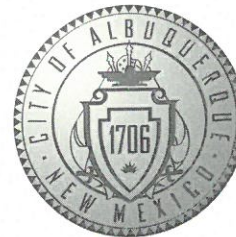


# CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

December 28, 2017

Shawn Biazar  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct. NW  
Albuquerque, NM, 87114

**RE: Commercial & Apartment Building – Phase II**  
**4419 4<sup>th</sup> Street NW**  
**Request for Permanent C.O. – Accepted**  
**Stamp Date: 3/12/17**  
**Hydrology File: G14D066**

Dear Mr. Biazar:

PO Box 1293

Based on the Certification received 12/26/17 and site visit on 12/28/17, the site is acceptable for a Permanent Certificate of Occupancy by Hydrology for 4419 4th Street NW.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

DRAINAGE MANAGEMENT PLAN

INTRODUCTION  
The purpose of this submittal is to provide a final drainage management plan for the PHASE II of 4419 4th St NW, located at the SWC of 4th St NW and Freeman Ave NW in Albuquerque, NM. The site contains approximately 1.16 acres. A grading and drainage plan was submitted for the Phase I and was approved by Hydrology Department (G140066).

EXISTING HYDROLOGIC CONDITIONS  
The Phase I is already constructed and all the ponds are built. The grades shown here are as-built grades for the site. All the curb and gutter and asphalt are existing. Phase II on the original plan was shown as just dirt and it was draining to pond B. All the calculation was shown on Phase I grading plan.

PROPOSED HYDROLOGIC CONDITIONS  
The proposed drainage patterns remain the same as original approved grading plan. However the impervious area has changed a little and also pond B was modified to accommodate the foot print of building on Phase II. Please see the ponding calculation and revised Pond B.

FIRST FLUSH CALCULATIONS  
Per the First Flush Calculations on this sheet, the total First Flush Volume required to be collected for the site is 1,258 CF. Per the Water Harvesting Pond Calculations table this sheet, we are actually retaining 3,870.50 CF of flow from the site which is just over 3 times the quantity required.

DRAINAGE CERTIFICATION

I, REZA AFAGHPOUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03-12-2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 (LEONARD MARTINEZ), OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

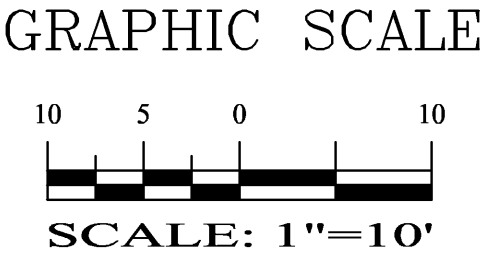
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR  
NEW MEXICO  
11814  
12/26/2017  
REZA AFAGHPOUR, NMPE 11814  
DATE

POND VOLUME REQUIRED  
TOTAL PONDING VOLUME REQUIRED (90TH PERCENTILE/FIRST FLUSH) = 0.34 INCHES x IMPERVIOUS AREA = (0.34/12 x 44,396.00) = 1,257.89 CF

POND CALCULATION  
TOTAL POND AREA PROVIDED =  
PONDING CALCULATIONS:  
POND A VOLUME FROM PHASE I= 369.00 CF  
POND B: AREA @ TOP = 865.00, AREA @ BOTTOM = 865.00  
POND VOLUME = (865.00+865.00)/2\*3.84 = 3,321.60 CF  
POND C: AREA @ TOP = 519.00, AREA @ BOTTOM = 273.00  
POND VOLUME = (519.00+273.00)/2\*0.75 = 297.00 CF  
TOTAL POND VOLUME PROVIDED = 3,987.60 CF

- NOTES:
- EXISTING 12" CURB OPENNING.
  - EXIST. 12" STORM DRAIN PIPE.
  - EXIST. 8" QUICK DRAIN INLET, INV.=68.65, TOP OF QUICK DRAIN INLET=4970.90.



VICINITY MAP:  
LEGAL DESCRIPTION:  
TRACT 1-A, BLOCK 1, BELMONT PLACE  
CONTAINING 60,306.32 S.F. ( 1.16 ACRE ).  
ZONING: SU-2 NFMX

- GENERAL NOTES:
- CONTOUR INTERVAL IS HALF (1.00) FOOT.
  - UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - SLOPES ARE AT 3:1 MAXIMUM.

LEGEND	
-----5030-----	EXISTING CONTOUR (MAJOR)
-----5029-----	EXISTING CONTOUR (MINOR)
-----	BOUNDARY LINE
x 28.50	AS-BUILT GRADES
x 5029.16	EXISTING GRADE
x 5075.65	EXISTING FLOWLINE ELEVATION
FL	
■■■■■■■■■■	PROPOSED RETAINING WALL
BC=89.08	BOTTOM OF CHANEL
TC=28.50	TOP OF CURB
TA=28.00	TOP OF ASPHALT
HP	HIGH POINT
86.65	AS-BUILT GRADES
85.47	
x 86.65	AS-BUILT SPOT ELEVATIONS



REZA AFAGHPOUR  
P.E. #11814

SBS CONSTRUCTION  
AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)899-3570

COMMERCIAL & APARTMENT BUILDING PHASE II  
4419 4TH ST., NW., ALBUQUERQUE, NM 87107  
GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201601-ST.DWG	SH-B	03-12-2017	1

LAST REVISION: 12-26-2017