDED = 3	
DISABLED SPACES = 4 (INCLUDED IN TOTAL PARKING COUNT)	



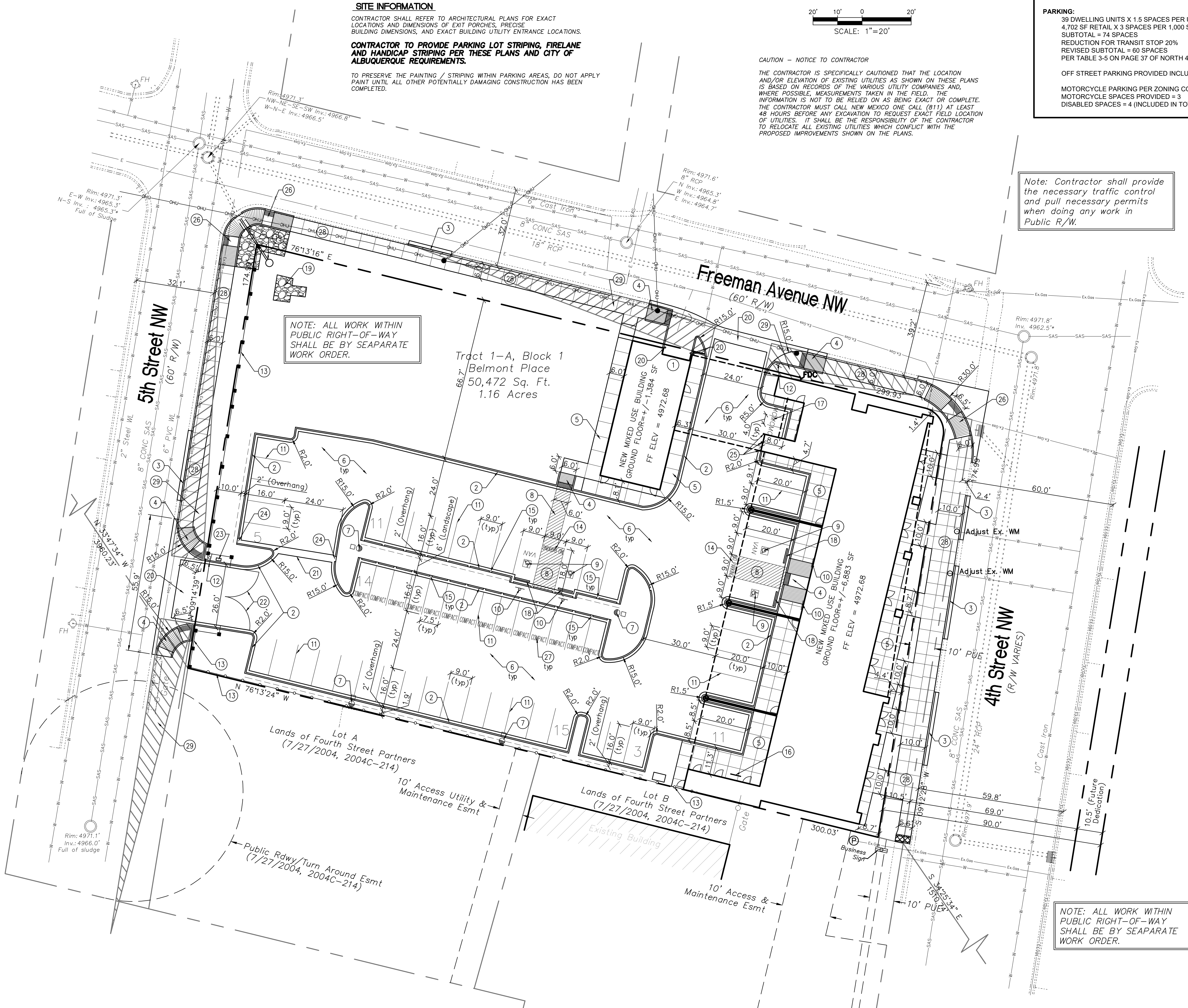
VICINITY MAP Zone Atlas C-14
NTS

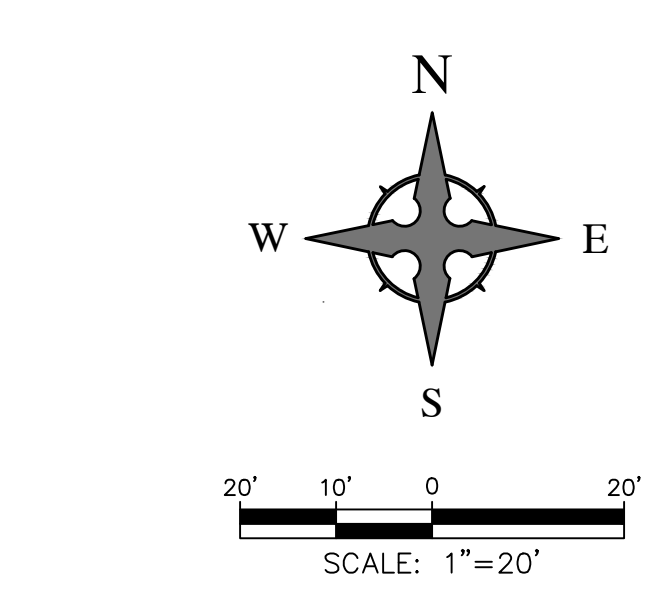
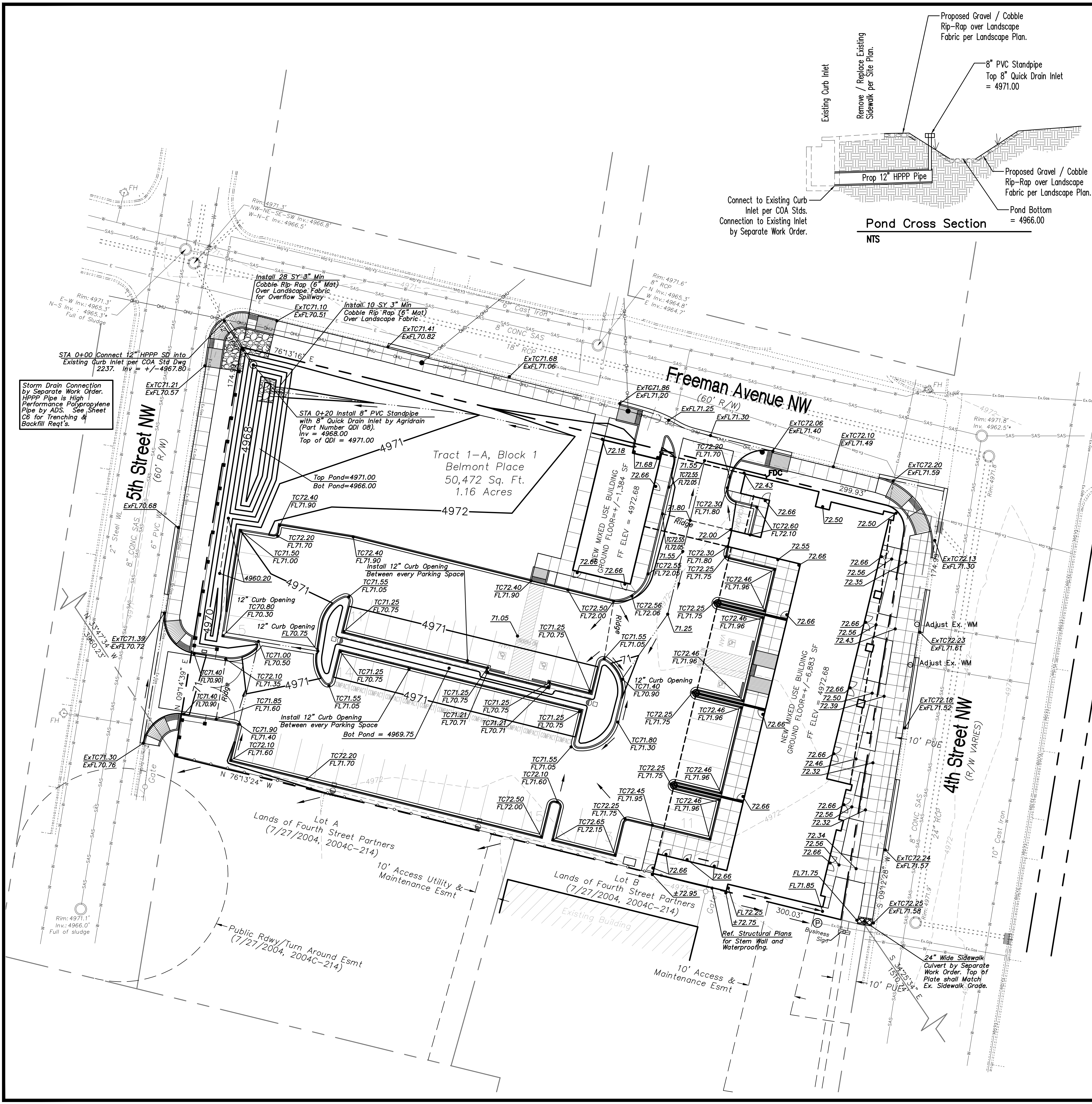
KEYED NOTES

1. TRASH AREA LOCATED IN BUILDING PER ARCH PLANS. INSTALL 'NO PARKING SIGN' ABOVE DOOR.
2. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
3. CLOSE EXISTING CURB CUT BY INSTALLING STANDARD 8" CURB/GUTTER PER COA STD DWG 2415A (PUBLIC RIGHT-OF-WAY ONLY). BY SEPARATE WORK ORDER.
4. INSTALL CURB RAMP WITH DETECTABLE WARNING SURFACE PER DETAILS ON SHEET C6. RAMP WITHIN PUBLIC RIGHT-OF-WAY BY SEPARATE WORK ORDER.
5. INSTALL PRIVATE CONCRETE SIDEWALK PER COA STD DWG 2430.
6. ASPHALT PAVEMENT, SEE PAVING DETAILS ON SHEET C6. FOR MAIN DRIVES, USE HEAVY DUTY PAVEMENT. FOR PARKING SPACES, USE STANDARD DUTY ASPHALT PAVEMENT.
7. PROPOSED SITE LIGHTING, SEE MEP PLANS.
8. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
9. PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
10. INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN SHALL INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
11. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
12. INSTALL 'STOP' SIGN (R1-1-36 PER MUTCD STDS). SIGN BASE PER DETAIL ON DETAIL SHEET.
13. PROPOSED PERIMETER FENCING PER ARCHITECTURAL DETAILS.
14. PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
15. INSTALL 12" CURB OPENING AT EVERY PARKING SPACE FOR DRAINAGE INTO PONDING AREA.
16. INSTALL BIKE RACK PER DETAIL SHEET. SEVEN (7) SPACES PER RACK.
17. MOTORCYCLE PARKING. ADD PAINT LABEL PER COA STDS. TWO COATS MINIMUM.
18. INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
19. STORM DRAIN INLET, PIPE, & RIP-RAP. REF. SHEET C3.
20. DRIVEWAY AND VALLEY GUTTER PER COA STD DWG 2426 BY SEPARATE WORK ORDER.
21. INSTALL 3' WIDE VALLEY GUTTER PER DETAIL, SHEET C6.
22. INSTALL AUTOMATIC SWINGING GATE SYSTEM PER ARCH. PLANS.
23. INSTALL KNOX BOX FOR FIRE DEPARTMENT ACCESS.
24. INSTALL 24" CURB OPENING FOR DRAINAGE.
25. INSTALL 6" BOLLARD PER DETAIL, SHEET C6.
26. TYPE B WHEELCHAIR RAMP PER DETAIL ON SHEET C6.
27. PAINT THE WORD 'COMPACT' IN COMPACT SPACES. MIN 8" TALL. COLOR: WHITE. 2 COATS MIN.
28. INSTALL PUBLIC CONCRETE SIDEWALK PER COA STD DWG 2430 BY SEPARATE WORK ORDER.
29. 13'x130' CLEAR SIGHT TRIANGLE. LANDSCAPING & SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

No	Revision	Item	Date
<div><div>SCOTT C. ANDERSON & associates architects 7604 rio pecos ne albuquerque, nm 87120 andersonscott@comcast.net 505.401.7575</div></div>			
COMMERCIAL & APARTMENT BUILDING PHASE 1 4419 4th ST NW ALBUQUERQUE, NM 87107			
DRAWING TITLE Traffic Circulation Layout			
<div><div>JEFFREY TODD WOOTEN NEW MEXICO 16892 PROFESSIONAL ENGINEER</div></div>	DESIGNED	JTW	PROJECT NO WE2014059
	DRAWN	JTW	SCALE See Plan
	CHECKED	JTW	DRAWING NO
	REVIEWED	JTW	DATE 10/5/15
12/7/2015			C1 of 6

Wooten Engineering
1005 21st Street SE, Suite B1
Rio Rancho, N.M. 87124
Phone: (505) 980-3560





CAUTION - NOTICE TO CONTRACTOR

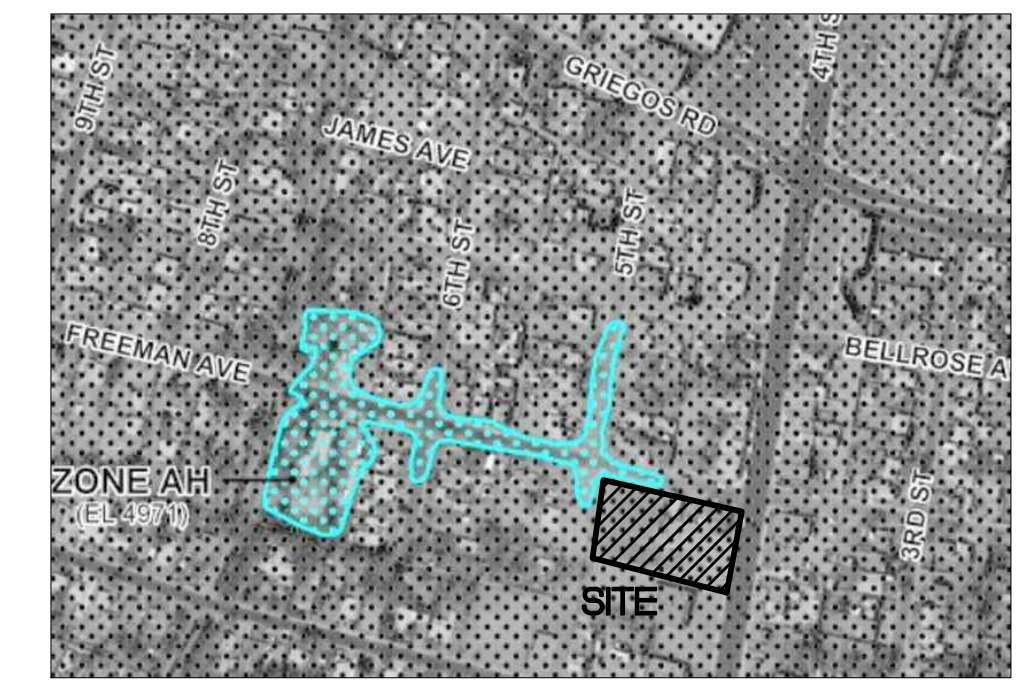
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

- LEGEND**
- FLOW ARROW
 - PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - PROPOSED TOP OF CURB ELEVATIONS
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - EXISTING STORM DRAIN
 - FLOW LINE
 - RIDGE LINE

- GRADING NOTES**
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
 - ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
 - VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
 - THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



VICINITY MAP Zone Atlas G-14
Legal Description: Tract 1-A, Block 1, Belmont Place



FIRM MAP 35001C0119G
Per FIRM Map 35001C0119G, dated September 26, 2008, the site is not located in the 'Zone X Floodplain' and determined to be within the 0.2% chance Annual Floodplain area with depths of less than 1 foot.

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 UPDATE NO. 8.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NM ONE CALL FOR LOCATION OF EXISTING UTILITIES. (NM ONE CALL = 811)
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

No	Revision	Item	Date
<div><div></div><div>7600 rio penasco nwe albuquerque, nm 87120 andersonscott@scottanderson.com 505.481.7575</div></div>			
COMMERCIAL & APARTMENT BUILDING PHASE 1 4419 4th ST NW ALBUQUERQUE, NM 87107			
DRAWING TITLE Grading Plan			
<div><div></div><div>JEFFREY TODD WOOTEN NEW MEXICO 16892 PROFESSIONAL ENGINEER</div></div>	DESIGNED	JTW	PROJECT NO WE2014059
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			C2 of 6

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