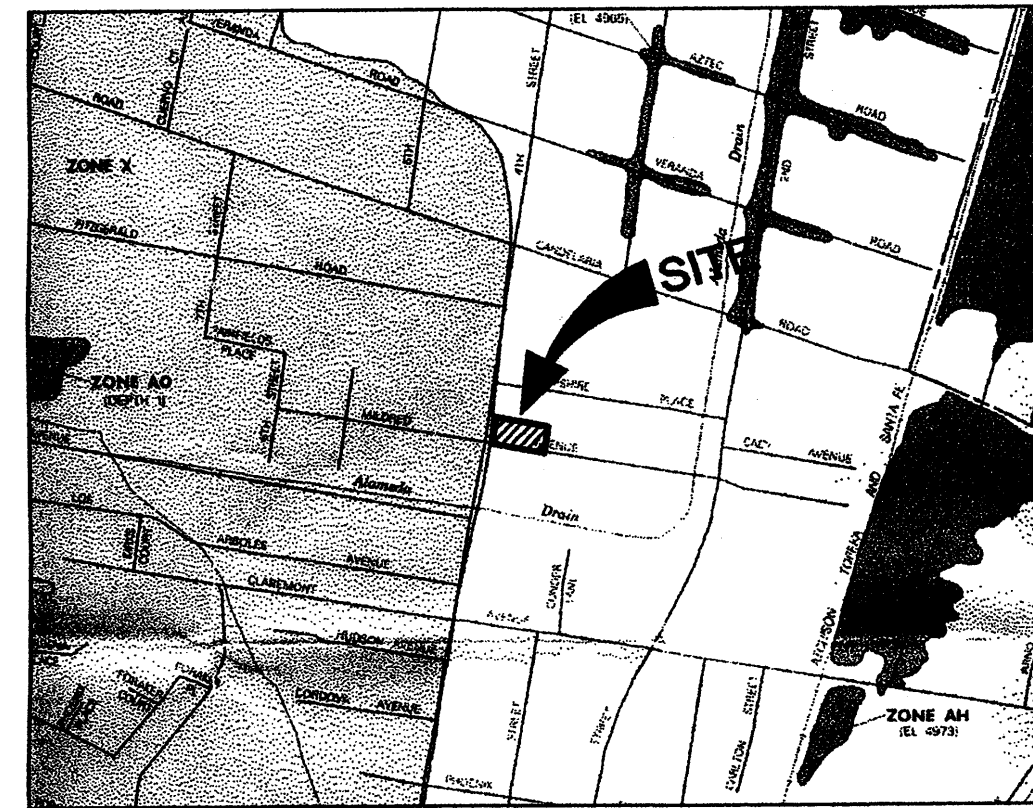


LOCATION MAP
NOT TO SCALE

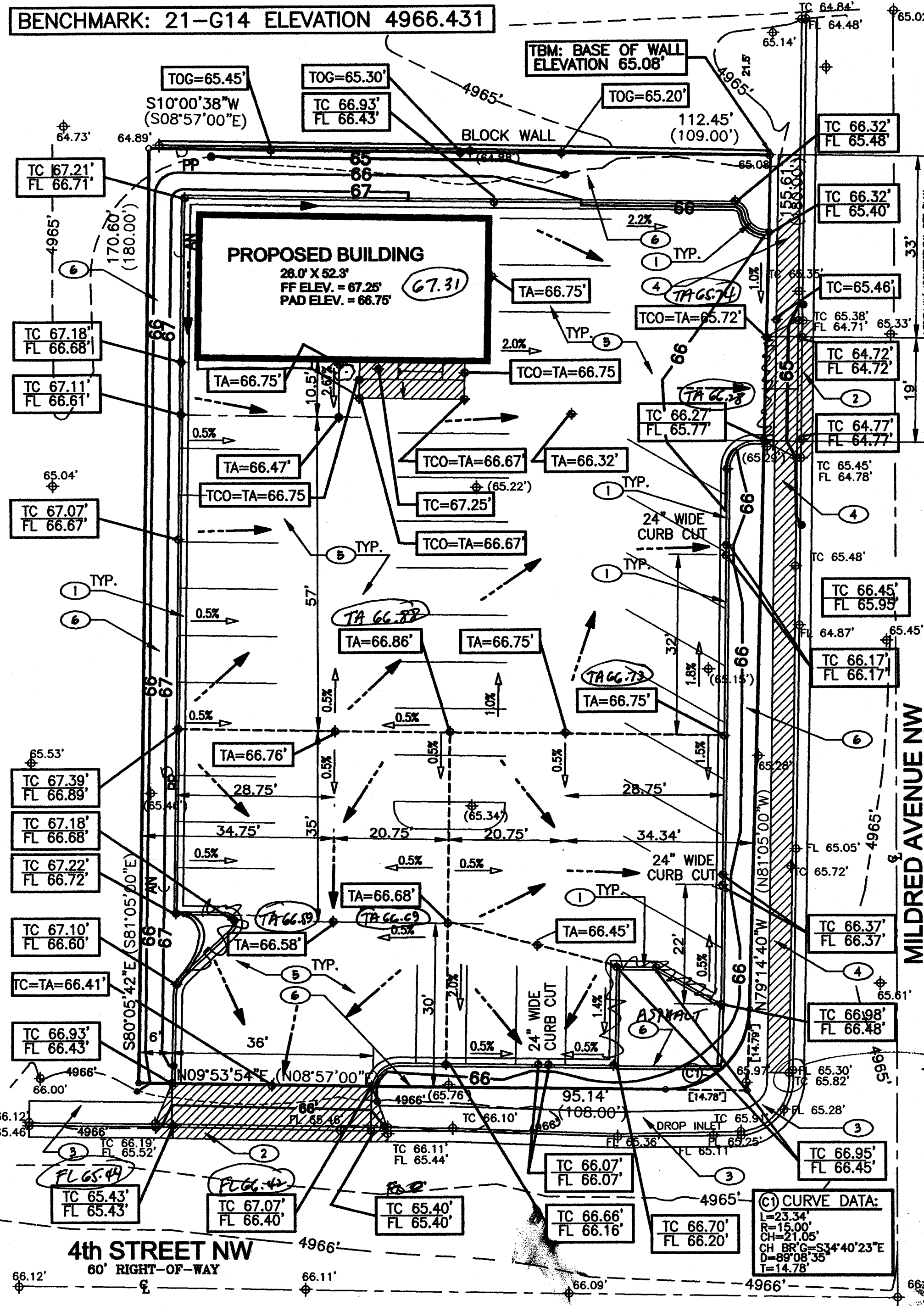


FEMA MAP
NOT TO SCALE

LEGEND

TC 66.12'	EXISTING TOP OF CURB ELEVATION
FL 65.46'	EXISTING FLOWLINE ELEVATION
66.12'	EXISTING GROUND/PAVEMENT ELEVATION TO REMAIN
(65.76')	EXISTING GROUND/PAVEMENT ELEVATION TO BE REVISED
4965'	EXISTING CONTOURS TO REMAIN
4966'	EXISTING CONTOURS TO BE REVISED
67'	NEW CONTOURS
65'	NEW CONTOURS
TC 67.07'	NEW TOP OF CURB ELEVATIONS
FL 66.40'	NEW TOP OF ASPHALT ELEVATION
TA=66.58'	NEW TOP OF CONCRETE SLAB ELEVATION
TCO=65.72'	NEW TOP OF GRADE ELEVATION
TOG=65.45'	NEW SLOPE OF PAVEMENT DESIGNATION
0.5%	NEW FLOW DIRECTION
---	CHANGE OF FLOW / HIGHT POINT LINE
---	NEW PAINTED PARKING STRIPING, SEE ARCHITECTURAL SITE PLAN
---	NEW CONCRETE DRIVEPAD, SIDEWALK OR RAMP SEE ARCHITECTURAL SITE PLAN

FL 65.44' AS-BUILT ELEVATION



GRADING AND DRAINAGE PLAN

1/16" = 1'-0"

KEYED NOTES:

1. CONSTRUCT CONCRETE MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2415.
2. CONSTRUCT CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2425. MATCH NEW CONCRETE ELEVATIONS WITH EXISTING AT TOP OF CURB AND FLOW LINE ASSURE SMOOTH TRANSITION.
3. EXISTING CONCRETE SIDEWALK, CURB & GUTTER TO REMAIN.
4. CONSTRUCT NEW 4" CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2425.
5. CONSTRUCT NEW CONCRETE ASPHALT PAVEMENT PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2405.
6. LANDSCAPING AREA, SEE ARCHITECTURAL SITE PLAN AND LANDSCAPING PLAN.

NOTE:

1. THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THE DRAWING.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.
5. NO SOLID WALL SHALL BE BUILT AROUND THE PROPERTY. CHAIN LINK FENCE MAY BE INSTALLED FOR PRIVACY.
6. ADD 4900 TO SPOT ELEVATION TO GET MEAN SEA LEVEL DATUM ELEVATION.

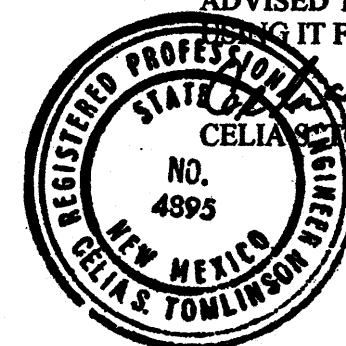
NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED EXCEPT AS OTHERWISE PROVIDED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (793-1234) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE QUICKLY RESOLVED.

AS-BUILT CERTIFICATION

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE RELYING ON IT FOR ANY OTHER PURPOSE.



Celia S. Tomlinson, PE. DATE: 9/20/05

DRAINAGE AND GRADING PLAN

FOR AUTOMOBILE SALES BUILDING LOCATED AT NE CORNER OF 4TH STREET AND MILDRED AVENUE N.W.

FLOODPLAIN INFORMATION: The property is located in Zone X of the Floodway Boundary and Floodway Map of Bernalillo County, New Mexico and Incorporated Areas. Community Panel 35001C0119D, effective SEPT, 1996.

EXISTING SITE CONDITIONS: The site is presently vacant and unimproved. It is bound on the east by an existing residence; on the north by an existing business; on the west by 4th Street N.W.; and on the south by Mildred Avenue N.W. Both streets are improved with asphalt pavement, concrete curb, gutter, and sidewalk. The site (0.45 Acre) and site vicinity are practically level. NO OFF-SITE DRAINAGE CONTRIBUTES TO THE ON-SITE FLOWS.

ANALYSIS PHILOSOPHY: The topography of the existing site causes surface flows to generally pond on site. Since the site is surrounded by development, it is considered in-fill. The site will be graded such that the post-development flows will be allowed to free discharge to the street through landscaped areas.

PROPOSED IMPROVEMENTS: A building with 1352 square feet of roof area will be built. Paved parking and landscaped areas will be provided.

EROSION CONTROL: Water from construction activities and/or rainfall will be retained on site through temporary ponding areas to prevent any runoff from entering the streets. All grading will be done in a manner to insure all silt and runoff remains on site.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 0.48 ACRES

ZONE 2 (DPM FIGURE A-1, p 22-7)

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)					
EVENT	P ₁₀	P ₂₀	P ₁₀₀	P _{1 day}	P _{10 days}
INCHES	1.87	2.2	2.66	3.12	3.67

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D	
QPEAK (CFS/ACRE)	1.29	2.03	2.87	4.37	(DPM TABLE A-9, p 22-15)
E ₃₀₀ (INCHES)	0.44	0.67	0.99	1.97	(DPM TABLE A-8, p 22-13)

EQUATIONS REQUIRED
 $Q_{PEAK\ TOTAL} (Q_{PT}) = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$ (DPM EQ. a-10, p 22-16)
 $E_{300} (WEIGHTED) = \{E_A A_A + E_B A_B + E_C A_C + E_D A_D\} / \{A_A + A_B + A_C + A_D\}$ (DPM EQ. a-5, p 22-14)
 $V_{300} (VOLUME\ RUNOFF) = E_{300} (WEIGHTED) \{A_A + A_B + A_C + A_D\} / 12$ (DPM EQ. a-6, p 22-14)
 $V_{10\ DAYS} = V_{300} + A_D \{P_{10\ DAYS} - P_{300}\} / 12 IN/FT$ (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS	A	B	C	D
TREATMENT	0	0	0.48	0

QPEAK TOTAL (Q_{PT}) = 1.38 CFS
V₃₀₀ = 1725 CF

DEVELOPED CONDITIONS	A	B	C	D
TREATMENT	0.00	0.11	0.00	0.37

QPEAK TOTAL (Q_{PT}) = 1.84 CFS
E₃₀₀ WEIGHTED = 1.89 INCHES
V₃₀₀ = 2904 CF

INCREASE IN RUNOFF QUANTITY = 1.84 - 1.38 = 0.46 CFS (NEGLIGIBLE)
INCREASE IN RUNOFF VOLUME = 2904 - 1725 = 1179 CFS

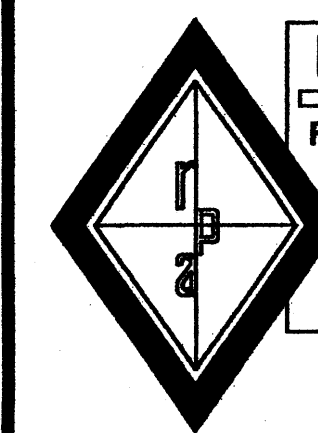
THE INCREASE IN VOLUME WILL PASS THROUGH THE LANDSCAPED AREAS.
TOTAL LANDSCAPE AREA = 0.11 ACRE
WHEN USED AS DRAINAGE DETENTION POND 8" DEEP, VOLUME=3210 CF>2904 CF

AUTOMOBILE SALES BUILDING

3500 4th STREET N.W.

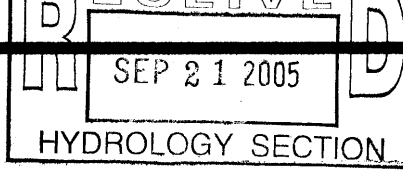
ALBUQUERQUE, NEW MEXICO 87107

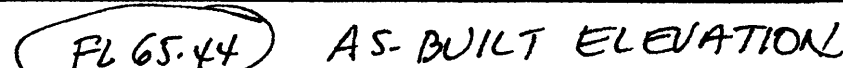
RHOMBUS PROJECT NO. 02-C2-116



RHOMBUS P.A., INC.
FACILITIES ENGINEERS & ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@nmia.com
web site: www.RHOMBUSPA.COM
2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896




$$1/16'' = 1'-0''$$

1. CONSTRUCT CONCRETE MEDIAN CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2415.
2. CONSTRUCT CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2425.
MATCH NEW CONCRETE ELEVATIONS WITH EXISTING AT TOP OF CURB AND FLOW LINE. ASSURE SMOOTH TRANSITION.
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I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE APPROVED PLAN DATED 6/11/18 THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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CELIA S. DOMLINSON, PE. DATE: 9/20/05

FOR AUTOMOBILE SALES BUILDING
LOCATED AT NE CORNER OF 4TH STREET AND MILDRED AVENUE N.W.

FLOODPLAIN INFORMATION: The property is located in Zone X of the Floodway Boundary and Floodway Map of Bernalillo County, New Mexico and Incorporated Areas. Community Panel 35001C0119D, effective SEPT, 1996.

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ANALYSIS PHILOSOPHY: The topography of the existing site causes surface flows to generally pond on site. Since the site is surrounded by development, it is considered in-fill. The site will be graded such that the post-development flows will be allowed to free discharge to the street through landscaped areas.

PROPOSED IMPROVEMENTS: A building with 1352 square feet of roof area will be built. Paved parking and landscaped areas will be provided.

EROSION CONTROL: Water from construction activities and/or rainfall will be retained on site through temporary ponding areas to prevent any runoff from entering the streets. All grading will be done in a manner to insure all silt and runoff remains on site.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 0.48 ACRES

ZONE 2 (DPM FIGURE A-1, p 22-7)

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)			
EVENT	P ₆₀	P ₃₆₀	P ₁₄₄₀
INCHES	1.87	2.2	2.66

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D	
QPEAK (CFS/ACRE)	1.29	2.03	2.87	4.37	(DPM TABLE A-9, p 22-15)
E ₃₀₀ (INCHES)	0.44	0.67	0.99	1.97	(DPM TABLE A-8, p 22-13)

EQUATIONS REQUIRED

$$\begin{aligned}
 Q_{\text{PEAK TOTAL}} (Q_{\text{PT}}) &= Q_{\text{PA}} A_A + Q_{\text{PB}} A_B + Q_{\text{PC}} A_C + Q_{\text{PD}} A_D & (\text{DPM EQ. a-10, p 22-16}) \\
 E_{360} (\text{WEIGHTED}) &= \{E_A * A_A + E_B * A_B + E_C * A_C + E_D * A_D\} / \{A_A + A_B + A_C + A_D\} & (\text{DPM EQ. a-5, p 22-14}) \\
 V_{360} (\text{VOLUME RUNOFF}) &= V_{360} = \text{WEIGHTED} * \{A_A + A_B + A_C + A_D\} / 12 & (\text{DPM EQ. a-6, p 22-14}) \\
 V_{10 \text{ DAYS}} &= V_{360} + A_D * \{P_{10 \text{ DAYS}} - P_{360} / 12\} / \text{IN/FT} & (\text{DPM EQ. a-9, p 22-14})
 \end{aligned}$$

EXISTING CONDITIONS				
TREATMENT	A	B	C	D
	0	0	0.48	0

$$Q_{\text{PEAK TOTAL}} (Q_{\text{PT}}) = 1.38 \text{ CFS}$$

$$V_{360} = 1725 \text{ CF}$$

DEVELOPED CONDITIONS				
TREATMENT	A	B	C	D
AREA (ACRES)	0.00	0.11	0.00	0.37

$$Q_{\text{PEAK TOTAL}} (Q_{\text{PT}}) = 1.84 \text{ CFS}$$

E 360 WEIGHTED = 1.89 INCHES

$$V_{380} = 2904 \text{ CF}$$

INCREASE IN RUNOFF QUANTITY = $1.84 - 1.38 = 0.46$ CFS (NEGLECTABLE)

INCREASE IN RUNOFF VOLUME = 2904 - 1725 = 1179 CFS

THE INCREASE IN VOLUME WILL PASS THROUGH THE LANDSCAPED AREAS.

TOTAL LANDSCAPE AREA = 0.11 ACRE

WHEN USED AS DRAINAGE DETENTION POND 8" DEEP, VOLUME=3210 CF>2904 CF

AUTOMOBILE SALES BUILDING

3500 4 th STREET N.W.

ALBUQUERQUE, NEW MEXICO 87107

RHOMBUS PROJECT NO. 02-C2-116

RHOMBUS P.A., INC.

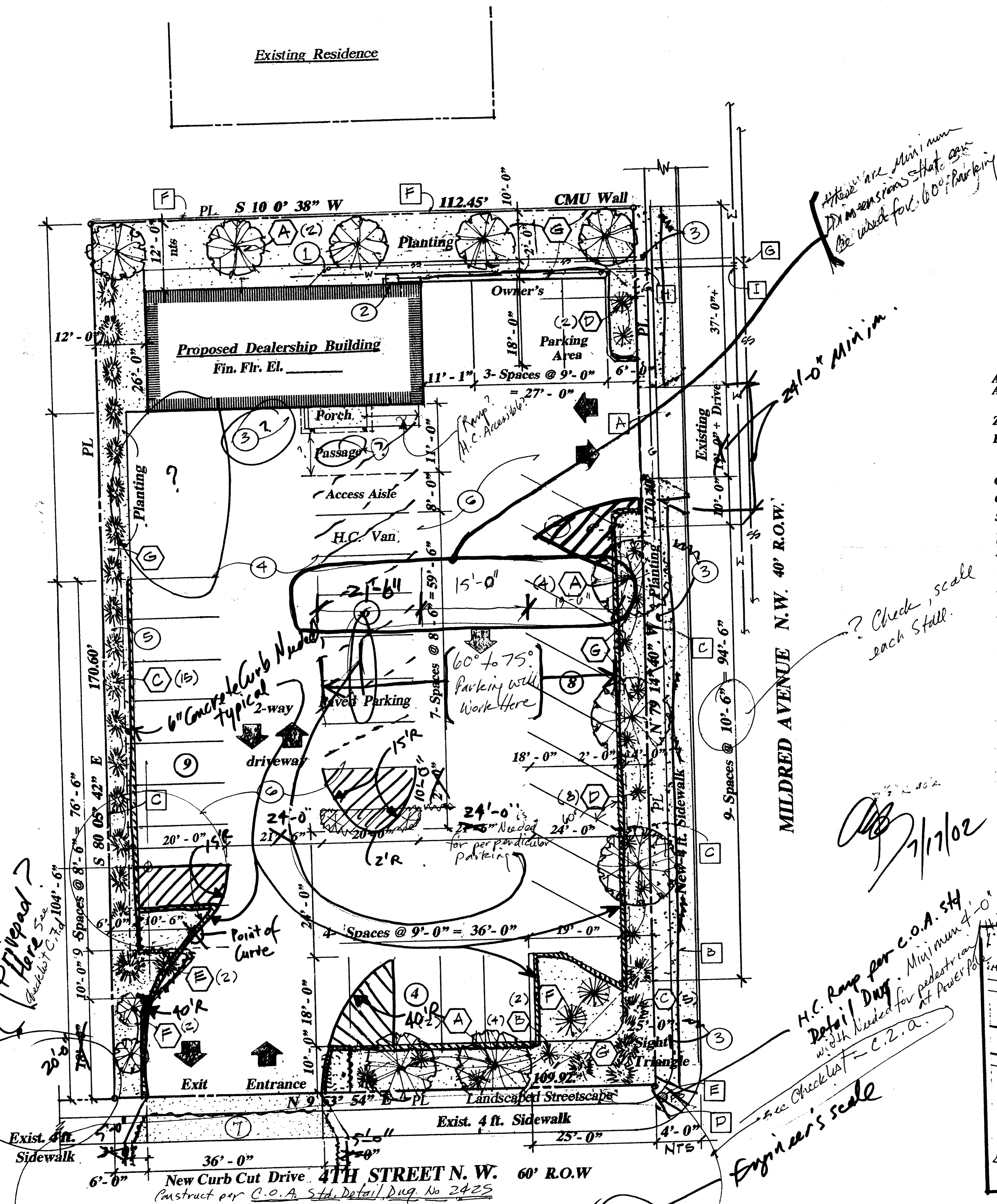
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e-mail: rhombus@nma.com
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2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896

RG/HPP//C/02-C2-14/02-C2110M/D8FO/D8AIMAGTA-BPV

Existing Residence



PROJECT CODE DATA

Applicable Code: UBC 1997 Edition, 1991 UMC, UPC and NEC
Accessibility Code: 1997 State of New Mexico Building Code Chapter 31, ANSI-A-117.1, 1998

Zoning: C-3, Map G-14 City of Albuquerque

Building Area gsf: Total Building Area: = 1456 gsf
Occupied/Heated Area = 806 sf
Garage (Detailing/Cleaning) = 650 sf

Construction Type: Type V-N, Table 3-A

Occupancy Group: B, Table 3-A

Seismic Zone: 2B as per 1997 UBC Lot 1 of Block '0' of the Pappe Addition

Uniform Property Code = 1014 060 362 046 405 29
Property Address: 3500 4th Street N.W.

Total Site Area: 455Ac, 19,800sf Dead Loads: 35 psf
Building Area Coverage: 1,456 gsf Live Loads: 20 psf

ASSUMED SOIL BEARING CAPACITY: WIND LOADING:
(1000 PSF) 75 MPH Exposure 'C'

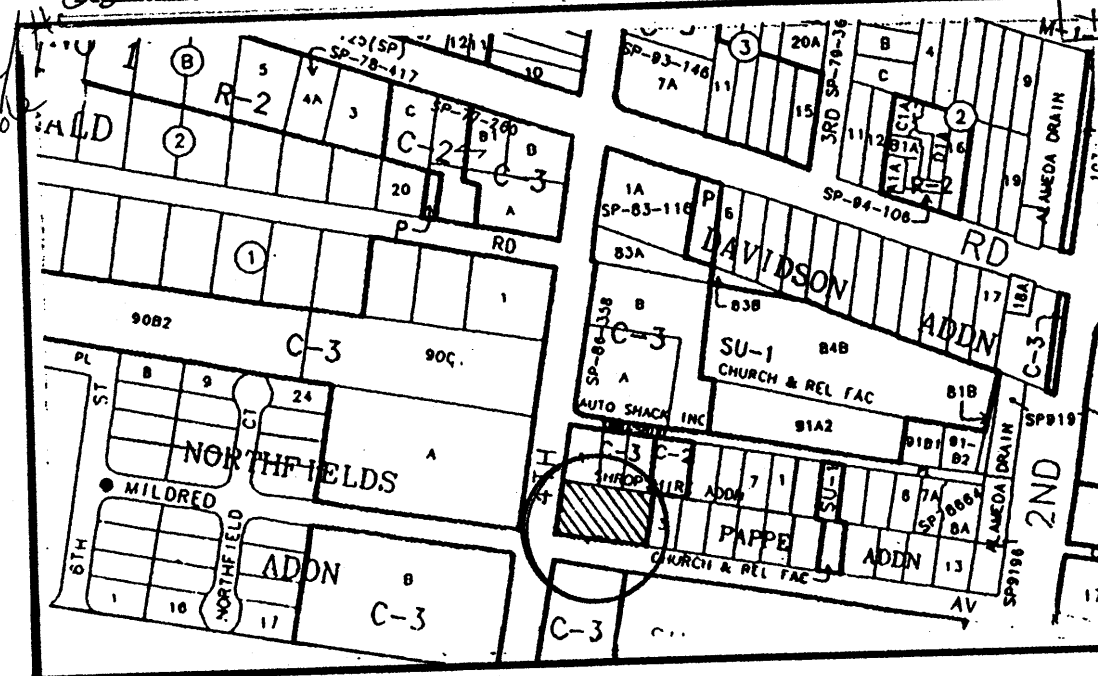
OFF-STREET PARKING:
Per City of Albuquerque Ordinance for commercial type at a rate of 1 space for every 200 gsf; 806 gsf divided by 200 = 4.03 parking spaces.

LANDSCAPING REQUIREMENTS: (See the landscaping information and dimensions of landscaped buffers as per the Site Plan or Planting Plan).

ADA DISCLAIMER

Architects, Contractors, and Building Owners must comply with the Americans with Disabilities Act (ADA) and the Americans with Disabilities Architectural Guidelines (ADAAG). The Code Administration Division of the State of New Mexico does not review whether Plans and Specifications comply with the ADA. The issuance of a building permit and compliance with the codes does not insure compliance with the ADA or ADAAG. The designer, building owners and contractor may want to consult a lawyer concerning the ADA OR ADAAG. I the owner, agent or representative of the owners have read and understand this warning and disclaimer.

A. Miguel Trujillo, Architect
Signature: _____ Date: MARCH 15, 2002



VICINITY KEY PLAN

EXISTING CONDITIONS KEYNOTES:

- Exist'g curb cut with driveway entrance shall remain as a usable entrance and exit on to property. Protect from damage during construction.
- Existing curb cut and driveway pad shall be removed by G.C. and prepare the area for new 6'-0" conc. sidewalk.
- Existing chain link fencing shall be utilized by the G.C. during const. and then removed after completion and salvaged to the Owner.
- Existing fire hydrant to remain, but shall be protected during const. phase.
- Existing power pole is to remain unless recommended for relocation; G.C. to verify.
- Existing conc. block wall on rear property shall remain and be protected during const. Owner has the option to stucco or paint with textured paint.
- Existing sanitary sewer in street right of way; plumbing contr. tp be responsible for location and tie-in for new const. as shown.
- Existing natural gas line, Plbg. contr. to tie-in in approx. location shown.
- Existing cold water line for tie-in. Contr. to verify location in street.

NEW SITE CONSTRUCTION KEYNOTES:

- Location for new clean outs at 5 feet from new building wall line, see Riser.
- New raised 4" thick concrete landing and sloped ramp down to asphalt level and conc. steps down to grade, see foundation details.
- New 6" foot wide x 4" thick concrete sidewalk at street curb, stop in line with rear property line as shown and provide a light broom finish in the direction of flow.
- New 4" wide painted striping at parking areas as shown for required spacing.
- New buffer landscaping areas as req'd. by Zoning and Planning.
- New asphaltic concrete paving on-site to limits indicated. Pavement shall be a total compacted 2" thick over a min. 4" compact sub-grade material, also see specifications.
- New curb cut and reinforced concrete apron as shown; const. and installation shall be as per City of Albuquerque req'd.

Must be at R/W (Property Line)

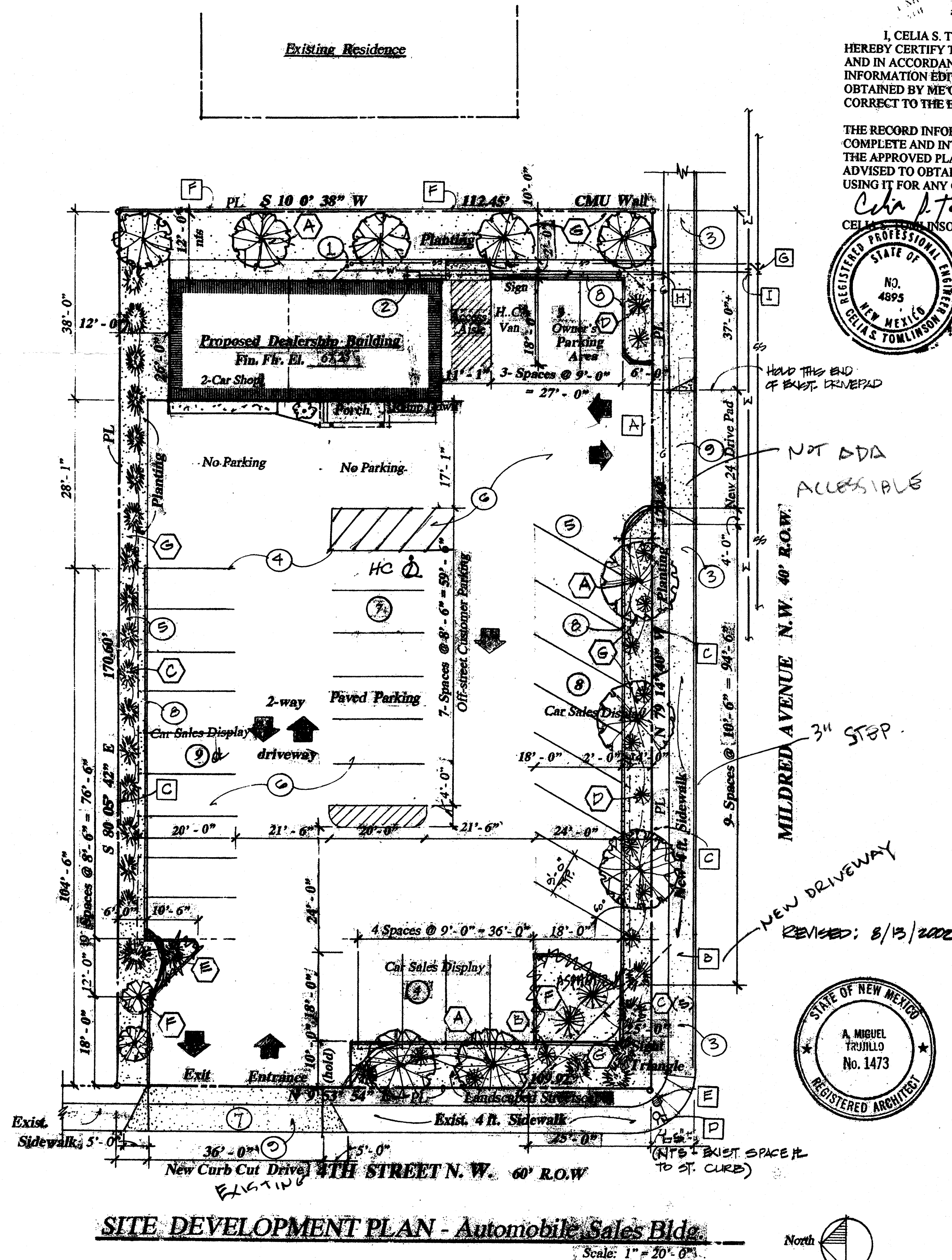
RECEIVED
JUN 21 2002
HYDROLOGY SECTION

MIGUEL TRUJILLO & ASSOCIATES
ARCHITECTURE PLANNING CONST. MGMT.
8504 Spain Road NE (505) 821-5687
Albuquerque, NM 87111 Cell. # 410-4776

FOR: Cedars Construction, Incorporated
P.O. Box 12877
Albuquerque, New Mexico 87195

Project: Car Dealership Building
Reza Ella, Property Owner
Location: 3500 4th Street N.W.
Albuquerque, New Mexico 87107

JOB NO. 2002-0002 SHEET NO. C-1
DATE: March 2002
DRAWN: Miguel Trujillo
CHECKED: Miguel Trujillo 1 OF 3



EXISTING CONDITIONS KEYNOTES:

- Exist'g curb cut with driveway entrance shall remain as a usable entrance and exit on to property. Protect from damage during construction, when as required to 24'-0" as shown.
- Existing curb cut and driveway pad shall be removed by G.C. and prepare the area for new 4'-0" conc. sidewalk.
- Existing chain link fencing shall be utilized by the G.C. during const. and then removed after completion and salvaged to the Owner.
- Existing fire hydrant to remain, but shall be protected during const. phase.
- Existing power pole is to remain unless recommended for relocation; G.C. to verify.
- Existing conc. block wall on rear property shall remain and be protected during const. Owner has the option to stucco or paint with textured paint.
- Existing sanitary sewer in street right of way; plumbing contr. tp be responsible for location and tie-in for new const. as shown.
- Existing natural gas line, Plbg. contr. to tie-into in approx. location shown.
- Existing cold water line for tie-in. Contr. to verify location in street.

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- New 4" wide painted striping at parking areas as shown for required spacing.
- New buffer landscaping areas as req'd. by Zoning and Planning.
- New asphaltic concrete paving on-site to limits indicated. Pavement shall be a total compacted 2" thick over a min. 4" compact sub-grade material, also see specifications.
- New curb cut and reinforced concrete apron as shown; const. and installation shall be as per City of Albuq. req'd.
- Curbing: Curb shall be continuous as shown and at least 6" x 12", rebar with 1#5 bar contin.
- Drive pad shall be constructed as per City of Albuq. detail drawing No. 2425. Drive pad contr. shall also refer to Chapter 23, Sect. 6.

MIGUEL TRUJILLO & ASSOCIATES
ARCHITECTURE PLANNING CONST. MGMT.
8504 Spain Road NE (505) 821-5687
Albuquerque, NM 87111 Cell. #410-4776

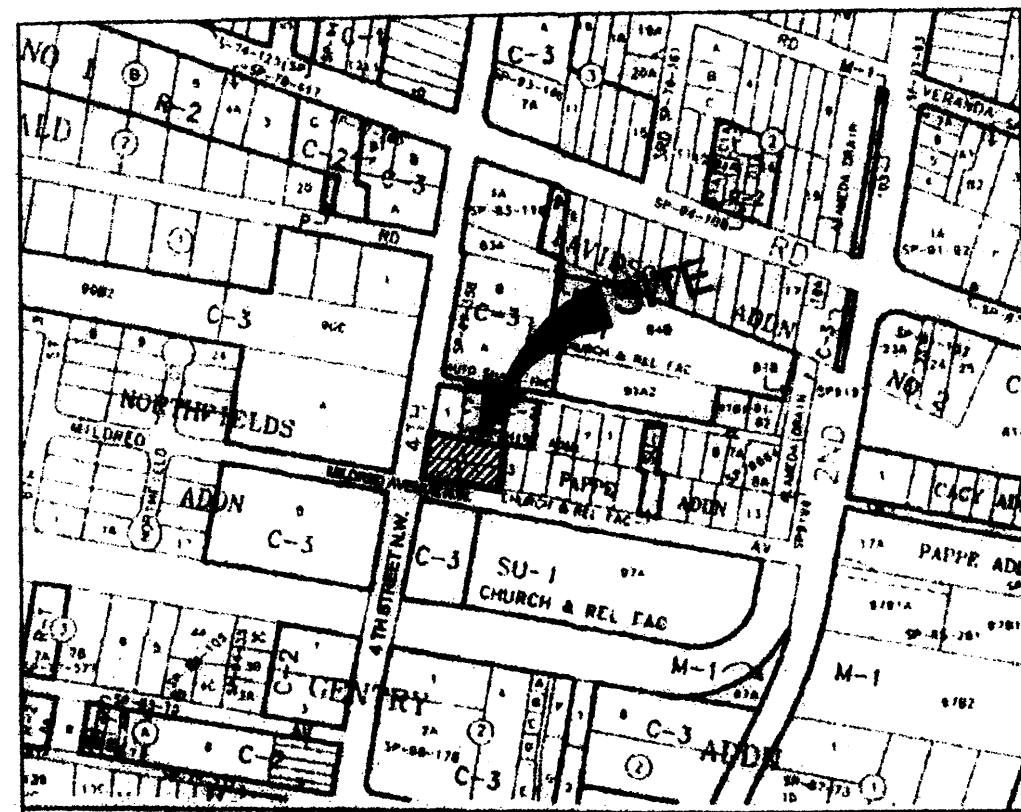
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Project: Car Dealership Building
Location: Reza Ella, Property Owner
3500 4th Street N.W.
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JOB NO. 2002-0002
DATE: March 2002
DRAWN: Miguel Trujillo
CHECKED: Miguel Trujillo

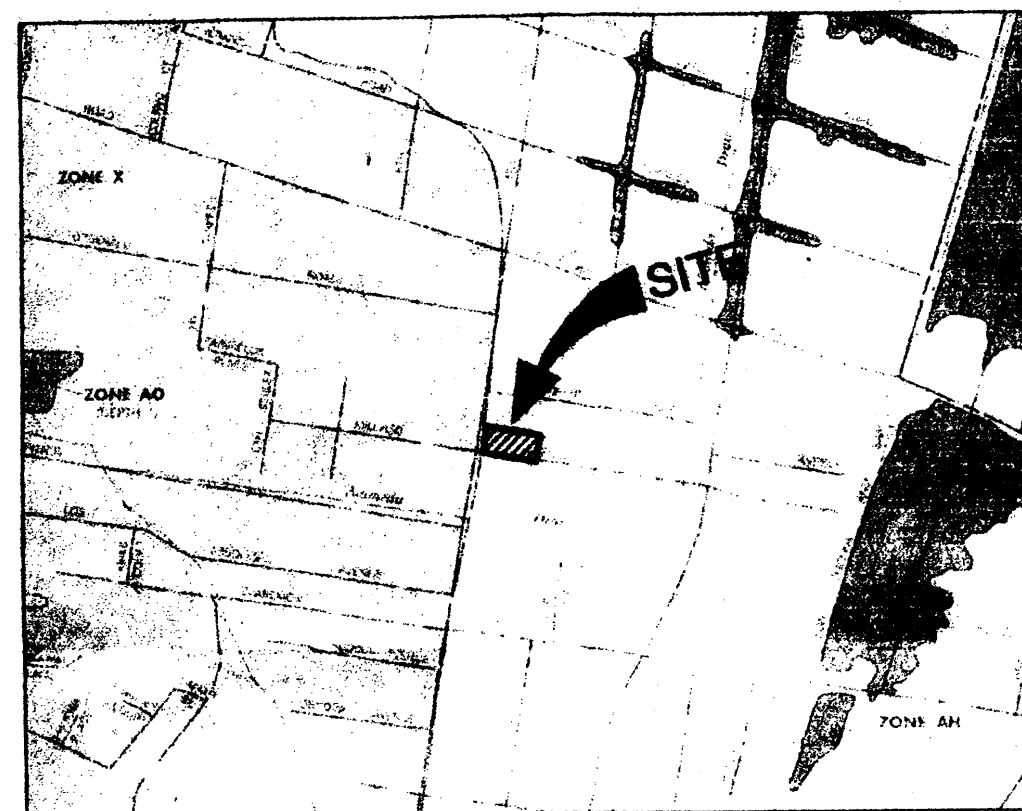
SHEET NO. C-1
1 OF 2

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SEP 21 2005
HYDROLOGY SECTION



LOCATION MAP
NOT TO SCALE

ZONE MAP: G-14-Z



FEMA MAP
NOT TO SCALE

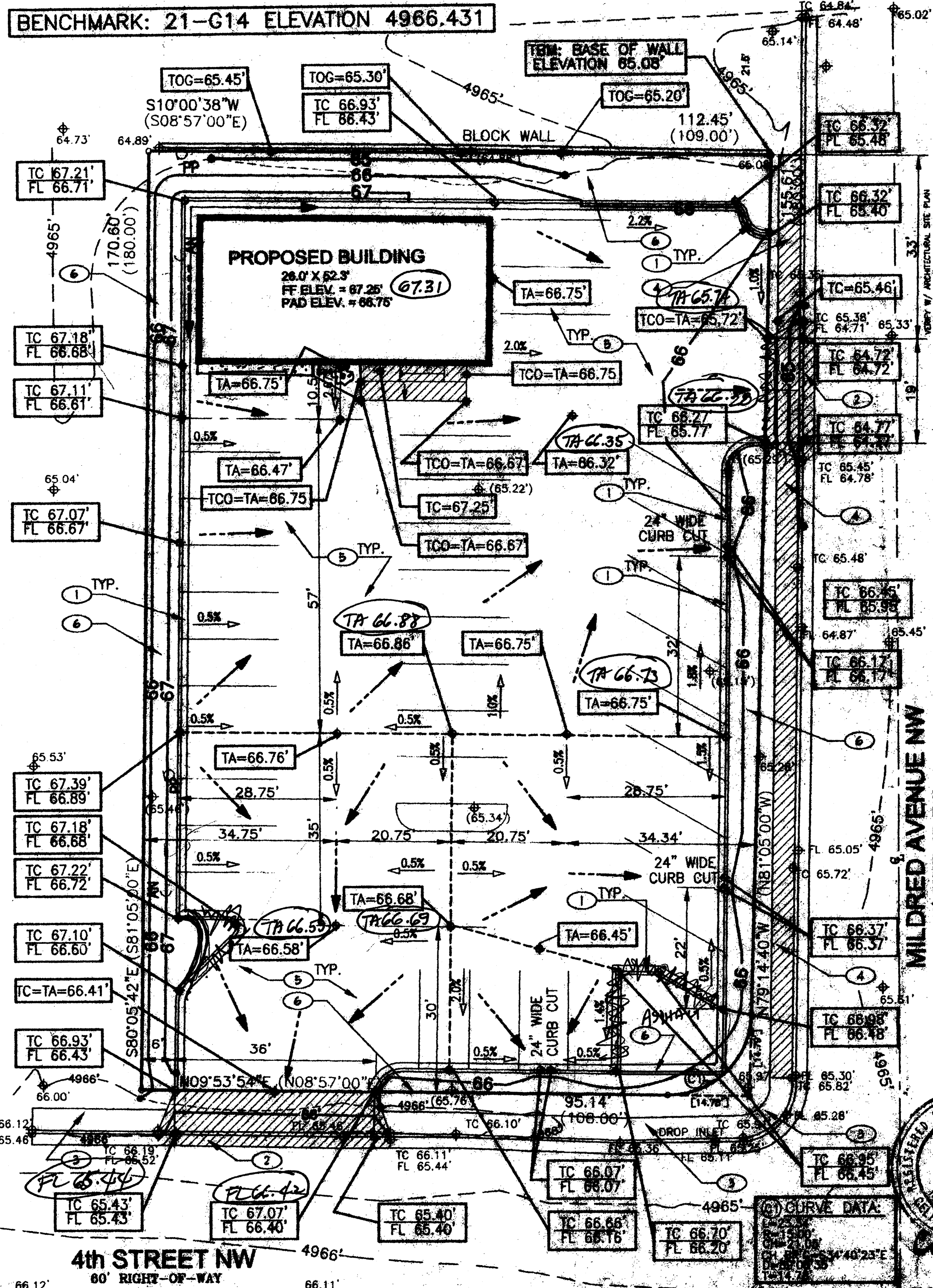
PROJECT IS ON MAP 35001C0332 D

LEGEND

TC 66.12' Φ	EXISTING TOP OF CURB ELEVATION
FL 65.46' Φ	EXISTING FLOWLINE ELEVATION
66.12' Φ	EXISTING GROUND/PAVEMENT ELEVATION TO REMAIN
(65.76') Φ	EXISTING GROUND/PAVEMENT ELEVATION TO BE REVISED
-4965'	EXISTING CONTOURS TO REMAIN
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65	NEW TOP OF CURB ELEVATIONS
FL 65.40'	NEW TOP OF ASPHALT ELEVATION
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TCO=65.72'	NEW TOP OF GRADE ELEVATION
TOG=65.45'	NEW SLOPE OF PAVEMENT DESIGNATION
0.5%	NEW FLOW DIRECTION
→	CHANGE OF FLOW / HIGH POINT LINE
---	NEW PAINTED PARKING STRIPING, SEE ARCHITECTURAL SITE PLAN
▨	NEW CONCRETE DRIVEPAD, SIDEWALK OR RAMP SEE ARCHITECTURAL SITE PLAN

FL 65.46' AS-BUILT ELEVATION

BENCHMARK: 21-G14 ELEVATION 4966.431



GRADING AND DRAINAGE PLAN

KEYED NOTES:

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2. CONSTRUCT CONCRETE DRIVEPAD PER CITY OF ALBUQUERQUE STANDARD DETAIL, DRAWING 2425. MATCH NEW CONCRETE ELEVATIONS WITH EXISTING AT TOP OF CURB AND FLOW LINE. ASSURE SMOOTH TRANSITION.
3. EXISTING CONCRETE SIDEWALK, CURB & GUTTER TO REMAIN.
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AS-BUILT CERTIFICATION

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE APPROVED PLAN DATED 4/21/02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLANS. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Celia S. Tomlinson, PE. DATE: 9/16/05

AUTOMOBILE SALES BUILDING

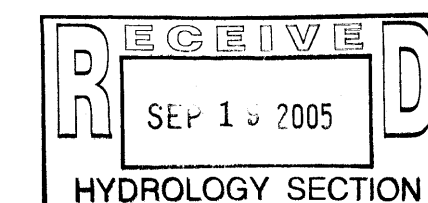
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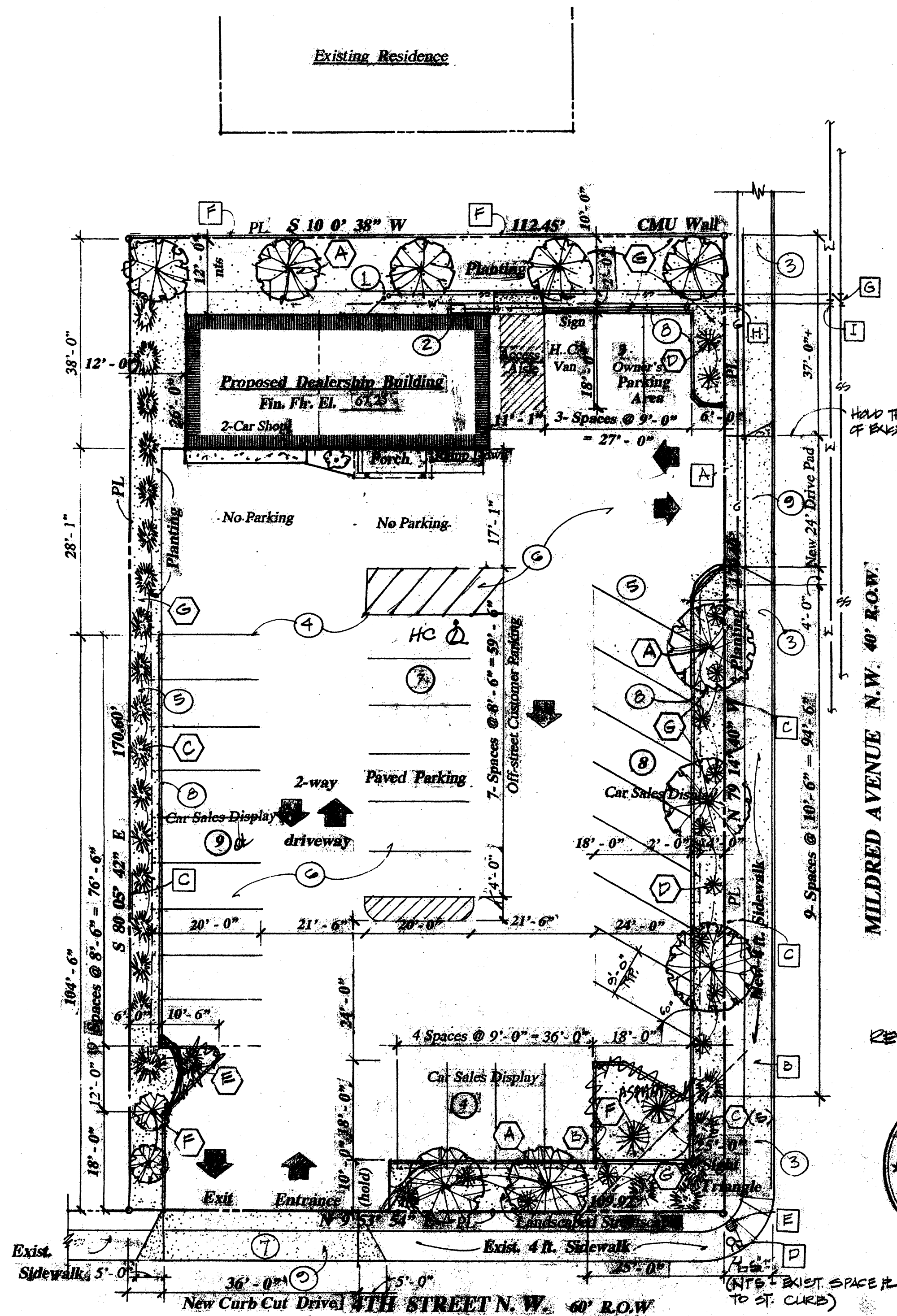
RHOMBUS PROJECT NO. 02-C2-116

RHOMBUS P.A., INC.

FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS

e-mail: rhombus@rhombus.com
www: www.rhombus.com
2020 San Mateo NE Suite B Albuquerque, NM 87110
TEL: (505) 881-0000 FAX: (505) 881-0000





SITE DEVELOPMENT PLAN - Automobile Sales Bldg.

Scale: 1" = 20'-0"

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Celia S. Tomlinson 9/16/05
CELIA S. TOMLINSON, PE. DATE:



PROJECT CODE DATA

Applicable Code: UBC 1997 Edition, 1991 UMC, UPC and NEC
Accessibility Code: 1997 State of New Mexico Building Code Chapter 31, ANSI-A-117.1, 1998
Zoning: C-3, Map G-14 City of Albuquerque
Building Area gsf: Total Building Area = 1456 gsf
Occupied/Heated Area = 806 sf
Garage/Detailing/Cleaning = 650 sf
Construction Type: Type V-N, Table 5-A
Occupancy Group: B, Table 3-A
Seismic Zone: 2B as per 1997 UBC Lot 1 of Block "0" of the Peppe Addition
Uniform Property Code = 1014 060 362 046 405 29
Property Address: 3500 4th Street N.W.

Total Site Area: 455Ac, 19,800sf Dead Loads: 35 psf
Building Area Coverage: 1,456 gsf Live Loads: 20 psf

ASSUMED SOIL BEARING CAPACITY: 1000 PSF WIND LOADING: 75 MPH Exposure "C"

OFF-STREET PARKING: Per City of Albuquerque Ordinance for commercial type at a rate of 1 space for every 200 gsf; 806 gsf divided by 200 = 4.03 parking spaces, plus 2 in Shop.

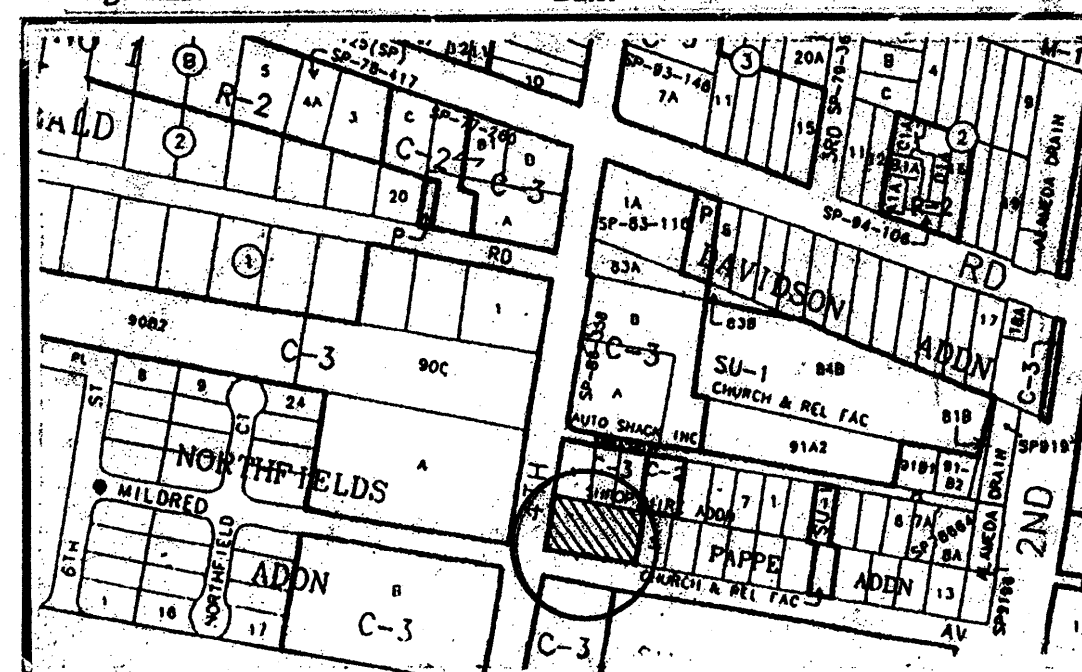
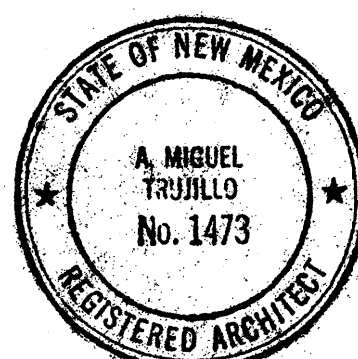
LANDSCAPING REQUIREMENTS: (See the landscaping information and dimensions of landscaped buffers as per the Site Plan or Planting Plan).

ADA DISCLAIMER

Architects, Contractors, and Building Owners must comply with the Americans with Disabilities Act (ADA) and the Americans with Disabilities Architectural Guidelines (ADAAG). The Code Administration Division of the State of New Mexico does not review whether Plans and Specifications comply with the ADA. The issuance of a building permit and compliance with the codes does not insure compliance with the ADA or ADAAG. The designer, building owners and contractor may want to consult a lawyer concerning the ADA OR ADAAG. I the owner, agent or representative of the owners have read and understand this warning and disclaimer.

A. Miguel Trujillo, Architect MARCH 15, 2002
Signature: Date:

REVISED: 8/13/2002



VICINITY KEY PLAN

EXISTING CONDITIONS KEYNOTES:

- Exist'g curb cut with driveway entrance shall remain as a usable entrance and exit on to property. Protect from damage during construction, with a REQUIRED TO 24" OF AS SHOWN.
- Existing curb cut and driveway pad shall be removed by G.C. and prepare the area for new 4'-0" conc. sidewalk.
- Existing chain link fencing shall be utilized by the G.C. during const. and then removed after completion and salvaged to the Owner.
- Existing fire hydrant to remain, but shall be protected during const. phase.
- Existing power pole is to remain unless recommended for relocation; G.C. to verify.
- Existing conc. block wall on rear property shall remain and be protected during const. Owner has the option to stucco or paint with textured paint.
- Existing sanitary sewer in street right of way; plumbing contr. to be responsible for location and tie-in for new const. as shown.
- Existing natural gas line, Plbg. contr. to tie-into in approx. location shown.
- Existing cold water line for tie-in. Contr. to verify location in street.

NEW SITE CONSTRUCTION KEYNOTES:

- Location for new clean outs at 5 feet from new building wall line, see Riser.
- New raised 4" thick concrete landing and sloped ramp down to asphalt level and conc. steps down to grade, see foundation details.
- New 4 foot wide x 4" thick concrete sidewalk at street curb, stop in line with rear property line as shown and provide a light broom finish in the direction of flow.
- New 4" wide painted striping at parking areas as shown for required spacing.
- New buffer landscaping areas as req'd. by Zoning and Planning.
- New asphaltic concrete paving on-site to limits indicated. Pavement shall be a total compacted 2" thick over a min. 4" compact sub-grade material, also see specifications.
- New curb cut and reinforced concrete apron as shown; const. and installation shall be as per City of Albuq. req'd.
- Curbing: Curb shall be continuous as shown and at least 6" x 12"; rebar with 1#5 bar contin.
- Drive pad shall be constructed as per City of Albuq. detail drawing No. 2425. Drive pad contr. shall also refer to Chapter 23, Sect. 23.01

MIGUEL TRUJILLO & ASSOCIATES
ARCHITECTURE PLANNING CONST. MGMT.
8504 Spain Road NE (505) 421-3587
Albuquerque, NM 87111 Cell: #410-4776

FOR: Cedars Construction, Incorporated
P.O. Box 12877
Albuquerque, New Mexico 87199

Project: Car Dealership Building
Reza Ella, Property Owner
Location: 3500 4th Street N.W.
Albuquerque, New Mexico 87107

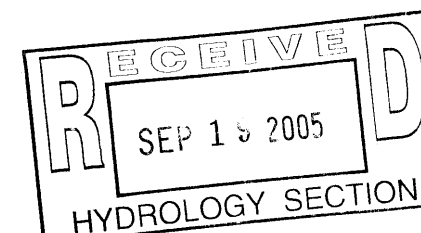
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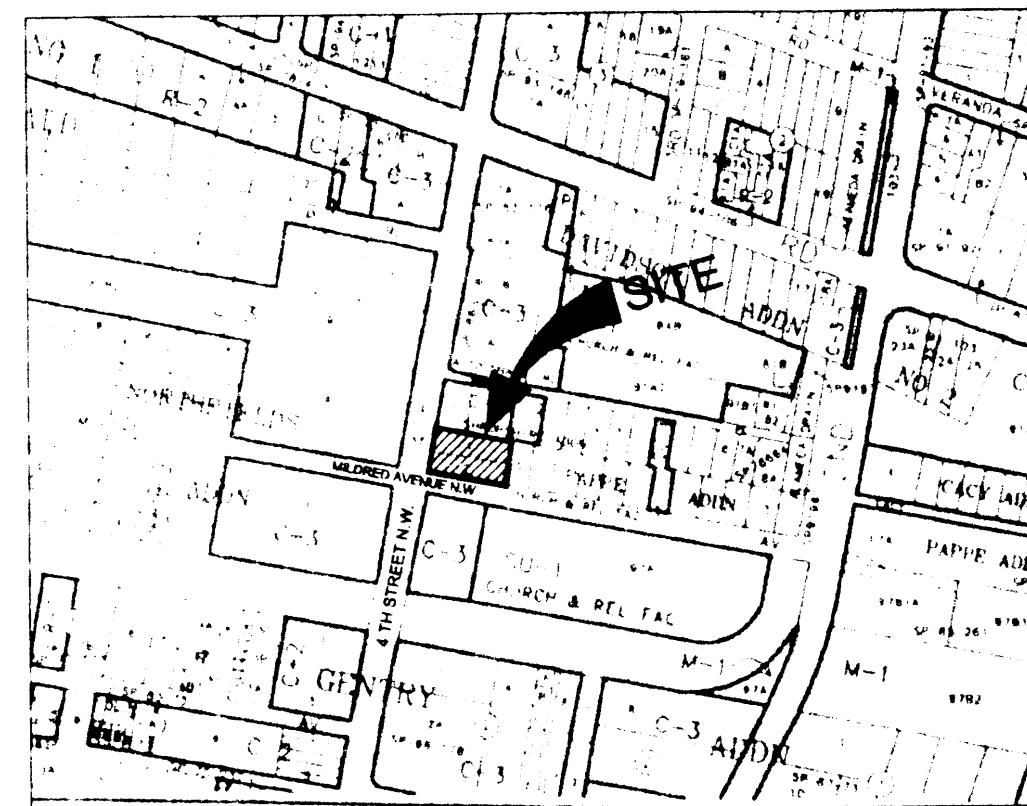
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DATE: March 2002

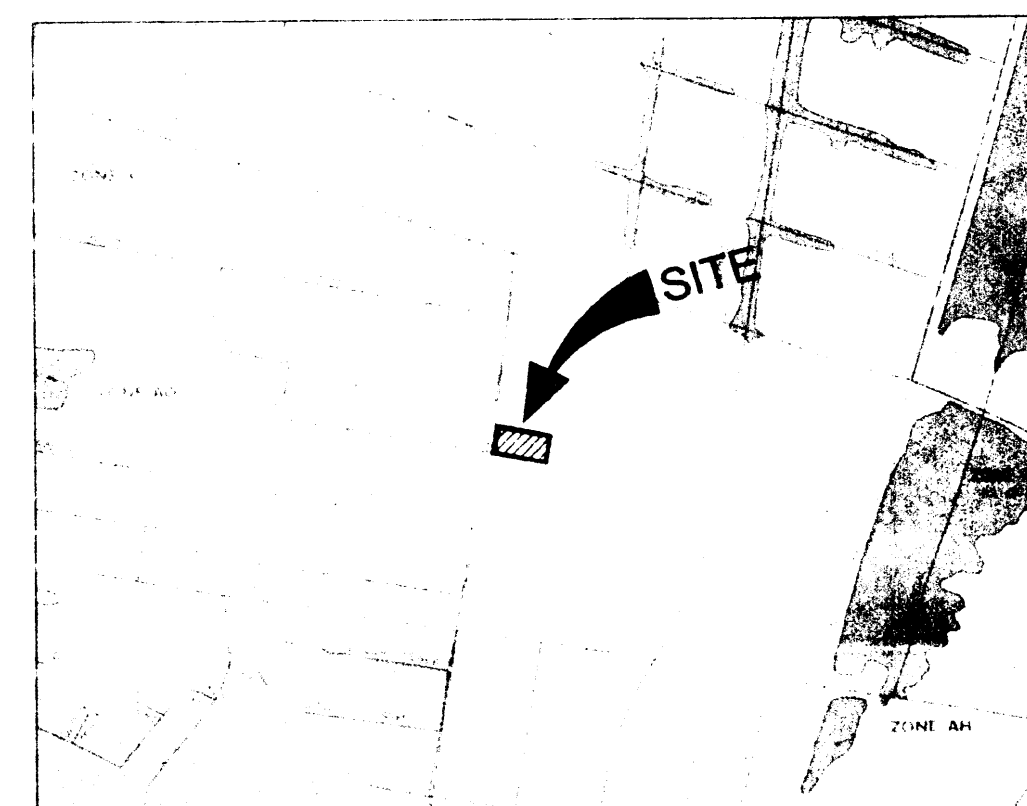
DRAWN: Miguel Trujillo

CHECKED: Miguel Trujillo





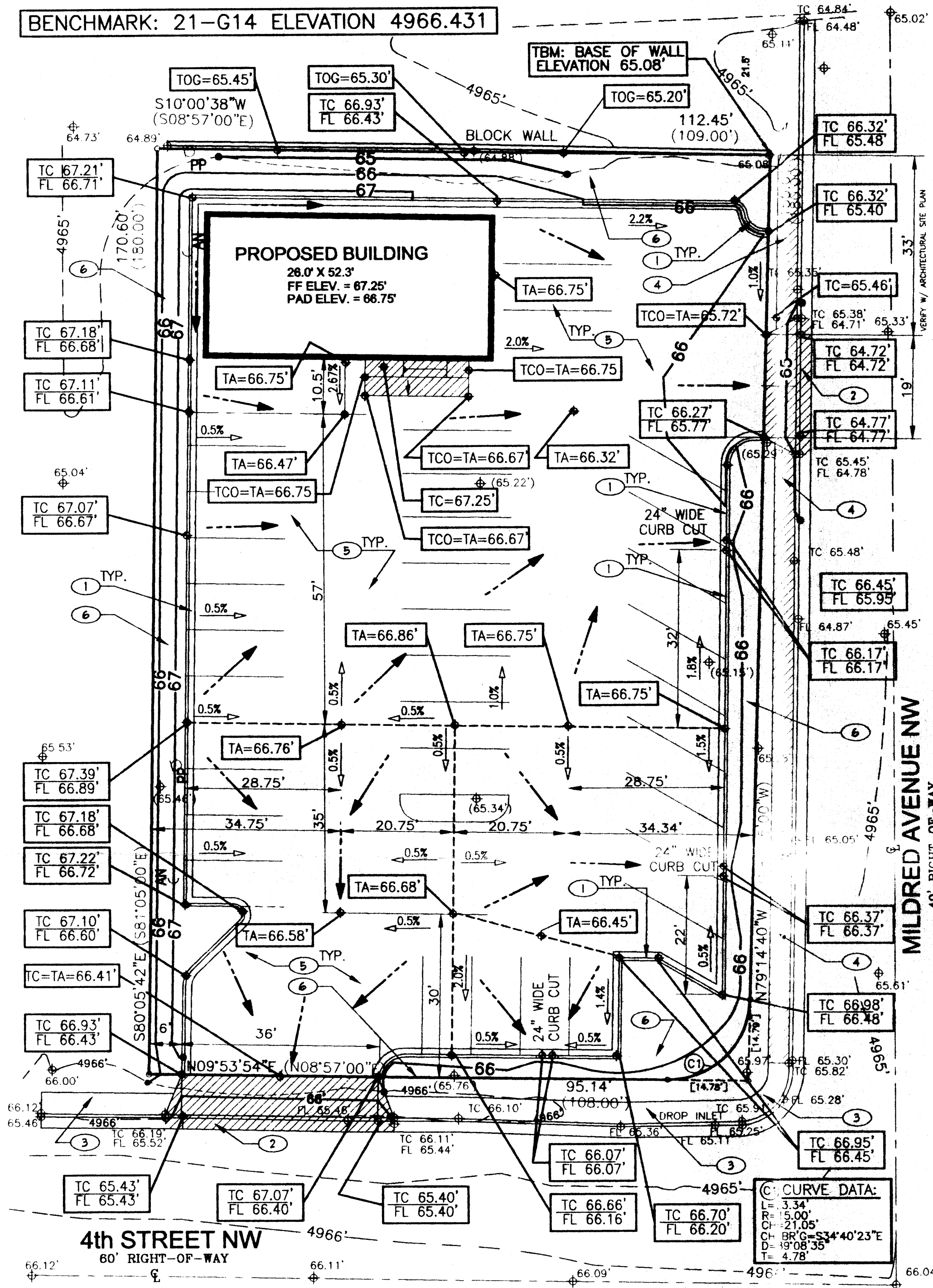
LOCATION MAP
NOT TO SCALE



FEMA MAP
NOT TO SCALE

LEGEND

66.12'	EXISTING TOP OF CURB ELEVATION
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→	NEW FLOW DIRECTION
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GRADING AND DRAINAGE PLAN

1/16" = 1'-0"

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DRAINAGE AND GRADING PLAN

FOR AUTOMOBILE SALES BUILDING LOCATED AT NE CORNER OF 4TH STREET AND MILDRED AVENUE N.W.

FLOODPLAIN INFORMATION: The property is located in Zone X of the Floodway Boundary and Floodway Map of Bernalillo County, New Mexico and Incorporated Areas. Community Panel 35001C0119D, effective SEPT, 1996.

EXISTING SITE CONDITIONS: The site is presently vacant and unimproved. It is bound on the east by an existing residence; on the north by an existing business; on the west by 4th Street N.W.; and on the south by Mildred Avenue N.W. Both streets are improved with asphalt pavement, concrete curb, gutter, and sidewalk. The site (0.45 Acre) and site vicinity are practically level. NO OFF-SITE DRAINAGE CONTRIBUTES TO THE ON-SITE FLOWS.

ANALYSIS PHILOSOPHY: The topography of the existing site causes surface flows to generally pond on site. Since the site is surrounded by development, it is considered in-fill. The site will be graded such that the post-development flows will be allowed to free discharge to the street through landscaped areas.

PROPOSED IMPROVEMENTS: A building with 1352 square feet of roof area will be built. Paved parking and landscaped areas will be provided.

EROSION CONTROL: Water from construction activities and/or rainfall will be retained on site through temporary ponding areas to prevent any runoff from entering the streets. All grading will be done in a manner to insure all silt and runoff remains on site.

NOTE: All references are to City of Albuquerque Development Process Manual, July, 1997

TOTAL LOT SIZE: 0.48 ACRES

ZONE 2 (DPM FIGURE A-1, p 22-7)

100 YEAR STORM DEPTH (DPM TABLE A-2, p 22-8)

EVENT	P ₁₀	P ₃₀	P ₁₀₀	P _{1 day}	P _{10 days}
INCHES	1.87	2.2	2.66	3.12	3.67

100 YR 6 HR STORM EVENT

TREATMENT	A	B	C	D	
Q _{PEAK} (CFS/ACRE)	1.29	2.03	2.87	4.37	(DPM TABLE A-9, p 22-15)
E ₃₆₀ (INCHES)	0.44	0.67	0.99	1.97	(DPM TABLE A-8, p 22-13)

EQUATIONS REQUIRED
 $Q_{PEAK} TOTAL (Q_{PT}) = Q_{PA} A_A + Q_{PB} A_B + Q_{PC} A_C + Q_{PD} A_D$ (DPM EQ. a-10, p 22-16)
 $E_{360} (WEIGHTED) = \{E_A A_A + E_B A_B + E_C A_C + E_D A_D\} / \{A_A + A_B + A_C + A_D\}$ (DPM EQ. a-5, p 22-14)
 $V_{360} (VOLUME RUNOFF) = E_{360} WEIGHTED \{A_A + A_B + A_C + A_D\} / 12$ (DPM EQ. a-6, p 22-14)
 $V_{10 DAYS} = V_{360} + A_D (P_{10 DAYS} - P_{360} / 12 IN/FT)$ (DPM EQ. a-9, p 22-14)

EXISTING CONDITIONS

TREATMENT	A	B	C	D
Q _{PEAK} TOTAL (Q _{PT})	0	0	0.48	0

Q_{PEAK} TOTAL (Q_{PT}) = 1.38 CFS

V₃₆₀ = 1725 CF

DEVELOPED CONDITIONS

TREATMENT	A	B	C	D
AREA (ACRES)	0.00	0.11	0.00	0.37

Q_{PEAK} TOTAL (Q_{PT}) = 1.84 CFS

E₃₆₀ WEIGHTED = 1.89 INCHES

V₃₆₀ = 2904 CF

INCREASE IN RUNOFF QUANTITY = 1.84 - 1.38 = 0.46 CFS (NEGLIGIBLE)

INCREASE IN RUNOFF VOLUME = 2904 - 1725 = 1179 CFS

THE INCREASE IN VOLUME WILL PASS THROUGH THE LANDSCAPED AREAS.

TOTAL LANDSCAPE AREA = 0.11 ACRE

WHEN USED AS DRAINAGE DETENTION POND 8" DEEP, VOLUME=3210 CF>2904 CF

AUTOMOBILE SALES BUILDING

3500 4th STREET N.W.

ALBUQUERQUE, NEW MEXICO 87107

RHOMBUS PROJECT NO. 02-C2-116

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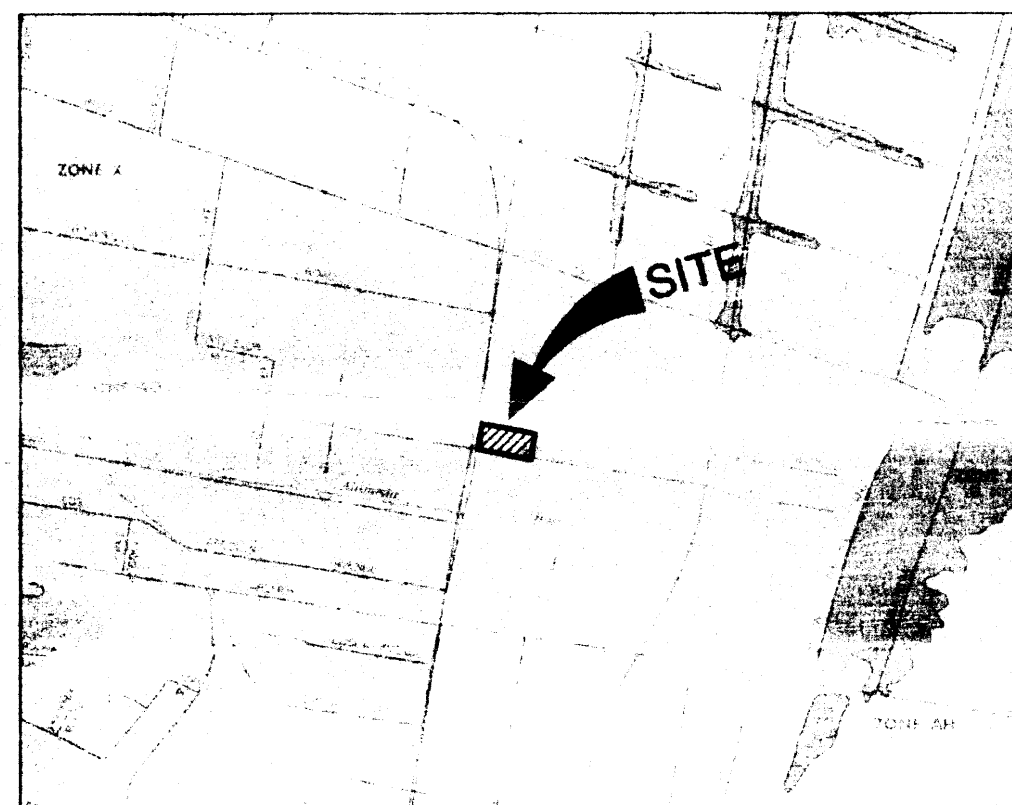
2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6696

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JUN 21 2002
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LOCATION MAP
NOT TO SCALE

ZONE MAP: G-14-Z



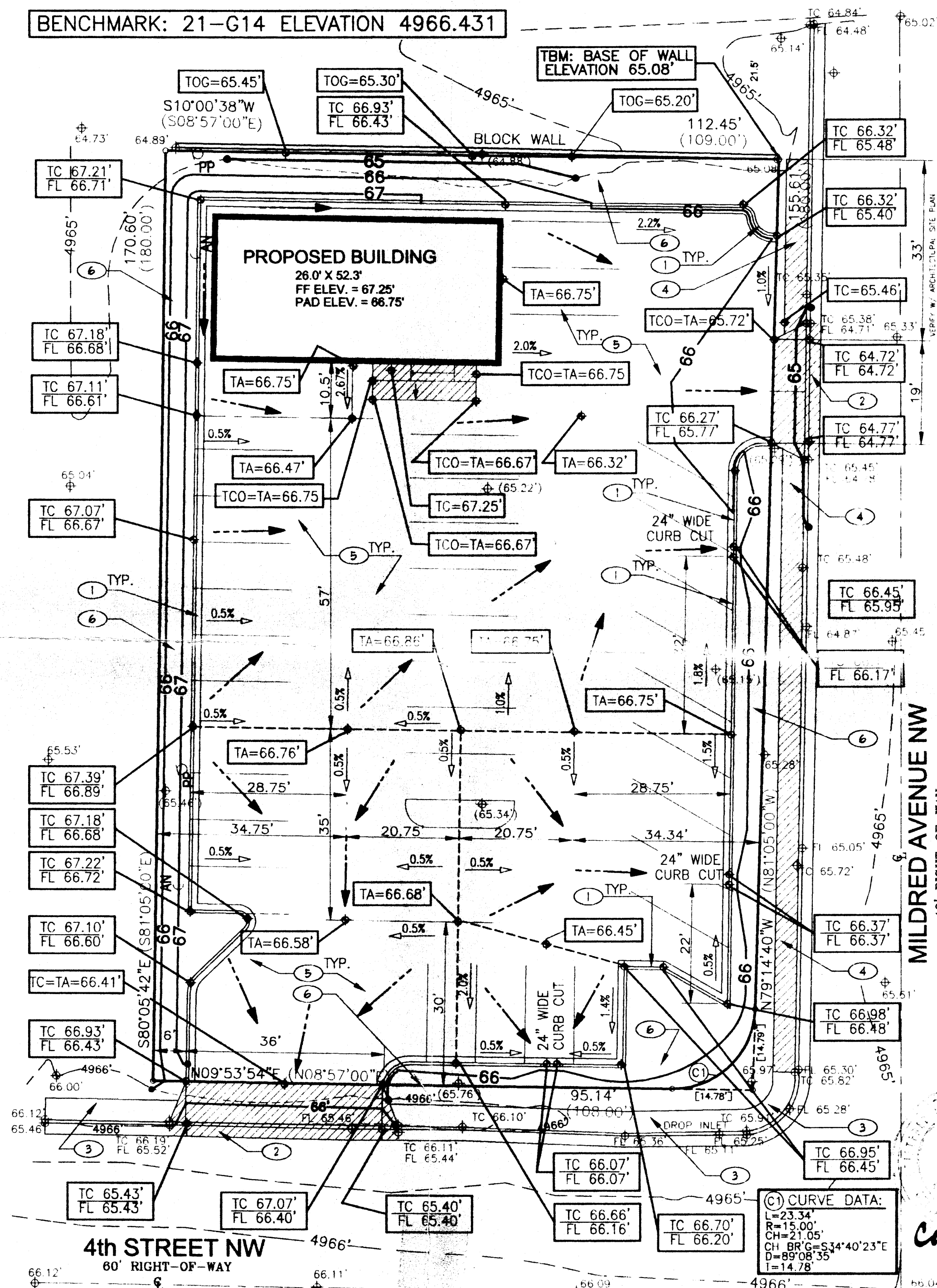
FEMA MAP
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PROJECT IS ON MAP 35001C0332 D

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1/16" = 1'-0"

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