



**Planning Department  
Transportation Development Services**

October 26, 2015

Jeffrey Wooten, PE  
Wooten Engineering  
1368 Reynosa Loop SE  
Rio Rancho, NM 87124

**Re: Commercial & Apartment Building – Phase I  
4419 4<sup>th</sup> St., NW  
Traffic Circulation Layout  
Engineer's/Architect's Stamp dated 10-15-15 (G14-D066)**

Dear Mr. Wooten,

Based upon the information provided in your submittal received 10-15-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

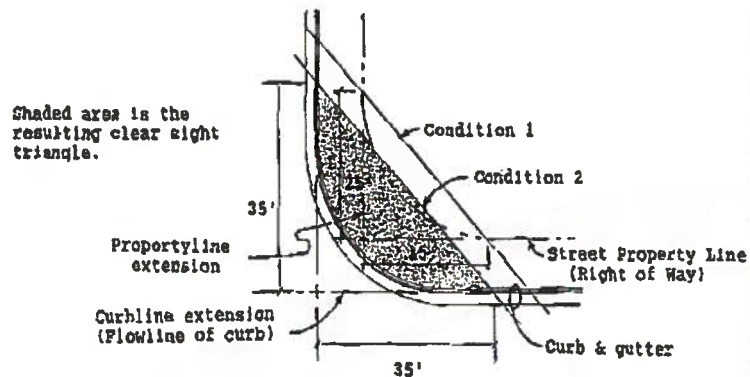
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

1. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Clearly detail ADA pathway from both Freeman Ave. and 4<sup>th</sup> St. to proposed building on the east end of the proposed project fronting 4<sup>th</sup> St.
2. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please detail ADA accessible pedestrian pathway from parking island ADA spaces to proposed mixed used building at the east end of the project site. Clearly detail the pathway from the ADA pathway to the proposed mixed used building on the east end of the project. The ADA pathway detailed on the drawing is 5 ft. wide and only provides a pathway to proposed mixed use building to the north.
3. Design delivery vehicle route needs to be shown.
4. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. Please detail location and refuse container.
5. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please show this detail for drive pad entrances/exits on 5<sup>th</sup> St. and Freeman Ave.

# CITY OF ALBUQUERQUE



6. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
7. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
8. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

www.cabq.gov

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Commercial & Apartment Building - Phase 1 Building Permit #: \_\_\_\_\_ City Drainage # G14D066  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Tract 1-A, Block 1, Belmont Place  
 City Address: 4419 4th St NW

Engineering Firm: Wooten Engineering Contact: Jeffrey T. Wooten, P.E.  
 Address: 1368 Reynosa Loop SE, Rio Rancho, NM 87124  
 Phone#: 505-980-3560 Fax#: N/A E-mail: jeffwooten.pe@gmail.com

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Scott C Anderson & Associates Architects Contact: Scott Anderson  
 Address: 7604 Rio Penasco NW, ABQ, NM 87120  
 Phone#: 505-401-7575 Fax#: N/A E-mail: andersonscottc@comcast.net

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) \_\_\_\_\_

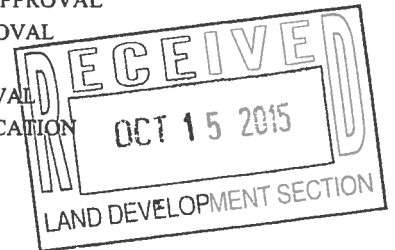
**TYPE OF SUBMITTAL:**

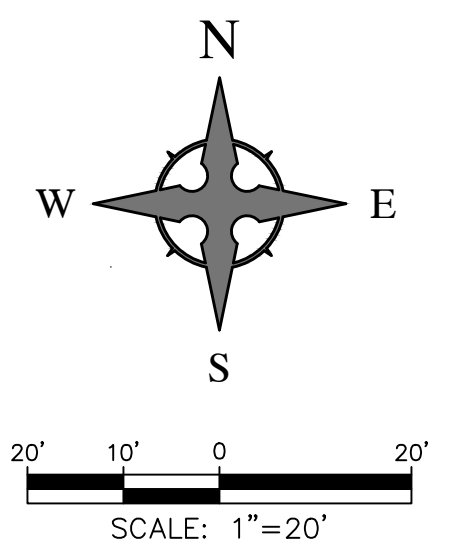
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?:  Yes  No

DATE SUBMITTED: 10/16/2015 By: Jeffrey T. Wooten, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





SITE DEVELOPMENT DATA	
ZONING	
CURRENT ZONING	SU-2 NFMX
PROPOSED ZONING	NO CHANGE
PROPOSED USE	MIXED USE RETAIL AND RESIDENTIAL
PARKING CALCULATIONS	
BASED ON THE NORTH 4TH STREET CORRIDOR PLAN	
PARKING:	
39 DWELLING UNITS X 1.5 SPACES PER UNIT = 59 SPACES	
4,702 SF RETAIL X 3 SPACES PER 1,000 SF = 15 SPACES	
SUBTOTAL = 74 SPACES	
REDUCTION FOR TRANSIT STOP 20%	
REVISED SUBTOTAL = 60 SPACES	
PER TABLE 3-5 ON PAGE 37 OF NORTH 4TH CORRIDOR PLAN (60/1.2) = 50 SPACES	
OFF STREET PARKING PROVIDED INCLUDING HC = 57 SPACES	
MOTORCYCLE PARKING PER ZONING CODE = 3	
MOTORCYCLE SPACES PROVIDED = 3	
DISABLED SPACES = 4 (INCLUDED IN TOTAL PARKING COUNT)	



**SITE INFORMATION**

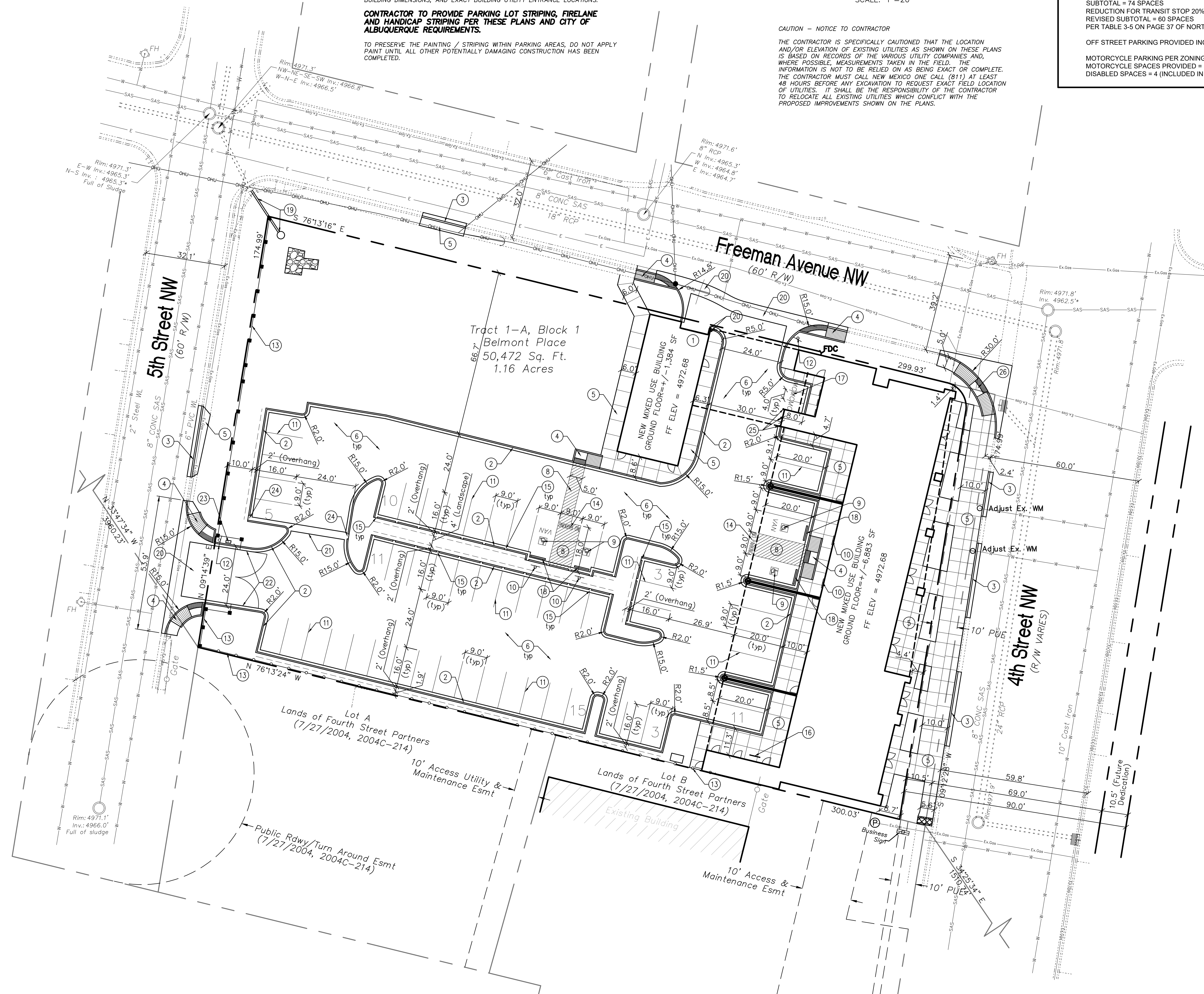
CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXISTING UTILITIES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.

**CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.**

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

**CAUTION - NOTICE TO CONTRACTOR**

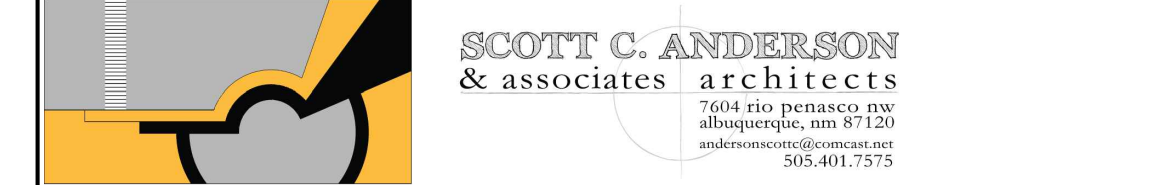
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW MEXICO ONE CALL (811) AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



**KEYED NOTES**

- TRASH AREA LOCATED IN BUILDING. MAINTENANCE CREW TO MOVE TO CURB ON PICK UP DAY.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.
- INSTALL STANDARD 8" CURB/GUTTER PER COA STD DWG 2415A (PUBLIC RIGHT-OF-WAY ONLY).
- INSTALL CURB RAMP WITH TRUNCATED DOMES PER DETAILS ON DETAIL SHEET. MATCH ADJACENT SIDEWALK WIDTH.
- INSTALL CONCRETE SIDEWALK PER DETAIL ON DETAIL SHEET.
- ASPHALT PAVEMENT, SEE PAVING DETAILS ON DETAIL SHEET. FOR MAIN DRIVES, USE HEAVY DUTY PAVEMENT. FOR PARKING SPACES, USE STANDARD DUTY ASPHALT PAVEMENT.
- PROPOSED SITE LIGHTING, SEE MEP PLANS.
- INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS). TWO COATS MINIMUM.
- PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS. TWO COATS MINIMUM.
- INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. WHEN A POLE MOUNTED SIGN WILL NOT FIT WITHIN DESIGNATED AREA, SIGN SHALL BE BOLTED TO BUILDING. H/C SIGN MUST INCLUDE LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING MINIMUM TWO COATS.
- INSTALL 'STOP' SIGN (R1-1-36 PER MUTCD STDS). SIGN BASE PER DETAIL ON DETAIL SHEET.
- PROPOSED PERIMETER FENCING PER ARCHITECTURAL DETAILS.
- PAINT WORDS 'NO PARKING' WITH LETTERS AT LEAST ONE FOOT HIGH AND 2 INCHES WIDE. TWO COATS MINIMUM.
- INSTALL 12" CURB OPENING AT EVERY PARKING SPACE TO ALLOW DRAINAGE INTO PONDING AREA.
- INSTALL BIKE RACK PER DETAIL SHEET. SEVEN (7) SPACES PER RACK.
- MOTORCYCLE PARKING. ADD PAINT LABEL PER COA STDS. TWO COATS MINIMUM.
- INSTALL PRE-CAST WHEEL STOP PER DETAIL THIS SHEET.
- STORM DRAIN INLET AND PIPE. REF. SHEET C3.
- INSTALL DRIVEWAY AND VALLEY GUTTER PER COA STD DWG 2426.
- INSTALL 3" WIDE VALLEY GUTTER PER DETAIL, SHEET C6.
- INSTALL AUTOMATIC SWINGING GATE SYSTEM PER ARCH. PLANS.
- INSTALL KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- INSTALL 24" CURB OPENING FOR DRAINAGE.
- INSTALL 6" BOLLARD PER DETAIL, SHEET C6.
- INSTALL TYPE B WHEELCHAIR RAMP PER COA STD DWG ON DETAIL SHEET.

No	Revision	Item	Date

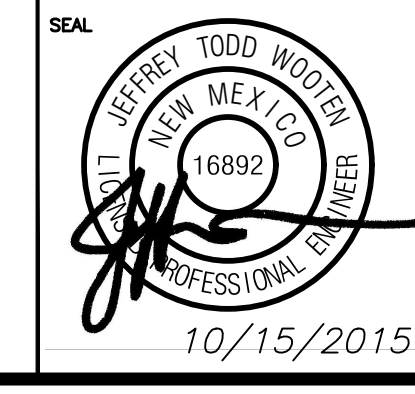


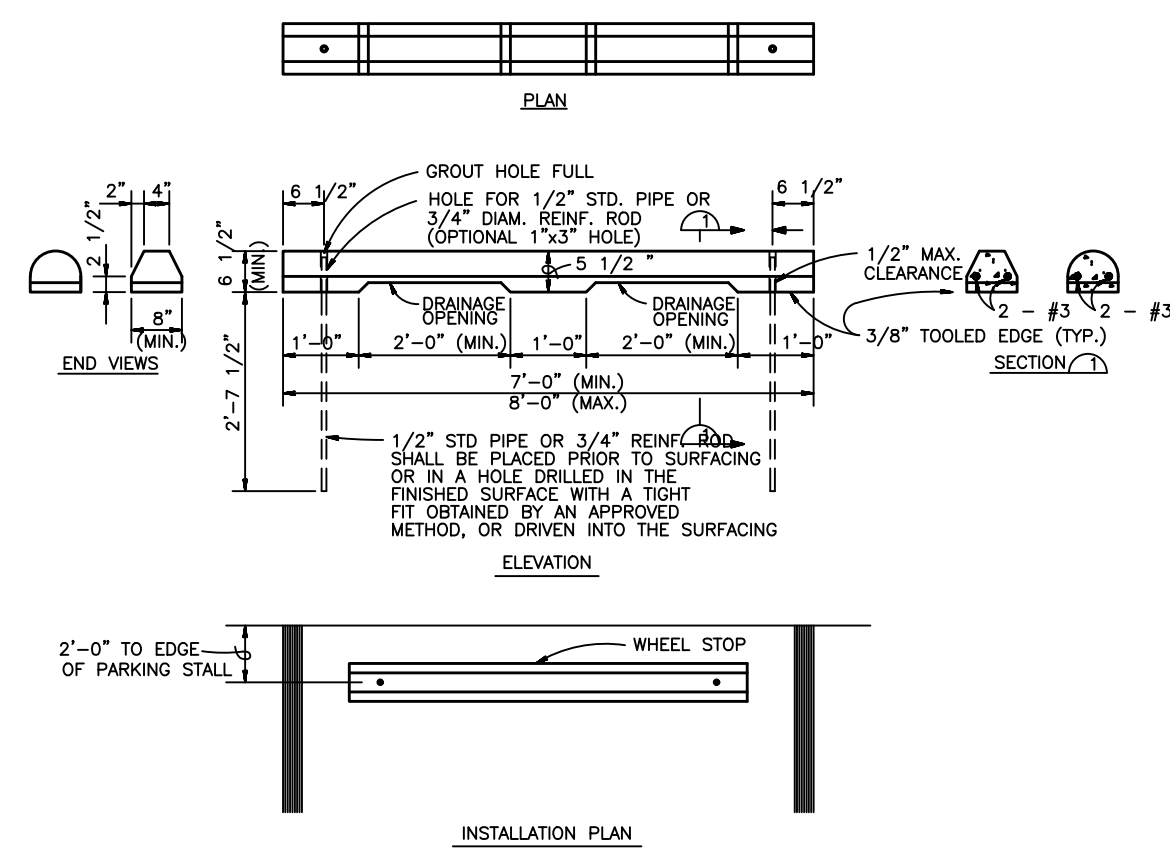
COMMERCIAL & APARTMENT BUILDING PHASE 1  
4419 4th ST NW  
ALBUQUERQUE, NM 87107

DRAWING TITLE  
**Traffic Circulation Layout**

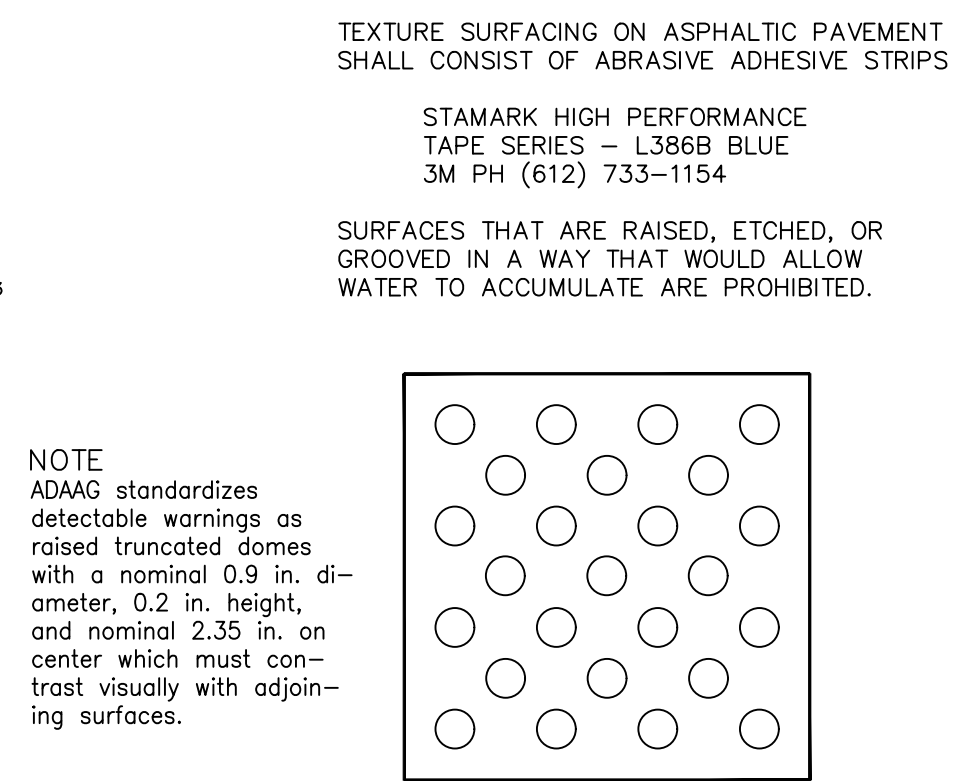
DESIGNED	JTW	PROJECT NO	WE2014059
DRAWN	JTW	SCALE	See Plan
CHECKED	JTW	DRAWING NO	C1_6
REVIEWED	JTW	DATE	10/5/15

**Wooten Engineering**  
1368 Reynosa Loop SE  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

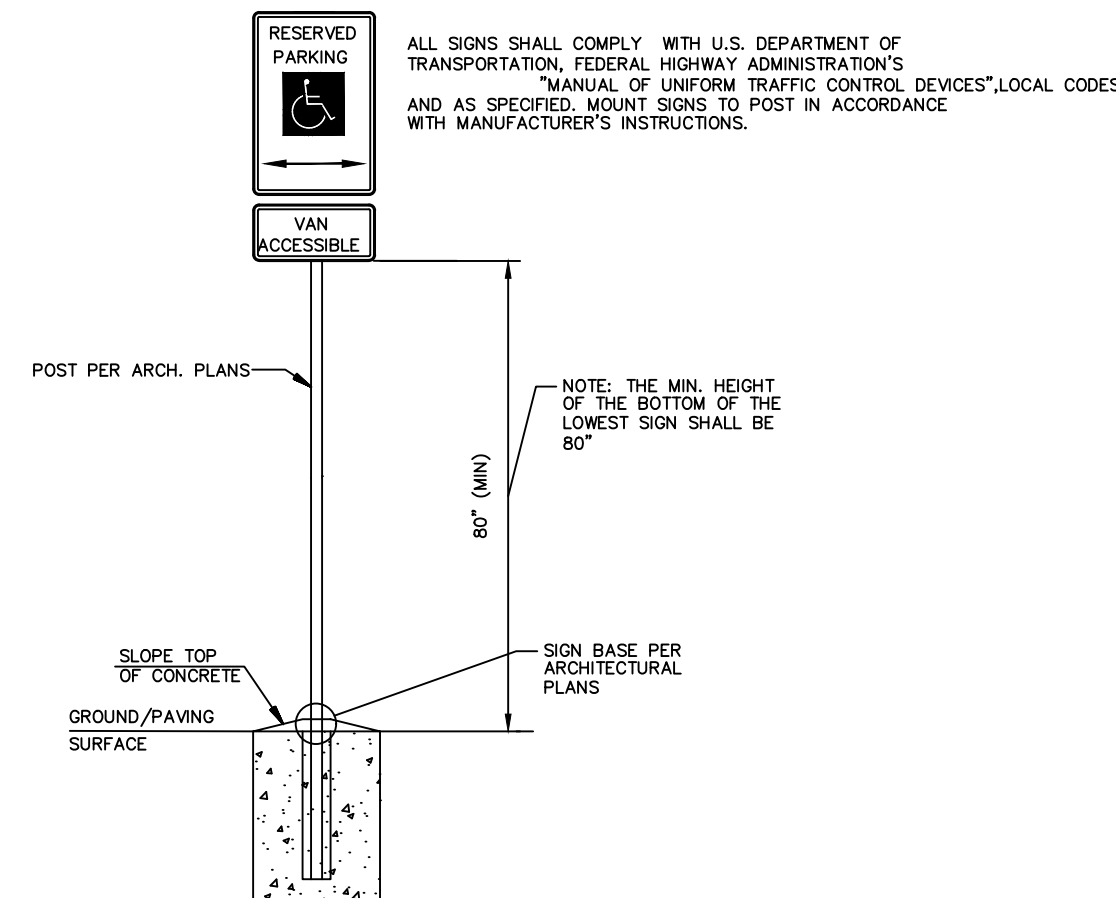




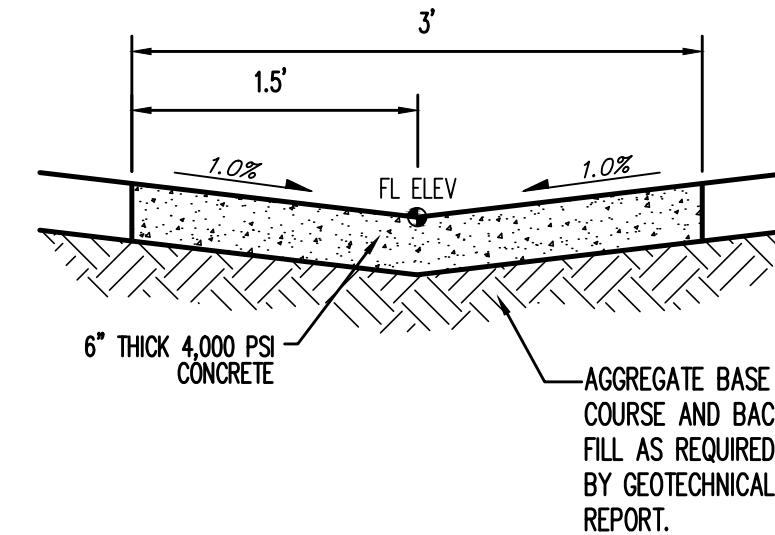
**Precast Concrete Wheel Stop**  
NTS



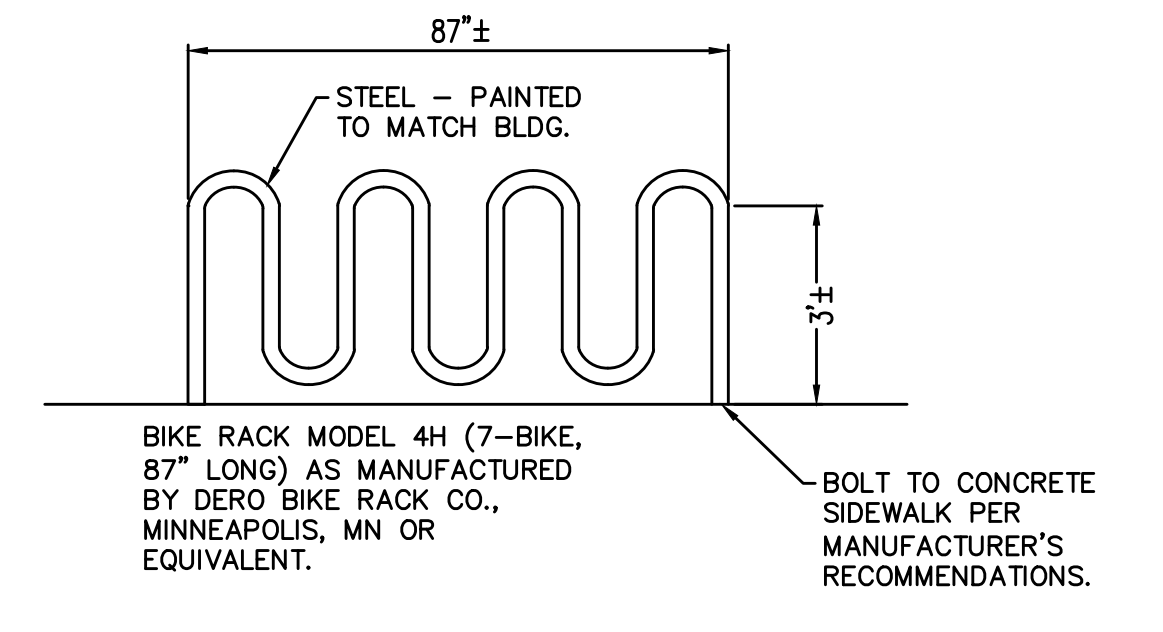
**Truncated Domes Detail**  
NTS



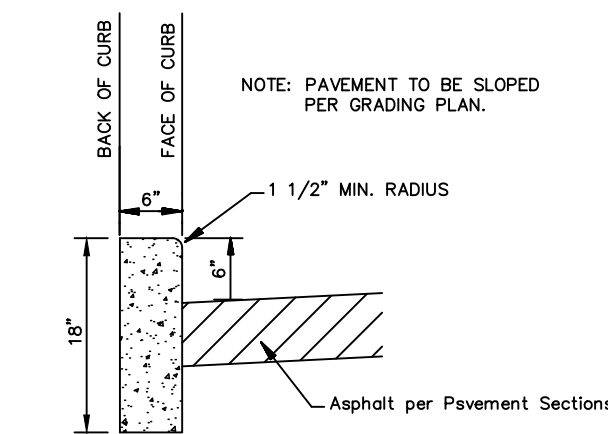
**H/C Sign Detail**  
NTS



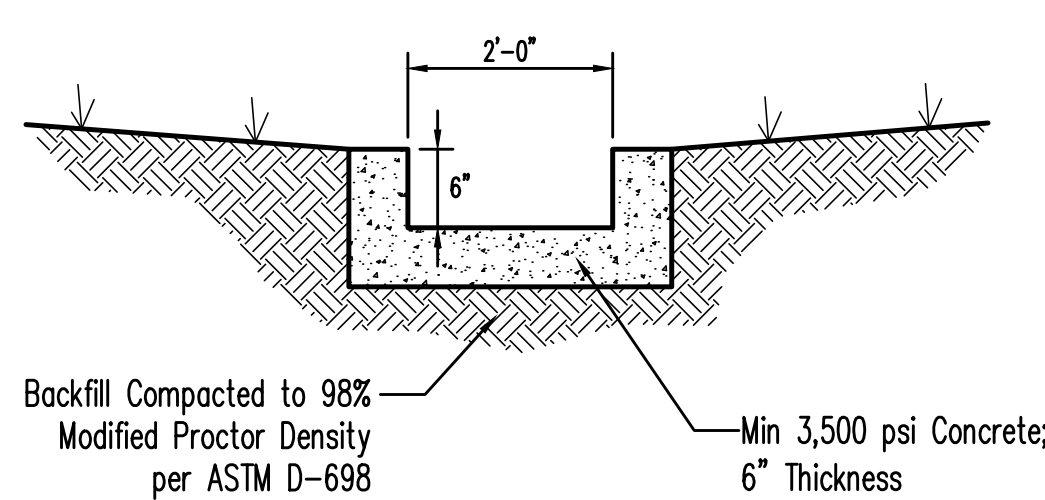
**Valley Gutter Detail**  
NTS



**Bike Rack Detail**  
NTS

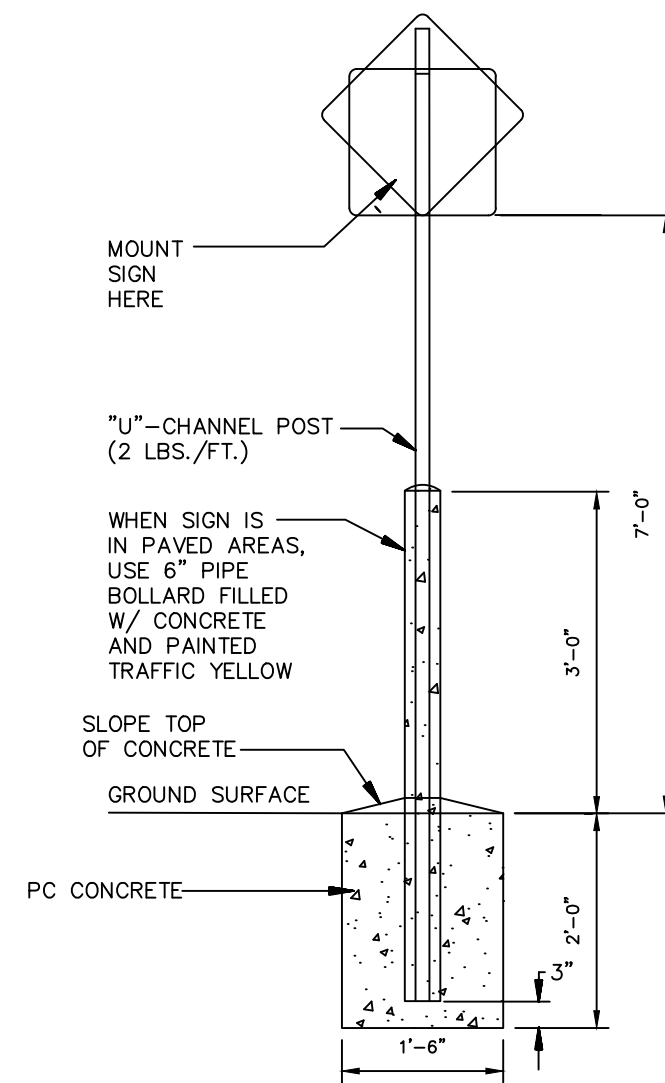


**6"x18" Concrete Curb**  
NTS

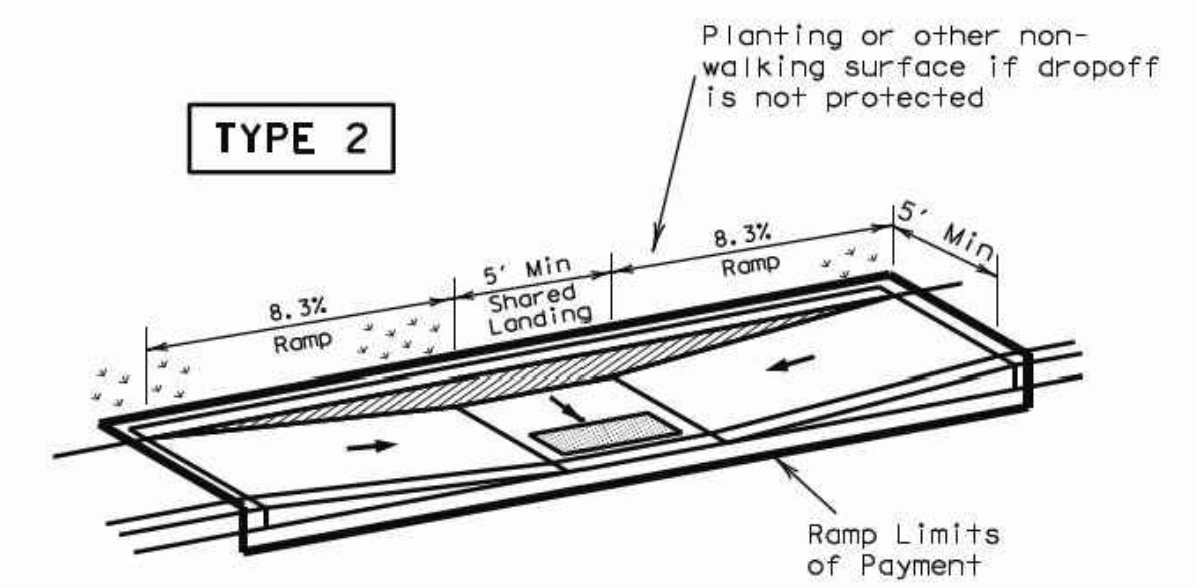
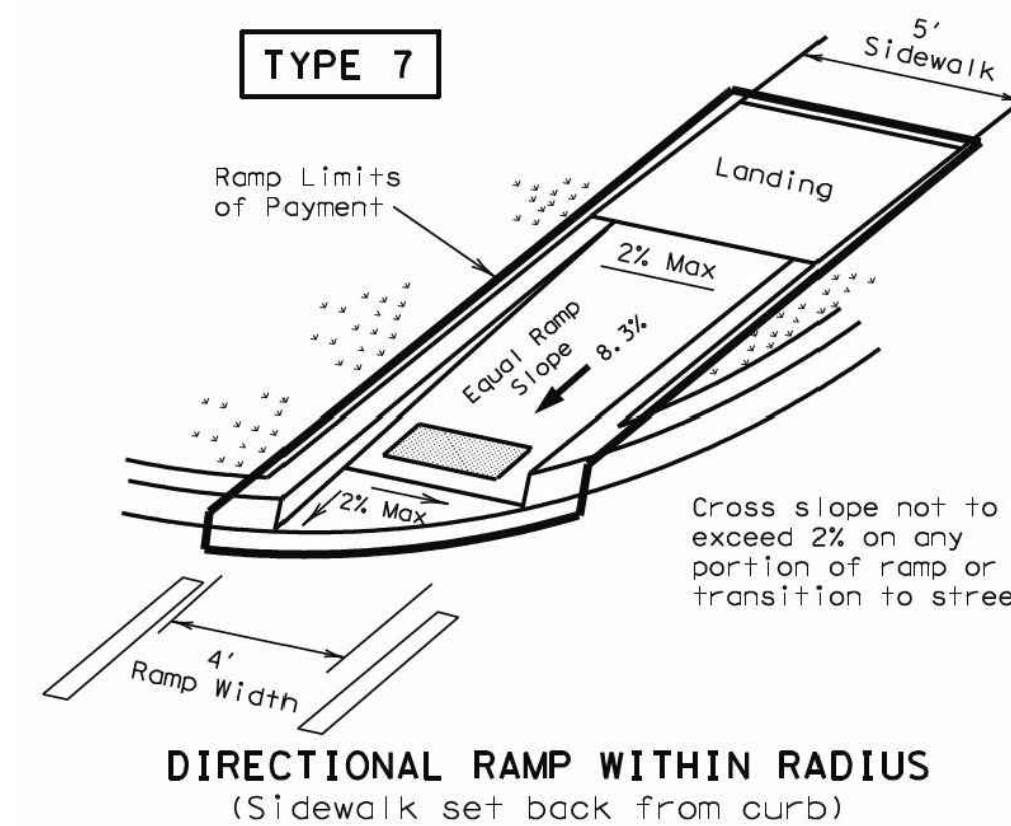


**Concrete Flume Detail**  
NTS

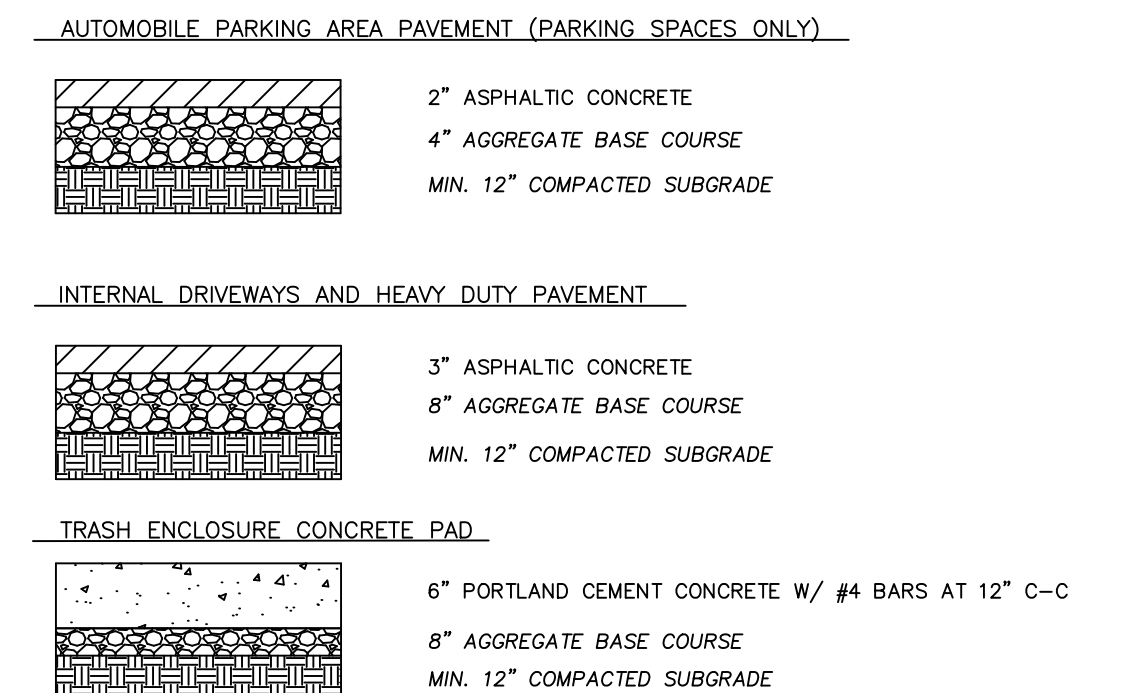
ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



**Standard Sign Base**  
NTS

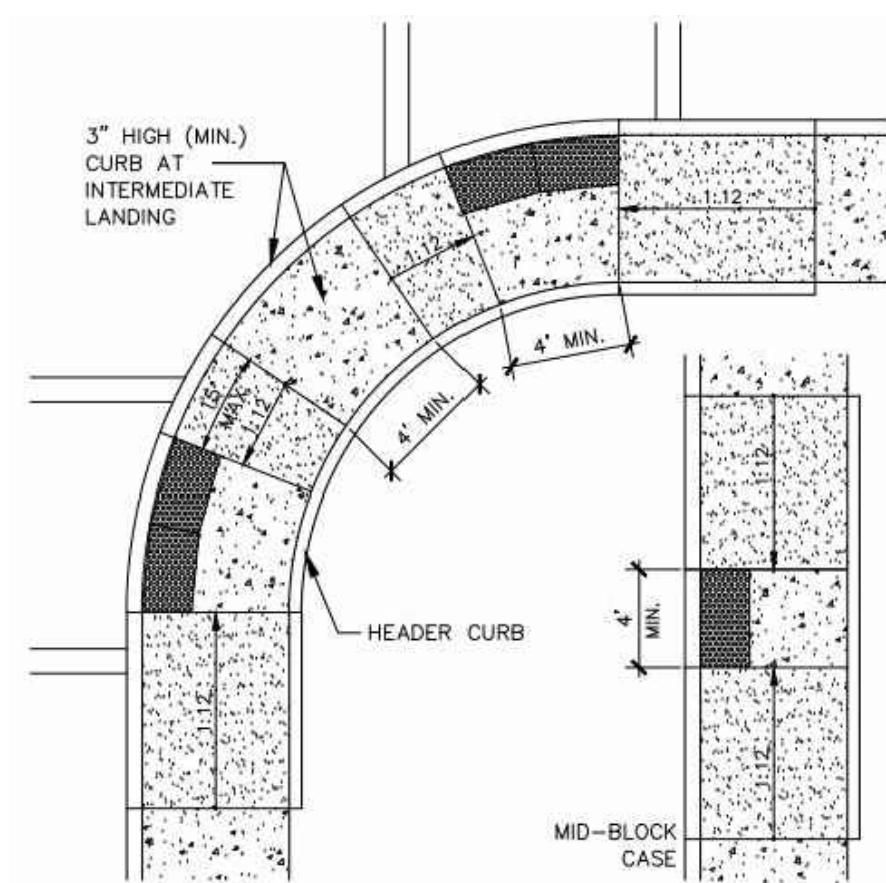


**PARALLEL CURB RAMP**  
(Use only where water will not pond in the landing.)

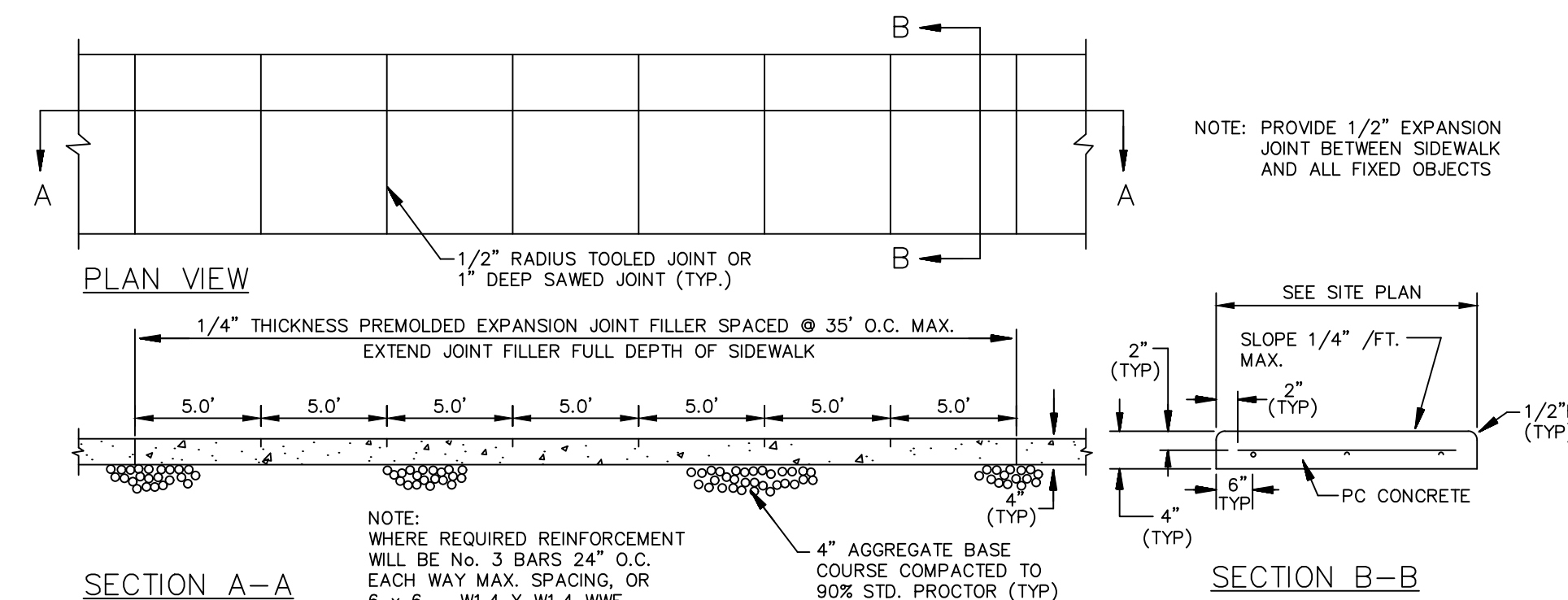


NOTE: REFERENCE GEOTECHNICAL REPORT BY EARTHWORKS ENGINEERING DATED 7/10/2015 FOR ADDITIONAL DETAILS AND SPECIFICATIONS OF PAVEMENT.

**Pavement Sections**



**TYPE B CURB RAMPS**



**Concrete Sidewalk**  
NTS

**Wooten Engineering**

1368 Reynosa Loop SE  
Rio Rancho, N.M. 87124  
Phone: (505) 980-3560

No	Revision	Item	Date
<p><b>SCOTT C. ANDERSON &amp; ASSOCIATES ARCHITECTS</b> 7604 Rio Rancho Blvd. Albuquerque, NM 87120 anderson@scottcanderson.com 505.401.7575</p>			
<p><b>COMMERCIAL &amp; APARTMENT BUILDING PHASE 1</b> 4419 4th ST NW ALBUQUERQUE, NM 87107</p>			
<p><b>Site Details</b></p>			
DESIGNED	JTW	PROJECT NO	WE2014059
DRAWN	JTW	SCALE	See Plan
CHECKED	JTW	DRAWING NO	
REVIEWED	JTW		
DATE	10/15/2015	DATE	10/5/15