



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 2003

Harold Bennett, P.E.
CJ & L Assoc.
1324 Bernadino Dr NW
Albuquerque, New Mexico 87104

RE: MEDRANO CONCRETE, INC. (G-14/D69)
(122 Headingly NW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 8/2/2002
ENGINEERS CERTIFICATION DATED 3/4/2003

Dear Harold:

Based upon the information provided in your Engineers Certification submittal dated 3/4/2003, the above referenced site is approved for a Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Division
BUB

C: Certificate of Occupancy Clerk, COA
approval file
✓ drainage file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 6, 2002

Harold Bennett, P.E.
C J & L Assoc.
1324 Bernardino Dr NW
Albuquerque, New Mexico 87104

RE: MEDRANO CONCRETE, INC. (G-14/D69)
Grading and Drainage Submitted for Building Permit Approval
ENGINEERS STAMP DATED 8/2/2002

Dear Mr. Bennett:

Based upon the information provided in your August 2, 2002 submittal, the above referenced project is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to signoff by Hydrology.

Prior to any grading of the site, a Top Soil Disturbance Permit from the Environmental Health Department is required.

~~Prior to release of the Certificate of Occupancy, an Engineer's Certification of the grading and drainage plan per the DPM checklist, and either the final plat signed eliminating the lot line or a cross lot drainage easement for lots 36 & 37 will be required.~~

If I can be of further assistance, please feel free to contact me at 924-3986.

per BLDG
3/18/03

Sincerely,

Bradley L. Bingham, P.E.
Senior Civil Engineer- Hydrology
COA- Dev. & Bldg. Ser. Division

c: Approval file
✓ Drainage File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

G-14/D69

PROJECT TITLE: MEDRANO CONCRETE ZONE MAP/DRG. FILE #: 6.14
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 35 & 36 BLK 13 MONKBRIDGE ADDN.
CITY ADDRESS: 122 HEADINGLY S.W. ALBUQ. NM. 87107.

ENGINEERING FIRM: HAROLD BENNETT
ADDRESS: _____
CITY, STATE: _____

CONTACT: HAROLD
PHONE: 266-3038
ZIP CODE: _____

OWNER: LAUREANO MEDRANO
ADDRESS: 148 HEADINGLY
CITY, STATE: ALBUQ. NM.

CONTACT: MEDRANO
PHONE: 343-9395
ZIP CODE: 87107

ARCHITECT: GARCIA BRYAN ARCHITECT.
ADDRESS: 2403 SAN MATEO U-1
CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT RAYNER
PHONE: 884-9694
ZIP CODE: 87110

SURVEYOR: SANDIA LAND SURVEYOR.
ADDRESS: _____
CITY, STATE: _____

CONTACT: ANDREW MEDINA
PHONE: 828-3036
ZIP CODE: _____

CONTRACTOR: RICHARD HUDSON. DEV. CO.
ADDRESS: 1008 ESPERO. N.E.
CITY, STATE: ALBUQ. NM.

CONTACT: RICHARD HUDSON.
PHONE: 293-3656
ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

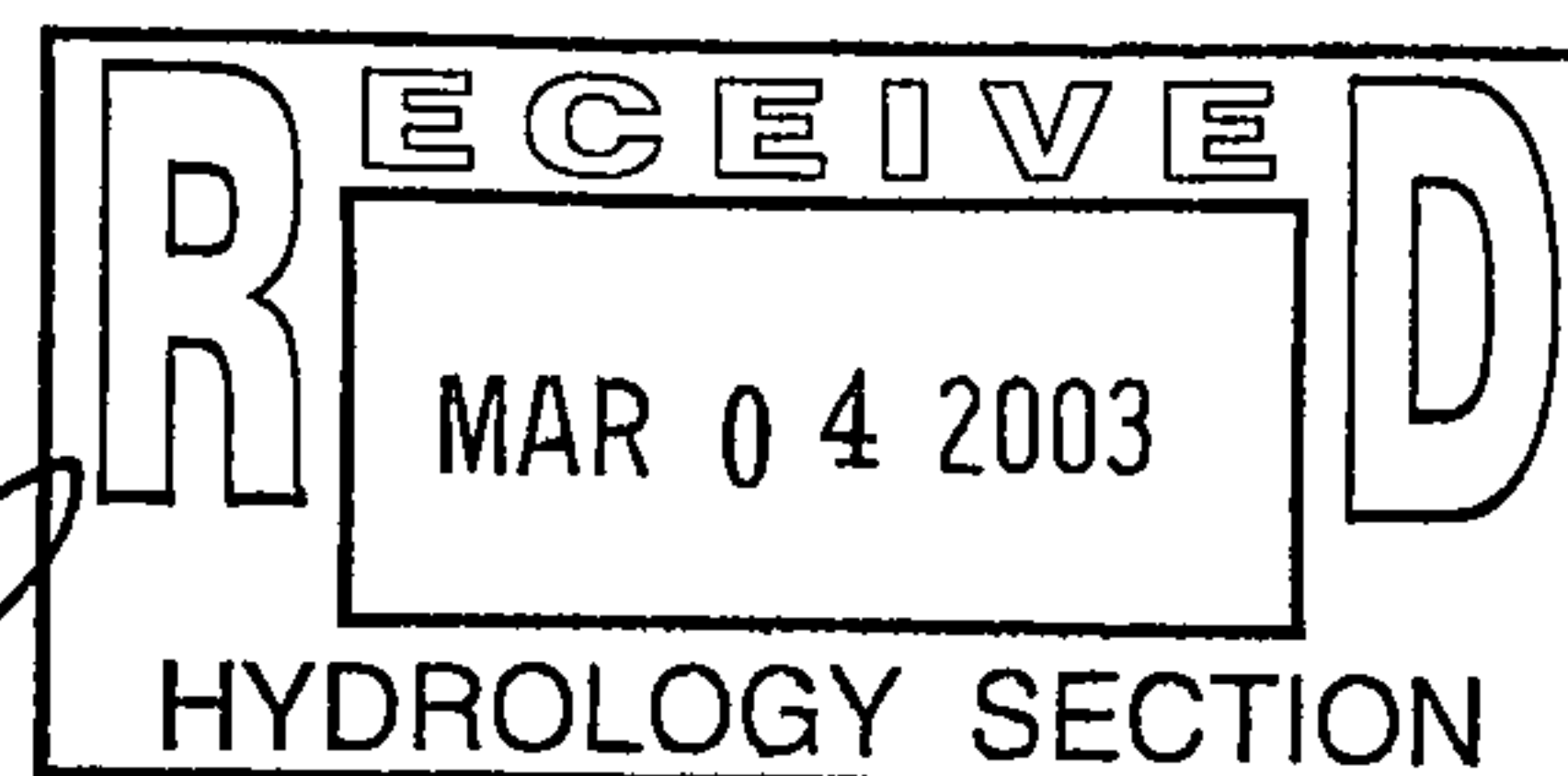
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3/4/03 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: MEDRANO CONCRETE ZONE MAP/DRG. FILE #: G-14
DRB #: _____ EPC#: _____ WORK ORDER#: _____
LEGAL DESCRIPTION: LOT 35 & 36 BLK 13 MONKBRIDGE ADDN.
CITY ADDRESS: 122 HEADINGLY S.W. ALBUA NM. 87107.
ENGINEERING FIRM: HAROLD BENNETT CONTACT: HAROLD
ADDRESS: _____ PHONE: 266-3038
CITY, STATE: _____ ZIP CODE: _____
OWNER: LAUREANO MEDRANO CONTACT: MEDRANO
ADDRESS: 148 HEADINGLY PHONE: 343-9395
CITY, STATE: ALBUA NM. ZIP CODE: 87107
ARCHITECT: GAILAN BRYAN ARCHITECT. CONTACT: ROBERT RAYNER
ADDRESS: 2403 SAN MATEO U-1 PHONE: 884-9694
CITY, STATE: ALBUA NM. ZIP CODE: 87110
SURVEYOR: SANDIA LAND SURVEYOR. CONTACT: ANDREW MEDINA
ADDRESS: _____ PHONE: 828-3036
CITY, STATE: _____ ZIP CODE: _____
CONTRACTOR: RICHARD HUDSON. DEV. CO. CONTACT: RICHARD HUDSON
ADDRESS: 1008 ESPERO. N.E. PHONE: 293-3656
CITY, STATE: ALBUA NM. ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3/20/03

BY: Ray

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

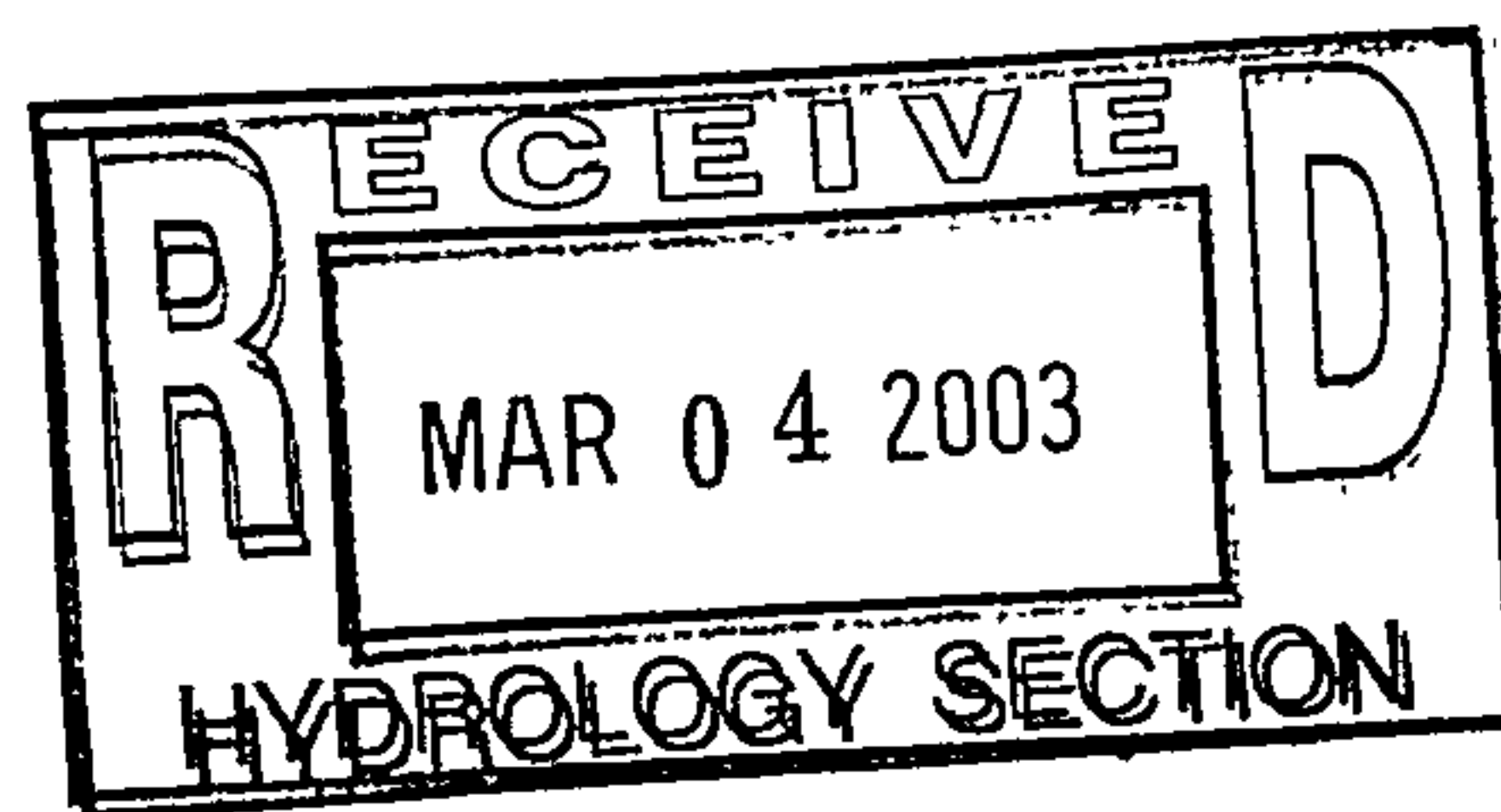
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE CERT W/ VERIFICATION BY ENGINEER OF RECORD
12/28/01

DRAINAGE CERTIFICATION

I, HAROLD L BENNETT, NMPE # 10770, OF THE FIRM CJ + L Engr.,
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF
THE APPROVED PLAN DATED 8-15-02 THE RECORD INFORMATION EDITED ONTO THE
ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT
SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR
Certification of Occupancy. The lot was surveyed by
Sandia Land Surveying on 2-24-03 by Andrew Medina PLS, #2649.
EXCEPTIONS AND/OR QUALIFICATIONS. copy attached.

DEFICIENCIES AND/OR CORRECTIONS:



THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND
DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT
ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING
IT FOR ANY OTHER PURPOSE.

Harold L Bennett # 10770
NMPE

3-4-03
DATE





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

March 14, 2003

Garlan D. Bryan, Registered Architect
2403 San Mateo Blvd, Ste W-1
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Medrano Concrete Inc, [G-14 / D69]
122 Headingly NW
Architect's Stamp Dated 12/20/02

Dear Mr. Bryan:

The TCL / Letter of Certification submitted on March 11, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.,
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology-file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-14/D69

PROJECT TITLE: MEDLAND COOPERATE

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #: G-14

WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 36 A.

CITY ADDRESS: 122 HEADINGLY N.W.

ENGINEERING FIRM: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: L. MEDRANO

ADDRESS: 122 HEADINGLY N.W.

CITY, STATE: ALBUQUERQUE N.M.

CONTACT: L. MEDRANO

PHONE: 343-9395

ZIP CODE: 87107

ARCHITECT: GARLAND DRYAN

ADDRESS: 2403 SAN MATEO BLVD W-1

CITY, STATE: ALBUQUERQUE N.M.

CONTACT: Robert

PHONE: 884-9694

ZIP CODE: 87110

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: Hudson Dev. Co.

ADDRESS: 1000 25th St NE

CITY, STATE: ALBUQUERQUE N.M. 87112

CONTACT: R. Hudson

PHONE: 293-2656

ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

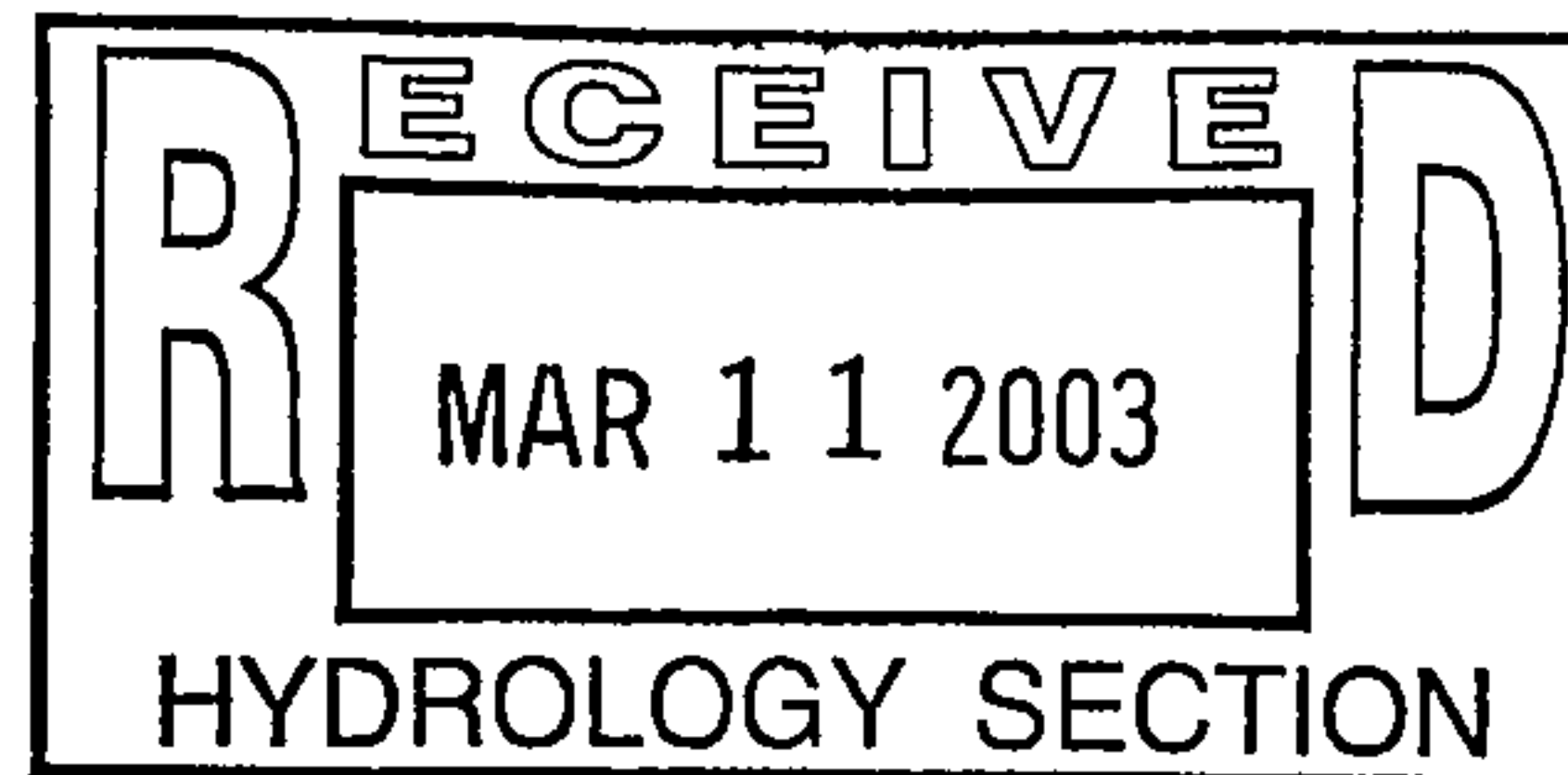
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
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- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 3-11-03

BY: R. Hudson

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

2403 SAN MATEO BLVD
ST. W-1
ALBUQUERQUE, NEW MEXICO 87110

Garlan Bryan Architect

December 20, 2002

City of Albuquerque
Zoning and Planning Department
Plaza del Sol Building
600 Second St. NW
Albuq., NM 87102

Re: Medrano Concrete T.C.L.

Attn: Terri Martin

witnessed NSF 3/14/03

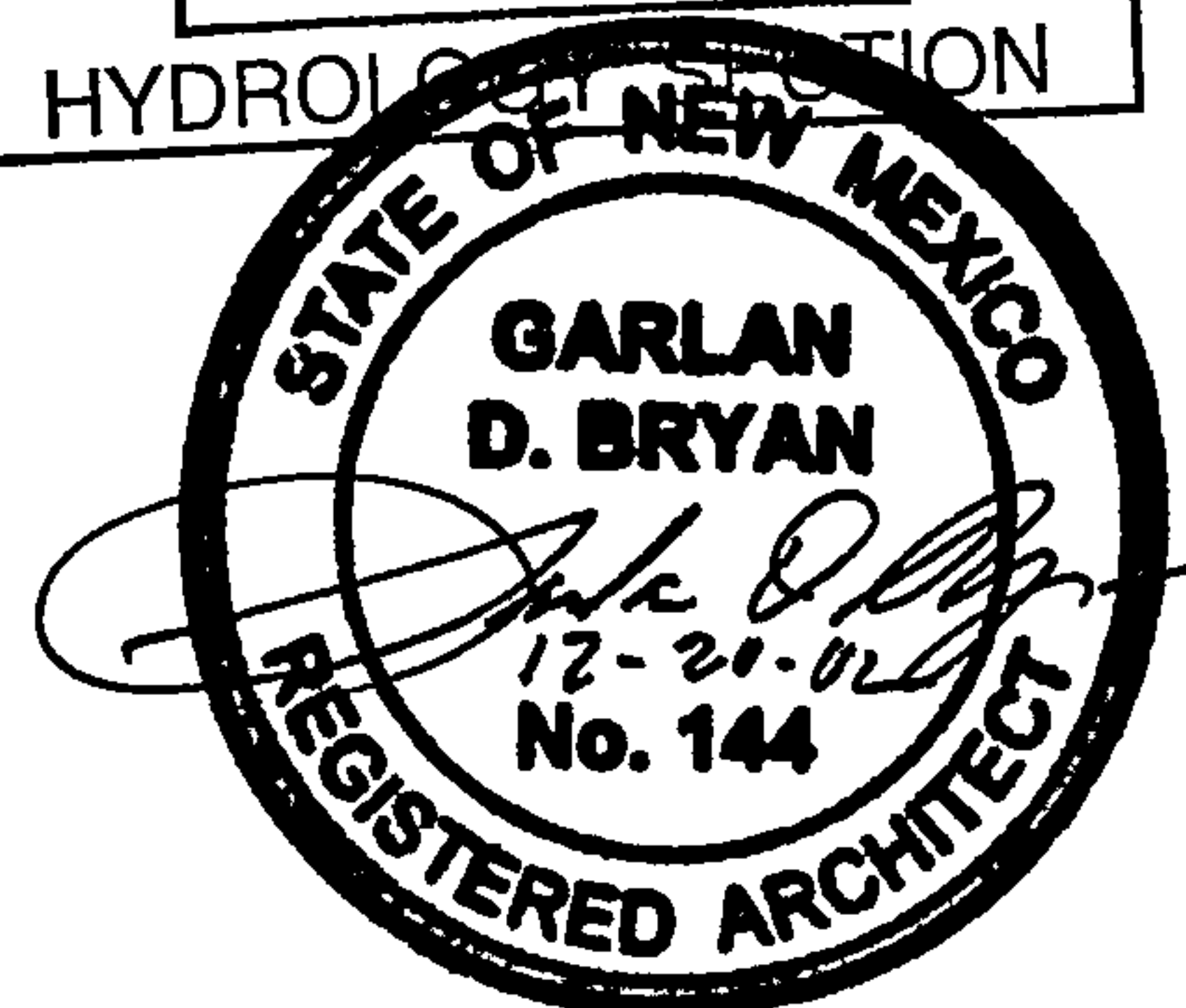
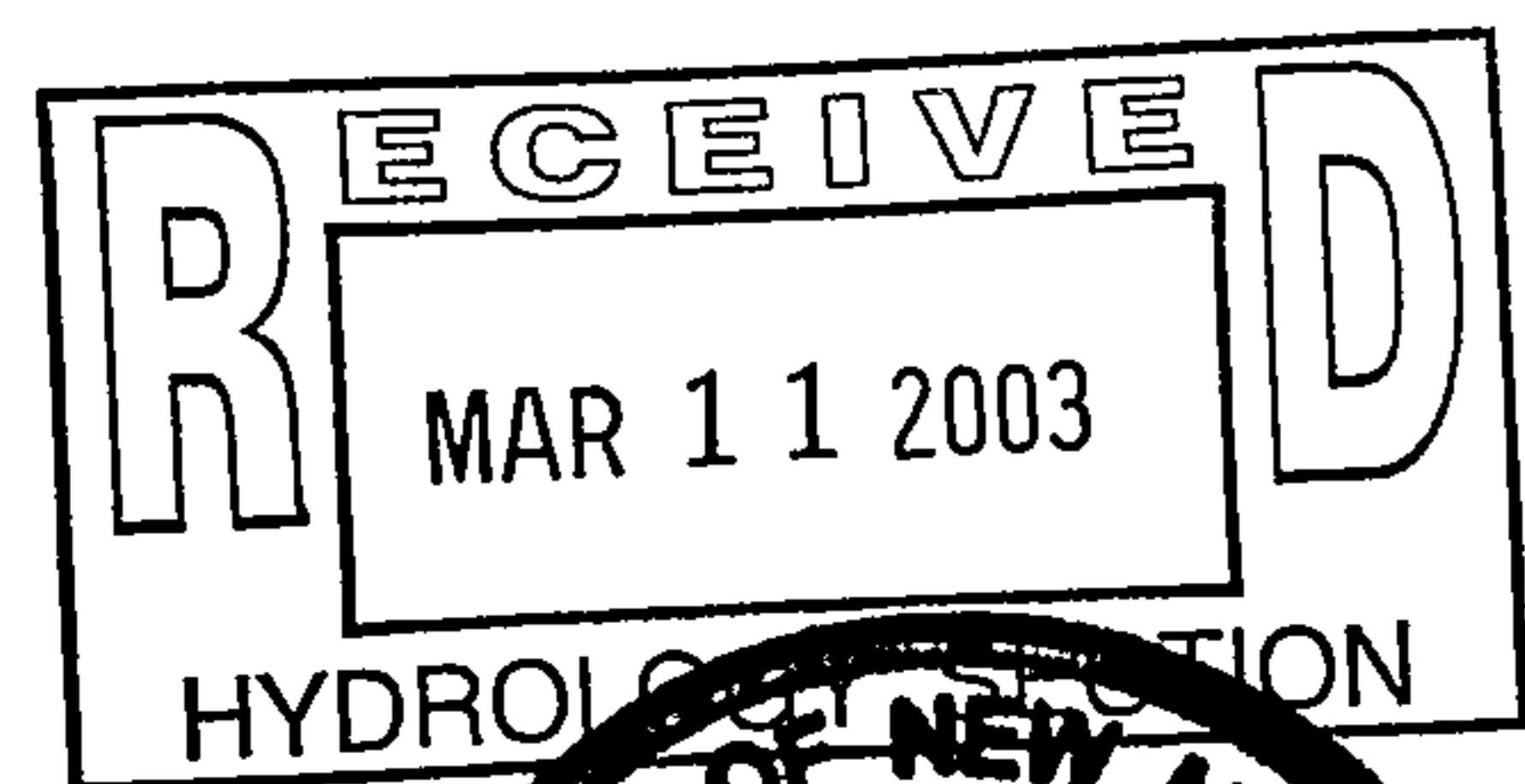
Dear Terri,

After an extensive post construction inspection of the site of Madrano Concrete located at 122 Headingly NW., we have determined that the site has been constructed in accordance with the approved traffic circulation layout plan dated 08-01-02. This letter is to inform you that it is hereby certified by me, Garlan Bryan Architect. to be correct and built to specifications.

→ SUBSTANTIAL COMPLIANCE WITH L. 8/14/03.

Sincerely,


Garlan D. Bryan
Architect





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

August 16, 2002

Robert Rayner, Registered Architect
Garlan Bryan, Architect
2403 San Mateo Blvd. N.E.
Albuquerque, NM 87110

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Medrano Concrete, [G-14/D069]
122 Headingly N.W.
Architect's Stamp Dated 08/15/02

Dear Mr. Rayner:

The TCL submittal, dated August 16, 2002, is sufficient for acceptance by this office and is stamped and signed as such. Four copies were made as required: two for submittal of building permit plans, one for this office and one to be kept by you to be used for certification of the site for final C.O. for Hydrology/Transportation. is sufficient for acceptance by this office and was stamped and signed as such.

When the superintendent of this project calls for a Temporary C.O. immediate issuance is no longer possible at the time of the call. An acceptable copy of the approved TCL, marked up, showing incomplete work remaining, along with a letter of certification is required prior to issuance of the Temporary C.O. Letter or TCL, or both, must be stamped with the designer's seal for the certification. Seal must be signed and dated for that certification. This and all documentation must be submitted with a completed Drainage and Transportation Information Sheet (also used for the Grading and Drainage submittal) to Hydrology at the Development Services Center of Plaza Del Sol Building. When site is complete and a Final C.O. is needed, a Letter of Certification, stating (including the word "Certify/Certification") that the site was built in substantial compliance, needs to be attached to an exact copy of the stamped, approved TCL. Another copy similar to the TCL is acceptable, however, more time will be required to verify the copy before issuing the Final C.O. DRB Site Plans must be exact copy, with DRB signature block. Letter or TCL must be stamped with the designer's seal for the certification. Seal must be signed and dated for that certification. Submit with a completed Drainage and Transportation Information Sheet to Hydrology.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that Final C.O. has been issued to the superintendent, call Building Safety at 924-3306.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
 Hydrology file
 Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: MEDRANO CONCRETE ZONE MAP/DRG. FILE #: G-14 / D069
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 35:36 BLK. 13 MONKBRIDGE ADDN.
CITY ADDRESS: 122 HEADINGLY N.W. ALBUQ. NM. 87107.

ENGINEERING FIRM: HAROLD BENNETT.
ADDRESS: _____
CITY, STATE: _____

CONTACT: HAROLD BENNETT.
PHONE: _____
ZIP CODE: _____

OWNER: L. MEDRANO.
ADDRESS: 148 HEADINGLY AVE. N.W.
CITY, STATE: ALBUQ. NM. 87107.

CONTACT: LAUREANO MEDRANO.
PHONE: 343-9395
ZIP CODE: 87107.

ARCHITECT: GARLAN BRYAN ARCHITECT.
ADDRESS: 2403 SAN MATEO SE. W-1
CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT RAYNER.
PHONE: 884-9694
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: HUDSON DEV. CO.
ADDRESS: 1008 ESPINO N.E
CITY, STATE: ALBUQ. NM. 87112

CONTACT: RICHARD HUDSON
PHONE: 293-3656
ZIP CODE: 87112.

CHECK TYPE OF SUBMITTAL:

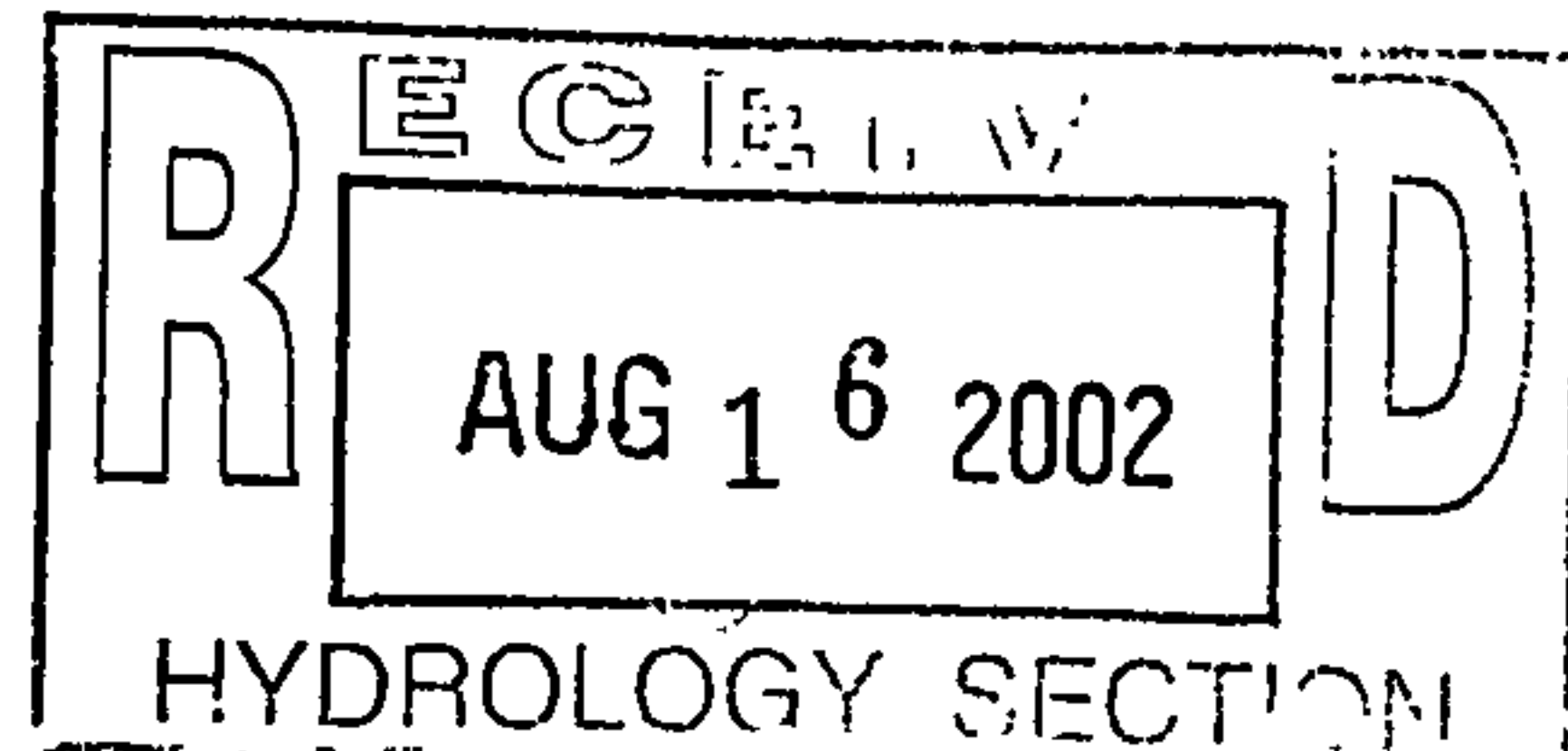
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/16/02.

BY: Ram

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8/16/02 - App'd T.C.L., App'd Permit; 8/21/02 - Sent letter dated 8/16/02 - Copied in



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

August 14, 2002

Robert Rayner for Garlan Bryan, Reg. Architect
Garlan Bryan, Architect
2403 San Mateo Blvd. N.E.
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for
Medrano Concrete Office Bldg., [G-147 D069]
122 Headingly N.E.
Architect's Stamp Dated 07/22/02

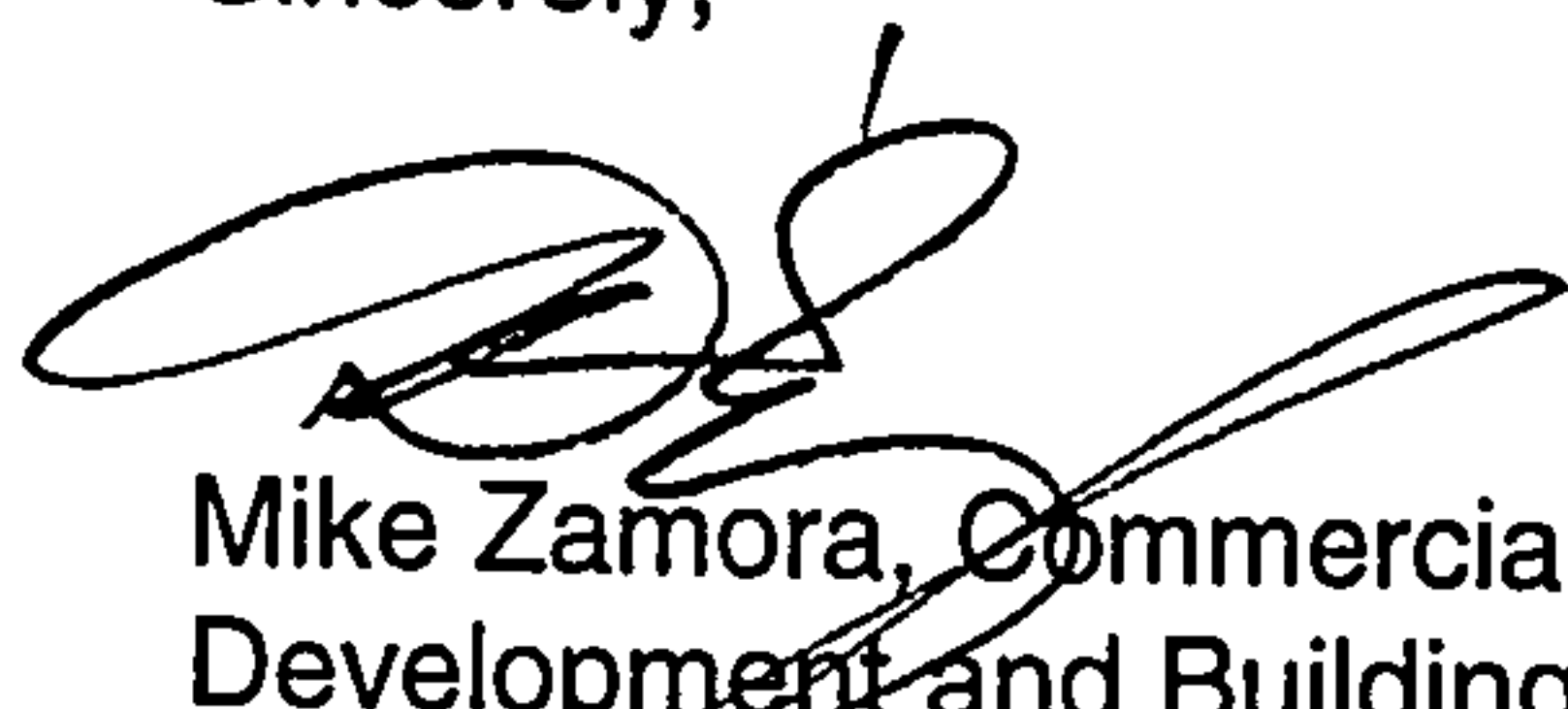
Dear Mr. Rayner:

The TCL submitted for second review, dated August 2, 2002 is not yet sufficient for acceptance by this office. It requires completion of the items not yet addressed on the checklist or the original mark up and items called out on the revised TCL resubmitted by the designer.

Site visit reveals a building existing on the site. Show the old building in light, dashed linework on the TCL and call out as being demolished, or similar, if applicable.

Please submit the corrected TCL again to Hydrology along with all documentation and mark-up copies. Complete the Drainage and Transportation Information Sheet for the submittal at the Planning front counter.

Sincerely,



Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

U. 11.11.02
7-30

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST
REVISED DRAFT 9/18/01

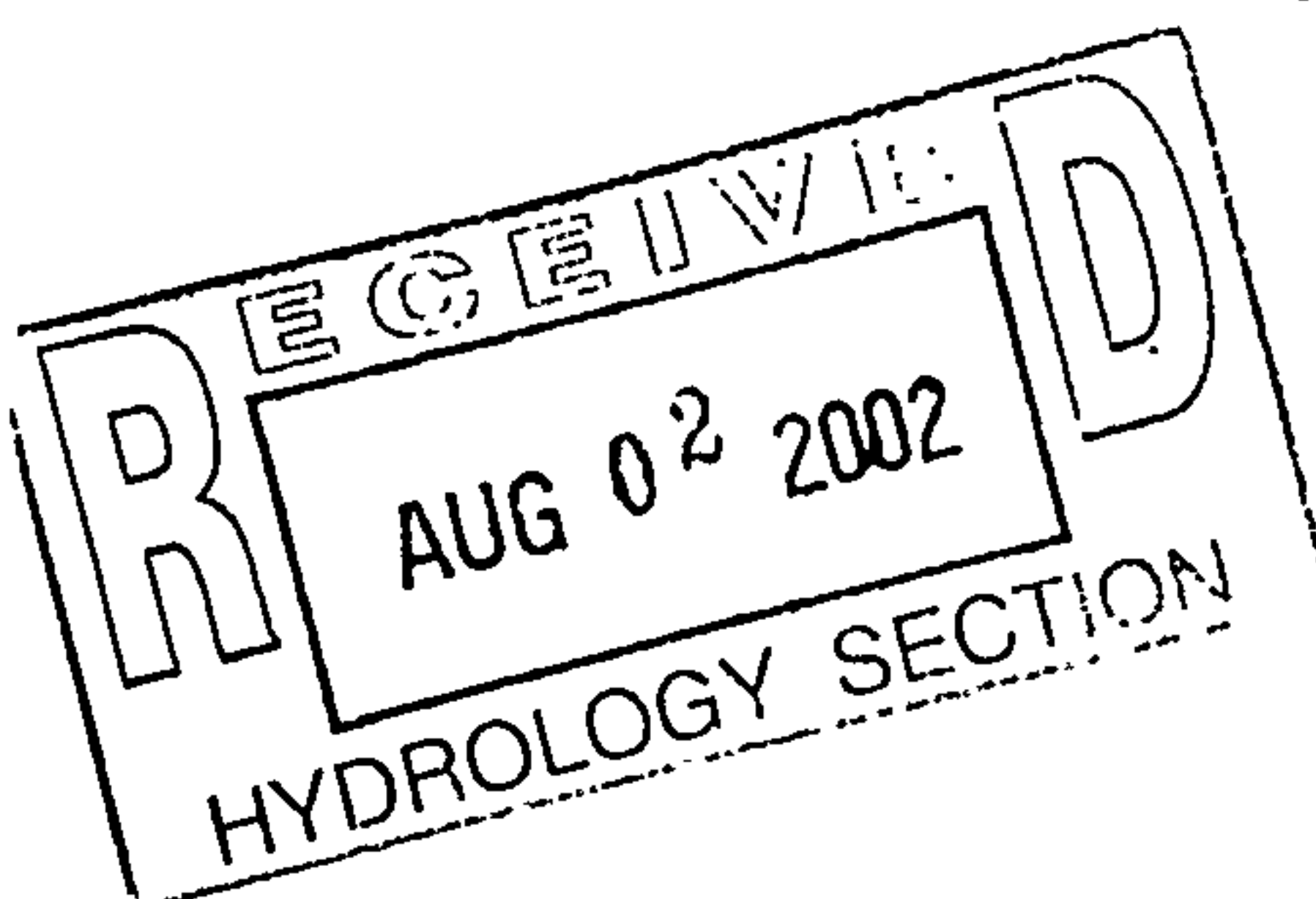
The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

D.P.M. - DEVELOPMENT PROCESS MANUAL

I. General Information:

- A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ~~B.~~ Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
 - 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - 2. Address and legal description or copy of current plat
 - 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - 5. Size of development
 - 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - a. General project location
 - b. Development concept for the site - *Rear of Site is for what?*
 - c. Traffic circulation concept for the site-including largest truck - (Design Vehicle)
 - d. Impact on the adjacent sites
 - e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - f. Variance required to accommodate unusual site constraints



✓ - ITEM IS ACCEPTABLE

② - ITEM NEEDS COMPLETION

3 - N/A

4. - ITEM IN THE SUBSECTION NEEDS COMPLETION OR DESIGNER MIGHT CONSIDER THE ITEM ONCE MORE. 7/29/02

122. Hoadley 11/11 - Medman Concrete

II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
1. North Arrow
 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 4. Plan drawings size: 24" x 36"
 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drive pads, walls, etc., and anything that influences parking and circulation of the site
 - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) *including street sidewalk*
- D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - b. Slopes
 - (1) Parking areas 1% min to 8% max
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - (3) ~~Handicap parking 1% min to 2% max~~
 - (4) Handicap ramps ~~with slope of 12:1~~ must be provided where the sidewalk area where curbs intersect the pedestrian access to the building
 - c. Clearly delineate project phasing. A key map is recommended.
 - d. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e. Circulation:

(1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for ~~both large and small~~ ^{regular} car parking areas

existing (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6

~~(3)~~ Internal aisle connection:

~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking

~~(b)~~ Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)

~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)


~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles

~~(5)~~ Sidewalk connections:

~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~

~~(b)~~ Provide a min 5' wide sidewalk when the stall will overhang the sidewalk

~~(c)~~ Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk

 Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles

(7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division

(8) Service Areas:

(a) Circulation:

~~(1)~~ Design vehicle route needs to be shown

1 TON TRUCK WAF ~~(2)~~ No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle

~~(b)~~ No backing into or from public street allowed

~~(c)~~ Service vehicle and/or refuse vehicle maneuvering must be contained on-site

(d) Aisle width required:

1) Two-way traffic is 30'

2) One-way traffic is 20'

For future reference

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

G-14/D69

PROJECT TITLE: Medrano Concrete Inc ZONE MAP/DRG. FILE #: G-14
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 36 & 37 BLK 13, MONKBRIDGE ADD.
CITY ADDRESS: 122 HEADINGWAY N.W.

ENGINEERING FIRM: HAROLD BENNETT
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: L. MEDRANO
ADDRESS: 148 HEADINGWAY
CITY, STATE: AUBURN 87107

CONTACT: Medrano
PHONE: 343-9395
ZIP CODE: 87107

ARCHITECT: GARLAN BRYAN ARCHITECT
ADDRESS: 2403 SAN MATEO
CITY, STATE: AUB. NM. 87107

CONTACT: Robert Rayne
PHONE: 884-9697
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: HUDSON DEV. CO.
ADDRESS: 1008 ESPINO
CITY, STATE: AUB. NM.

CONTACT: RICHARD HUDSON
PHONE: 293-3656
ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

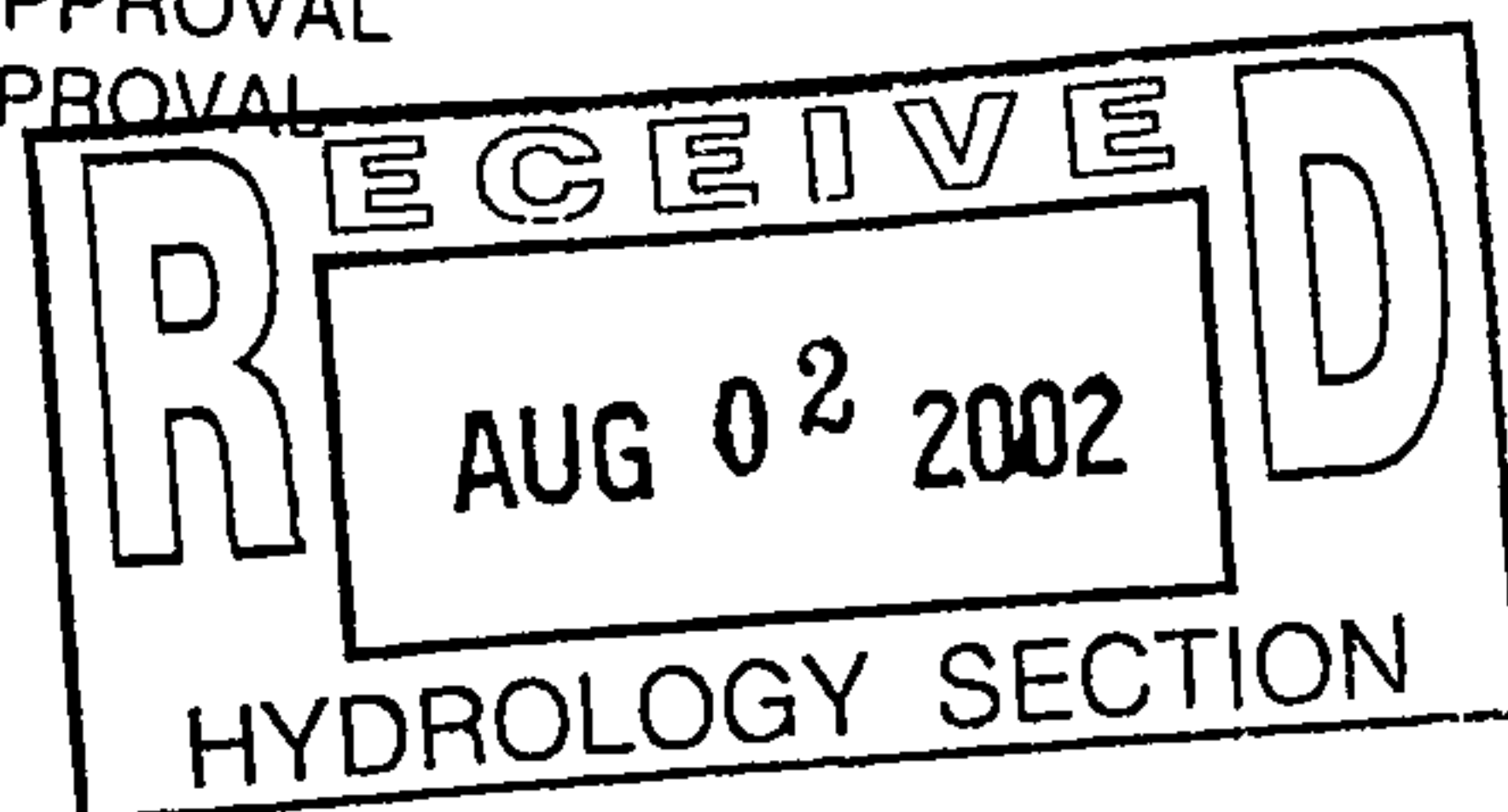
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION-LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/2/02

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8/14/02 - Rej'd 2nd subm., sent letter, c'd Arch; 8/14 - sent letter dated 8/14; Arch. Stamp signed & dated - Logged

Medrano Concrete, Inc.

P.O. Box 12731
Albuquerque, NM 87195
Lic. # 058772

Office : (505) 343-9395

Fax : (505) 341-0735

Mobile : (505) 249-5593

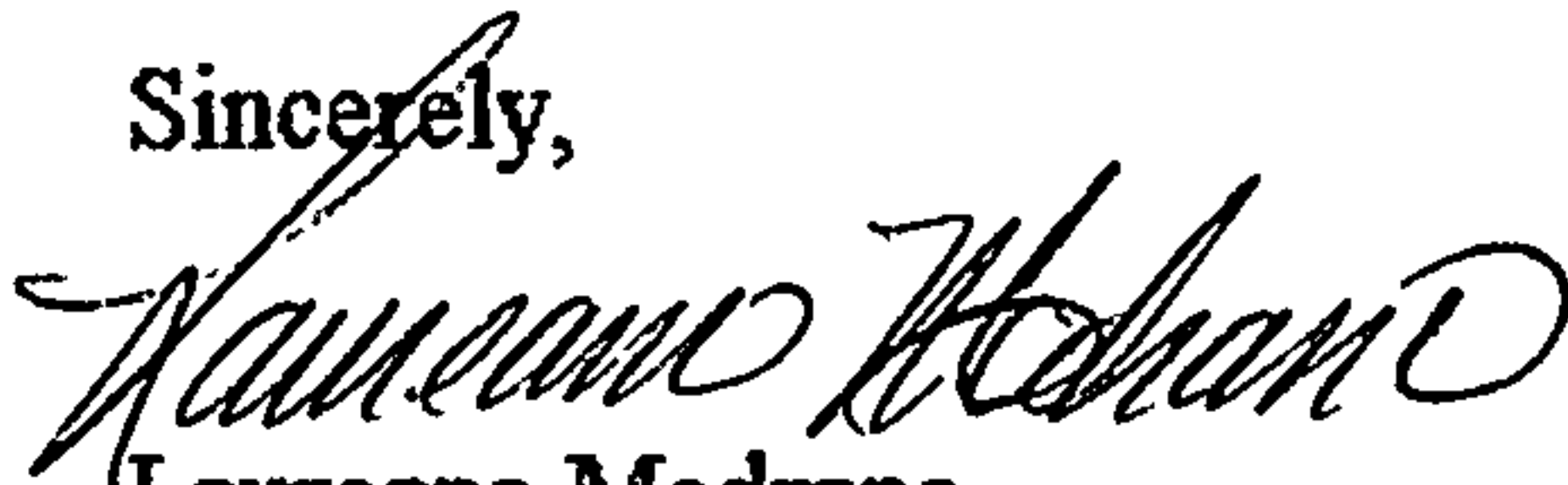
July 30, 2002

City of Albuquerque
Mike Zamora
Plan Review

Dear Mike:

I am writing this letter to inform you that the Garage that will be build will be used only for purpose of parking my truck. There will be no chemicals, so the Garage will be used for parking and storage.

Sincerely,



Laureano Medrano
President

Medrano Concrete, Inc.

P.O. Box 12731
Albuquerque, NM 87195
Lic. # 058772

Office : (505) 343-9395

Fax : (505) 341-0735

Mobile : (505) 249-5593

July 31, 2002

To Whom It May Concern:

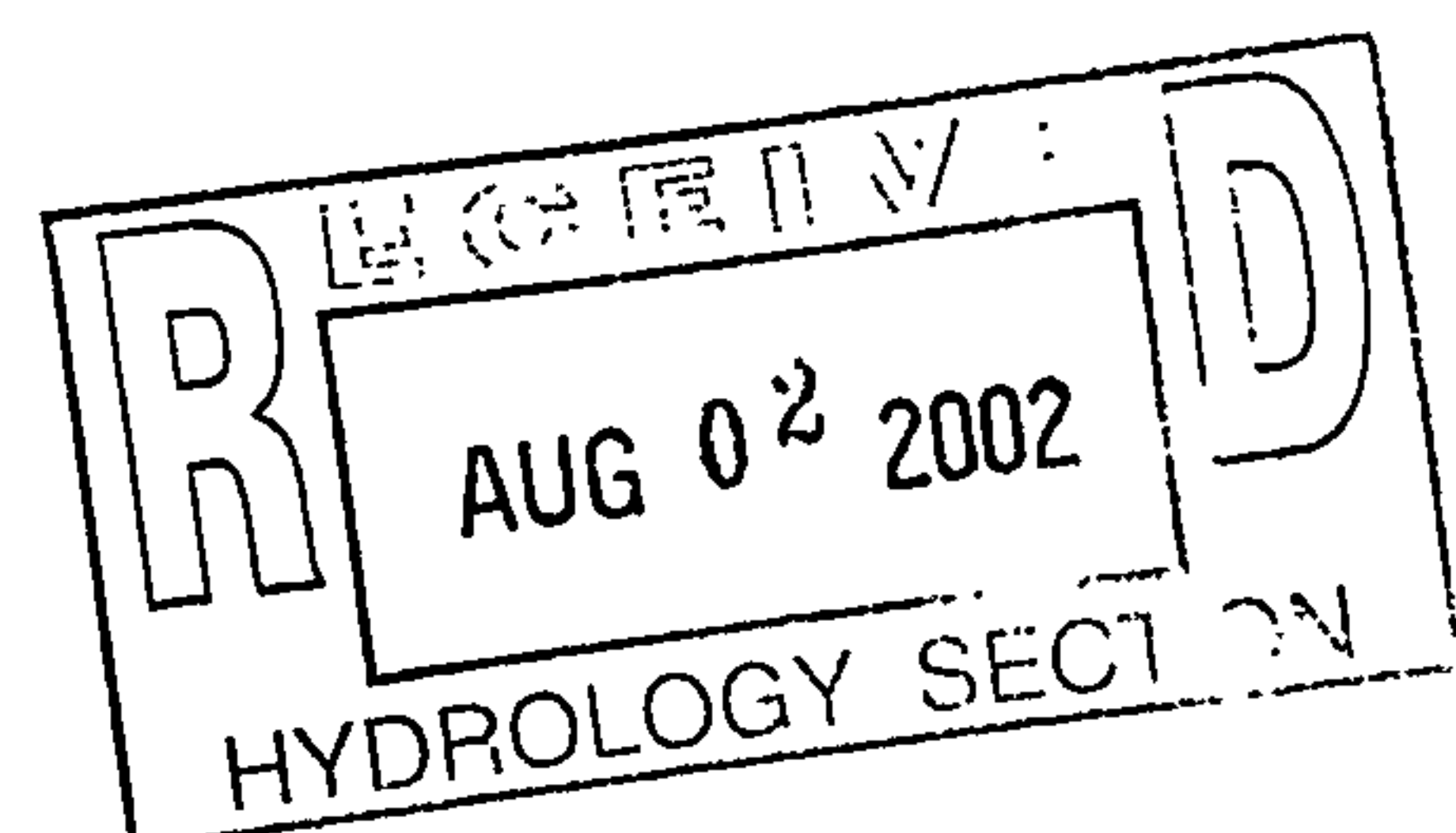
Pertaining to Lots 36 & 37, Block 13, Monkbridge Addition
This is to allow for cross site drainage between Lot 36 and
Lot 37.

Owner Lot 36

Luisano Medrano

Owner Lot 37

Luisano Medrano



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

G-14/069

PROJECT TITLE: MEDRANO CONCRETE INC. ZONE MAP/DRG. FILE #: G-14
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: 122 HEADINLEY AVE N.W. Lot 36, 37. BLK 13 MONKBRIDGE ADD.
CITY ADDRESS: 122 HEADINLEY AVE N.W.

ENGINEERING FIRM: HAROLD BENNETT
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: C. Medrano
ADDRESS: _____
CITY, STATE: _____

CONTACT: Medrano
PHONE: 343-9395
ZIP CODE: 87107

ARCHITECT: GARLAN BRYAN Architect
ADDRESS: 2403 SAN PABLO
CITY, STATE: ALB. NM. ST. W-1

CONTACT: Robert Rayne
PHONE: 884-9694
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: Hudson Dev. Co.
ADDRESS: 1008 ESPEJO
CITY, STATE: ALB. NM.

CONTACT: Richard Hudson
PHONE: 893-3656
ZIP CODE: 87112

CHECK TYPE OF SUBMITTAL:

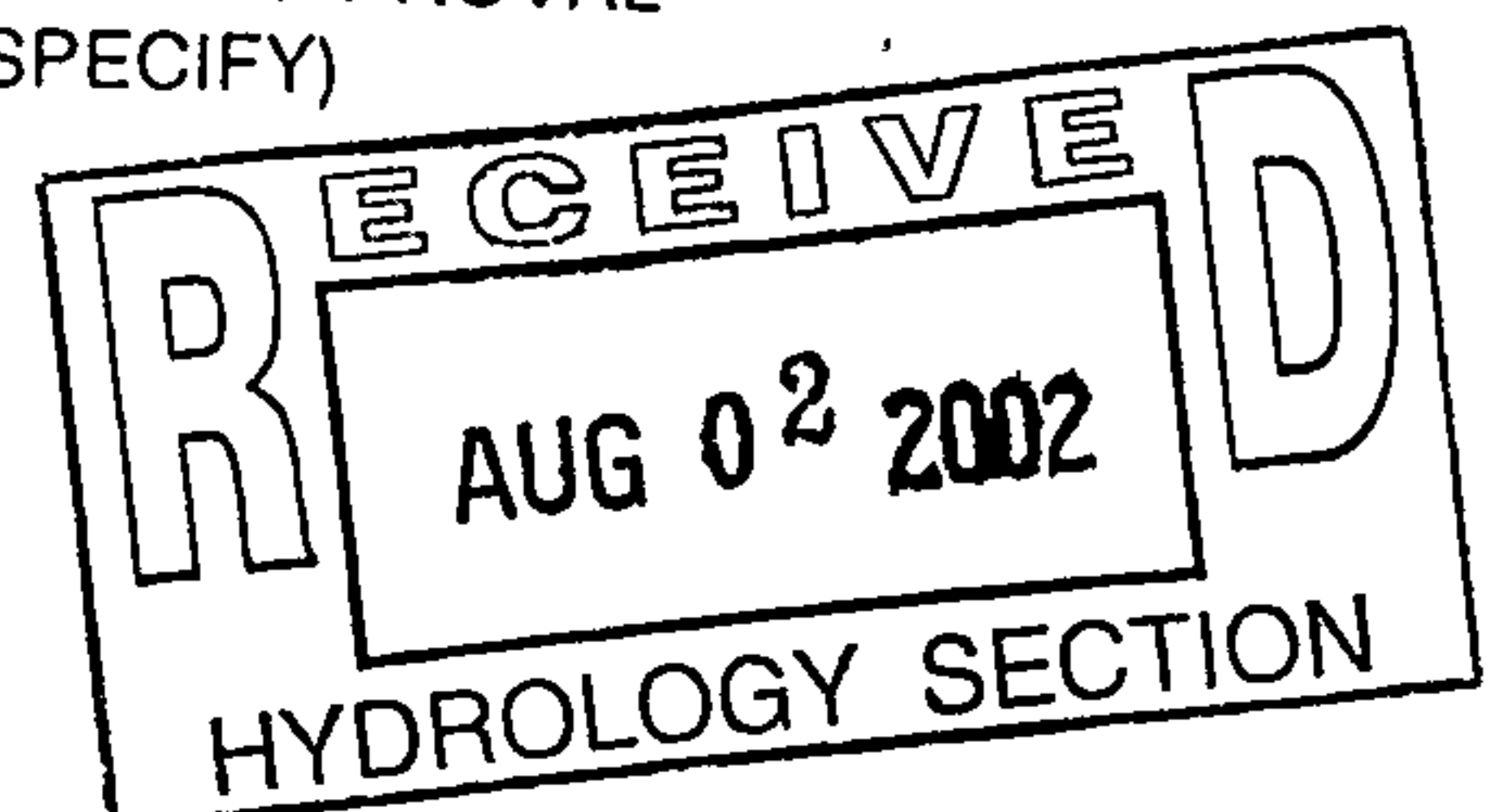
- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 8/2/02

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Medrano Concrete, Inc.

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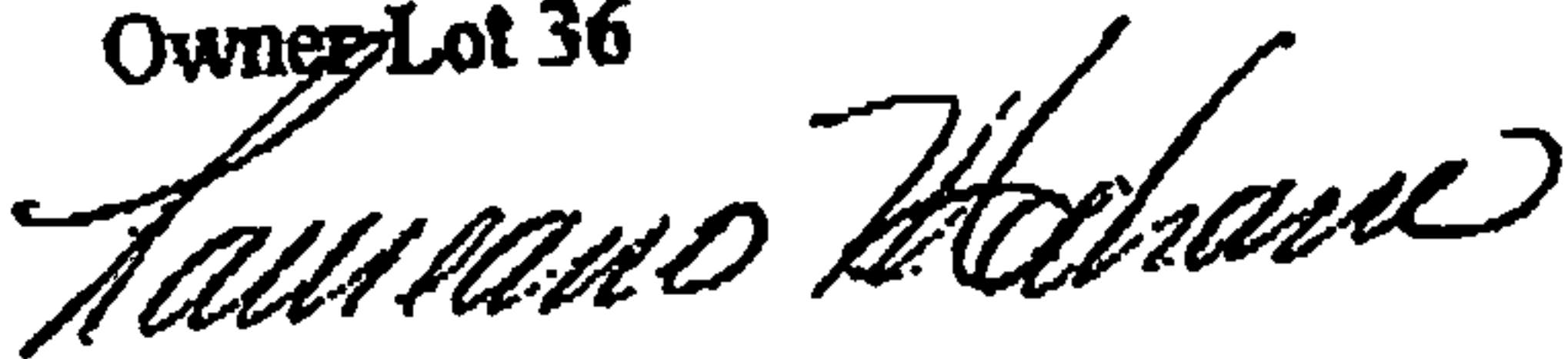
Mobile : (505) 249-5593

July 31, 2002

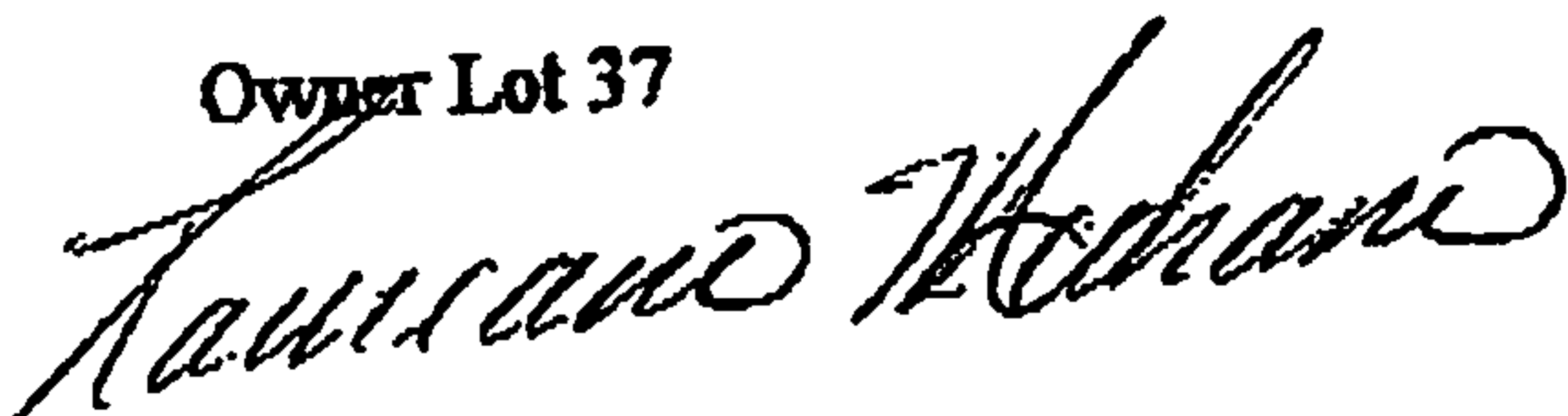
To Whom It May Concern:

Pertaining to Lots 36 & 37, Block 13, Monkbridge Addition
This is to allow for cross site drainage between Lot 36 and
Lot 37.

Owner Lot 36



Owner Lot 37



DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: MEDRADO CONCRETE ZONE MAP/DRG. FILE #: G-15-2
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 36-37 BLOCK 15 MONKBRIDGE ADDITION
CITY ADDRESS: 122 HEADINGLY AVE. N.W. 87107

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: LAUREANO MEDRADO
ADDRESS: 125 HEADINGLY
CITY, STATE: ALBUQ. NM.

CONTACT: _____
PHONE: _____
ZIP CODE: 87107

ARCHITECT: CARLAW BRYAN ARCHITECT.
ADDRESS: 2703 SAN MATEO
CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT. RAYNE
PHONE: 884-9699
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

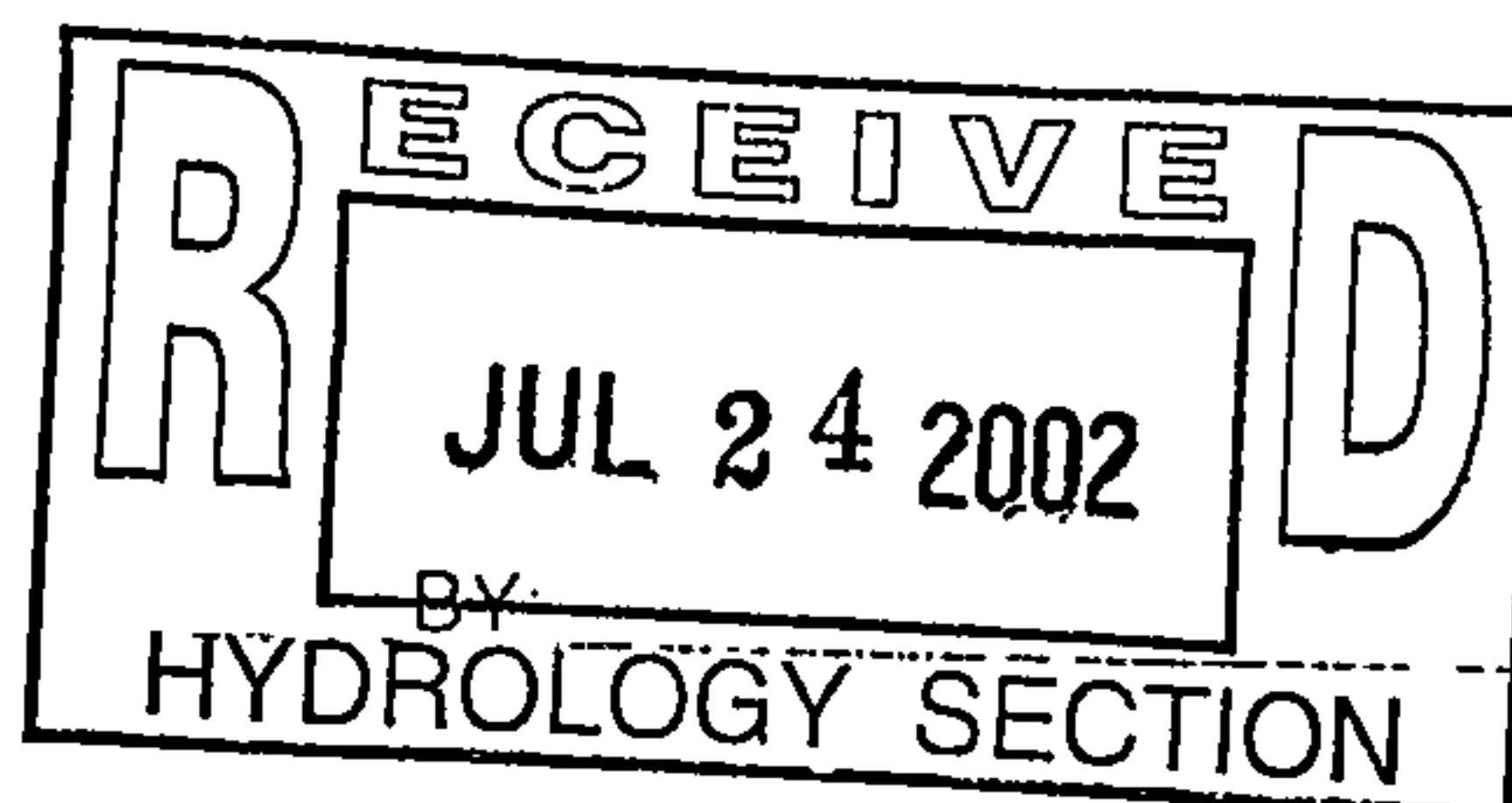
CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL: Add
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

MINOR SUBDIVISION AGREEMENT

Re: R.O.A. 1994

Subdivision Ordinance 14-14

I, LAUREANO MEDRANO, applicant for a building permit which is permissible only on the condition that a minor subdivision application be filed and approved by the Planning Department, hereby agree to make application for such a minor subdivision as soon as possible.

I understand that final zonal approval, which is necessary for a Certificate of Occupancy, will not be granted unless and until the minor subdivision has been approved. I further understand that in addition to the withholding of a Certificate of Occupancy, I am liable for court prosecution if I fail to obtain the minor subdivision.

Laureano Medrano
APPLICANT

(Property owner or legal representative)

122 Headingly Av. NW
Street Address

Albuquerque New Mex 87107
City State Zip

ADDRESS / LEGAL DESCRIPTION OF PROPERTY

LOT 36 & 37 BLOCK 13
MONTEBRIDGE ADDITION.

7-24-02
Date

APPROVED: Ellen Concini
Ellen Concini
Zoning Enforcement Officer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 25, 2002

Harold Bennett, P.E.
C J & L Assoc.
1324 Bernardino Dr NW
Albuquerque, New Mexico 87104

RE: MEDRANO CONCRETE, INC. (G-14/D69)
Grading and Drainage Plan For Building Permit Approval
ENGINEERS STAMP DATED 7/22/2002

Dear Mr. Bennett:

After reviewing the information provided in your submittal dated July 22, 2002, the grading and drainage plan has several deficiencies, and does not appear to meet the DPM Chapter 22 checklist for drainage submittal completeness. A more complete and detailed grading and drainage plan will need to be resubmitted for a more thorough review.

A few examples of the additional details that need to be included on your drainage plan:

- Need spot elevations or contours extending 25' beyond property lines.
- Existing and proposed elevations need to be identified and tied to actual mean sea level, not relative elevations as presented..
- A legend should be included.
- Property is identified as 2 lots (36 & 37); Is lot line eliminated? If not, need crosslot drainage easement.
- Where does runoff go, and is there capacity downstream.
- Show roof drainage flow direction on drainage plan.
- Offsite runoff, if any, should be addressed.

These items are by no means inclusive of all my comments. When the drainage plan is submitted, I will provide all comments to be addressed. Please refer to the DPM Chapter 22 Grading and Drainage Checklist (*Enclosed*) for the level of completeness necessary to begin a review from Hydrology.

If I can be of further assistance, please feel free to contact me at 924-3983.

Sincerely,

Bradley L. Bingham
Senior Civil Engineer- Hydrology
Development & Building. Ser. Division

c: drainage file

Chapter 22 - Drainage, Flood Control and Erosion Control

General Information:

1. Professional Engineer's stamp with signature and date.
2. Drafting Standards: (Reference City Standards, D.P.M. Volume 2, Chapter 27).
 - A. North Arrow
 - B. Scales - recommended engineer scales:
 - (1) 1" = 20' for sites less than 5 acres
 - (2) 1" = 50' for sites 5 acres or more
 - C. Legend - see D.P.M. Manual, Volume 2, Tables 27.3a - 27.3d for recommended standard symbols
 - D. Plan drawings size: 24" x 36"
 - E. Notes defining property line, asphalt paving, sidewalks, planting areas, ponding areas, project limits, and all other areas whose definition would increase clarity
3. Vicinity Map
4. Benchmark - location, description and elevation
 - A. Albuquerque control survey vertical datum
 - B. Permanently marked temporary benchmark located on or very near site
5. Flood Hazard Boundary Map (FHBM) or Flood Insurance Rate Map (FIRM)
6. Legal Description

EXISTING CONDITIONS

1. On-site:
 - A. Existing Contours - vertical intervals for contour maps shall not exceed the following:
 - (a) One foot intervals for slopes under 1% with sufficient spot elevations at key points to adequately show the site's topography
 - (b) Two feet for slopes between 1% and 5%
 - (c) Five feet for slopes in excess of 5%
 - B. Spot elevations adequately showing conditions on-site.
 - C. Contours and spot elevations extending a minimum of 25' beyond property line.
 - D. Identification of all existing structures located on-site or on adjacent property extending a minimum of 25' beyond property line with particular attention to retaining and garden walls.
 - E. Identification of all existing drainage facilities located on-site or on adjacent property.

Chapter 22 - Drainage, Flood Control and Erosion Control

- F. Pertinent elevation(s) of structures and facilities defined in A, B and C above with NGVD 29 designation. NGVD 29 is the vertical system on which ACS monuments are currently based. In the future, ACS monuments should be field converted to NAVD 88 at which time NAVD shall become "equivalent".
 - G. Indication of all existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown.
 - H. Existing City top of curb and flow line elevations with NGVD 29 designation, or equivalent.
 - I. The location of Special Flood Hazard Area Boundaries from the latest FEMA maps must be overlaid on the existing site map (enlarged to site plan scale), when applicable.
2. Off-site:
- A. Contributing Area - delineation of off-site contributing watersheds and/or drainage basins on City of Albuquerque Ortho-Topo Area Maps or equivalent mapping at a preferable scale of 1" = 200' or 1" = 500'. Watershed and Basin designations shall match those used in the hydrology calculations.
 - B. Existing easements and rights-of-way including ownership and purpose.

PROPOSED CONDITIONS

1. On-site:
- A. Proposed improvements superimposed onto the existing conditions
 - B. Proposed Grades
Proposed grades shall be adequately depicted by contours and/or spot elevations conforming with the following minimum criteria:
 - (1) Contours - vertical intervals for contour maps shall not exceed the following:
 - (a) One foot intervals for slopes under 1% (with supplemental spot elevations as appropriate to adequately illustrate the proposed grading of the site).
 - (b) Two feet for slopes between 1% and 5%.
 - (c) Five feet for slopes in excess of 5%.
 - (2) Spot Elevations - supply spot elevations at the following:
 - (a) Key points and grade breaks
 - (b) Critical locations
 - (c) Pad elevations
 - C. Indication of all proposed easements and rights-of-way on or adjacent to the site with dimensions and purpose identified.
 - D. City Engineer approved street and/or alley grades when site abuts a dedicated unpaved street or alley. In the event that approved grades are not available, provide preliminary street and/or alley grades.

Chapter 22 - Drainage, Flood Control and Erosion Control

- E. Internal contributory drainage areas, including roof areas, outlined on plan.
 - F. Flow lines defined by arrows and spot elevations with NGVD 29 designation, or equivalent, as appropriate for clarity.
 - G. Pond(s) 100 year water surface elevation outlined and indicated on plan.
 - H. Finish building floor elevation(s) or pad elevation(s) with complete NGVD 29 designation, or equivalent, when applicable.
 - I. Elevations along property lines including relationship to adjacent top of curb.
 - J. Details of ponds, inverts, rundowns, curb cuts, water blocks, emergency spillways, retaining walls, pond outlets, safety fences, slopes, and all other significant drainage structures with contours, cross-sections and spot elevations. All cross-sections must be drawn to a standard engineering scale and adequately dimensioned.
 - K. Phasing
 - L. Proposed construction of private storm drain improvements within public right-of-way and/or easement including identification of the public entity having ownership.
 - M. Proposed contours superimposed over existing contours adequately demonstrating changes in grade especially at the property line
 - N. Identification of any required offsite grading
 - O. Specifications for the proposed grading and/or soil compaction
2. Off-site:
- A. Definition, location, and configuration of required drainage facilities.
 - B. Rights-of-way and easements needed to accommodate (A) above

ENGINEER'S CERTIFICATION CHECKLIST FOR NON-SUBDIVISION

Use this checklist when certifying compliance with an approved drainage report or drainage plan for public, commercial and multi-residential buildings requiring a Certificate of Occupancy building permit or grading and paving projects. Engineer must revise the original drawing as approved with the following information which shall serve as minimum criteria for evaluation. This is merely a guide. The level of detail necessary for presentation and verification is a function of the specific plan being evaluated. The engineer's certification must be approved prior to the release of the issuance of a Certificate of Occupancy, or acceptance (by the City) of the completed work.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: MEDRANO CONCRETE

DRB #: _____ EPC#: _____

ZONE MAP/DRG. FILE #:

WORK ORDER#:

G-14/D69

LEGAL DESCRIPTION: LOT 36-37 BLOCK B MONKBRIDGE ADDITION

CITY ADDRESS: 122 HEADINGLY AVE N.W.

ENGINEERING FIRM: CJ:L. ASSOC.

ADDRESS: 1324 BERNARDINO DR. N.W.

CITY, STATE: ALBUQ. NM.

CONTACT: HAROLD BENNETT

PHONE: 266-3038

ZIP CODE: 87104

OWNER: LAURENO MEDRANO

ADDRESS: 148 HEADINGLY AVE. N.W.

CITY, STATE: ALBUQ. NM.

CONTACT: MEDRANO

PHONE: 343-9395

ZIP CODE: 87107

ARCHITECT: GARLAN BRYAN ARCHITECT

ADDRESS: 2403 SAN MATEO BLVD. N.E.

CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT RAYNER

PHONE: 884-9694

ZIP CODE: 87110

SURVEYOR: _____

ADDRESS _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: HUDSON DEV. CO.

ADDRESS: 1008 ESPEJO N.E.

CITY, STATE: ALBUQ. NM.

CONTACT: RICHARD HUDSON

PHONE: 293-3656

ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7/22/02

BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

G-14/D69

PROJECT TITLE: MEDRANO CONCRETE ZONE MAP/DRG. FILE #:
 DRB #: EPC#: WORK ORDER#:

LEGAL DESCRIPTION: LOT 36-37 BLOCK B MONKBRIDGE ADDITION
 CITY ADDRESS: 122 HEADINGLY AVE N.W.

ENGINEERING FIRM: CJ:L. ASSOC.
 ADDRESS: 1324 BERNARDINO DR. N.W.
 CITY, STATE: ALBUQ. NM.

CONTACT: HAROLD BENNETT
 PHONE: 266-3038
 ZIP CODE: 87104

OWNER: LAURENO MEDRANO
 ADDRESS: 148 HEADINGLY AVE. N.W.
 CITY, STATE: ALBUQ. NM.

CONTACT: MEDRANO
 PHONE: 343-9395
 ZIP CODE: 87107

ARCHITECT: GARLAN BRYAN ARCHITECT.
 ADDRESS: 2403 SAN MATEO BLVD. N.E.
 CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT RAYNER
 PHONE: 884-9694 M-379 3236
 ZIP CODE: 87110

SURVEYOR:
 ADDRESS:
 CITY, STATE:

CONTACT:
 PHONE:
 ZIP CODE:

CONTRACTOR: HUDSON DEV. CO.
 ADDRESS: 1008 ESPEJO N.E.
 CITY, STATE: ALBUQ. NM.

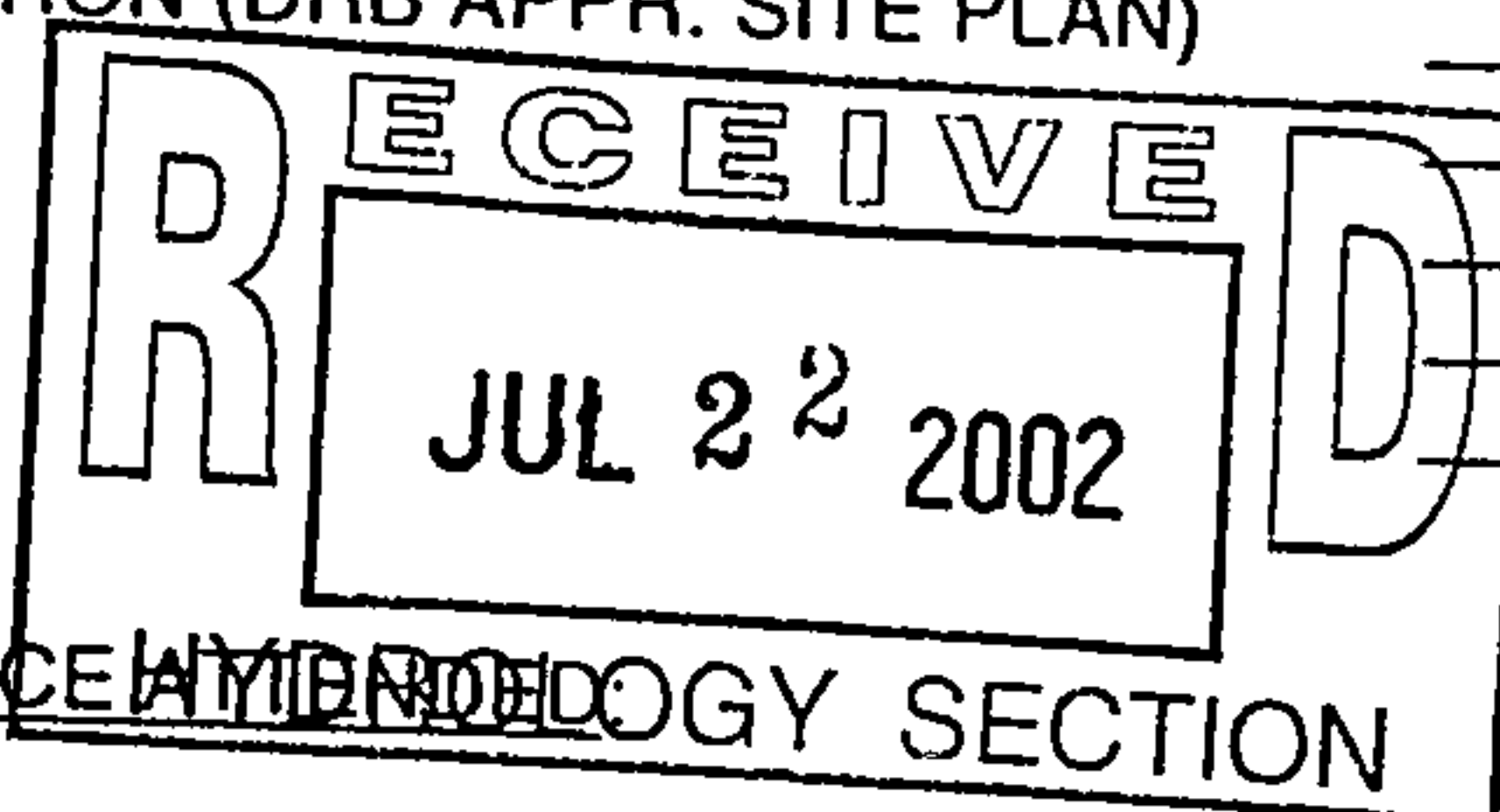
CONTACT: RICHARD HUDSON
 PHONE: 293-3656
 ZIP CODE: 87110

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE HYDROLOGY SECTION

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 7/22/02 BY: [Signature]

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7/29/02 - T.C.L. Rej'd ; 7/25/02 - CH Arch, L.M.M. ; ✓ - logged on letter incl.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

PROJECT TITLE: MEDRADO CONCRETE ZONE MAP/DRG. FILE #: G-15-2
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 36-37 BLOCK 13 MONKBRIDGE ADDITION
CITY ADDRESS: 122 HEADINGLY AVE. N.W. 87107

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: LAUREANO MEDRADO
ADDRESS: 122 HEADINGLY
CITY, STATE: ALBUQ. NM.

CONTACT: _____
PHONE: _____
ZIP CODE: 87107

ARCHITECT: CARLAN BRYAN ARCHITECT.
ADDRESS: 2103 SAN MATEO
CITY, STATE: ALBUQ. NM.

CONTACT: ROBERT RAYNE
PHONE: 884-9694
ZIP CODE: 87110

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL: ALL

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

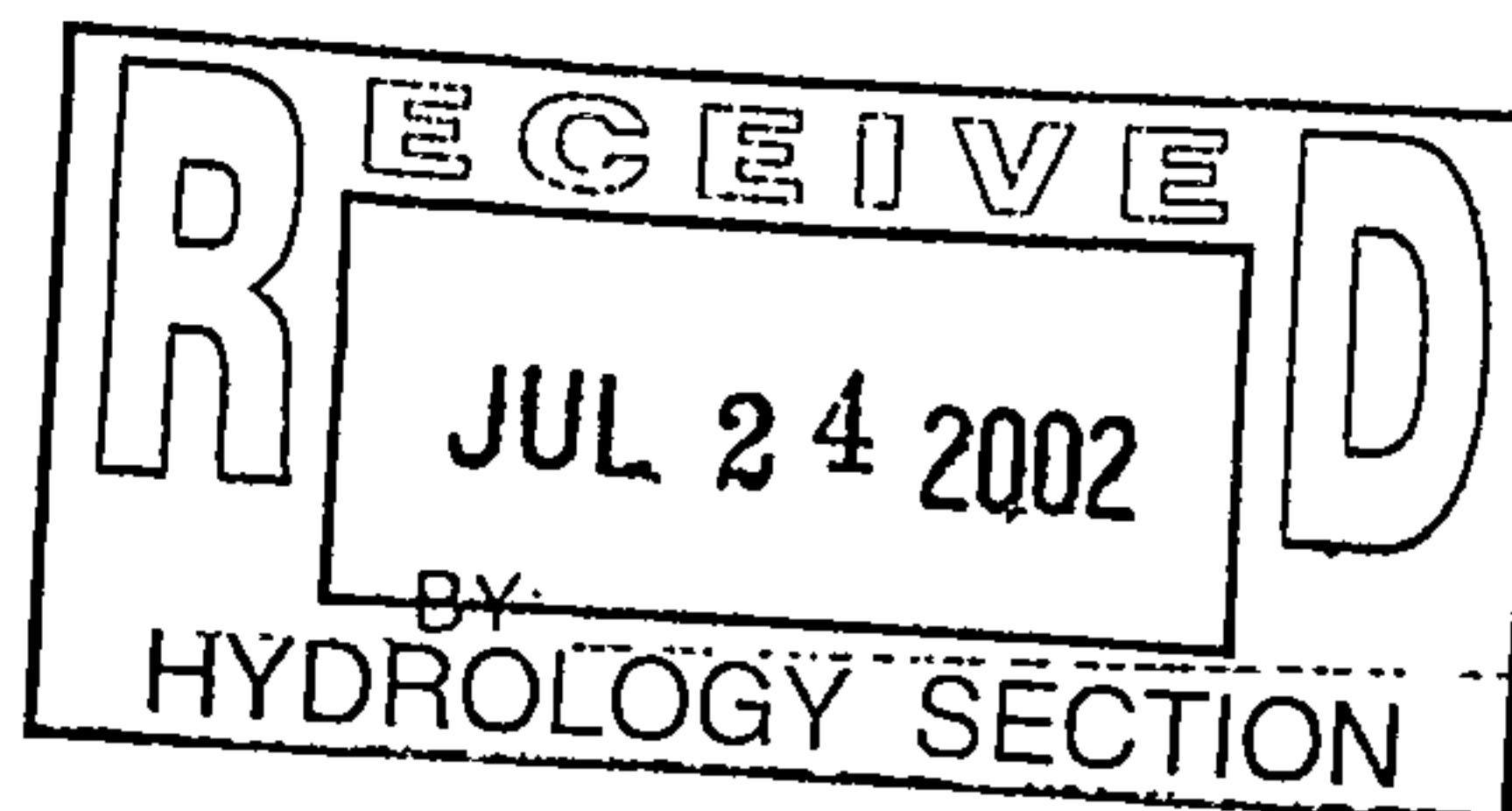
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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MINOR SUBDIVISION AGREEMENT

Re: R.O.A. 1994

Subdivision Ordinance 14-14

I, LAUREANO MEDRANO, applicant for a building permit which is permissible only on the condition that a minor subdivision application be filed and approved by the Planning Department, hereby agree to make application for such a minor subdivision as soon as possible.

I understand that final zonal approval, which is necessary for a Certificate of Occupancy, will not be granted unless and until the minor subdivision has been approved. I further understand that in addition to the withholding of a Certificate of Occupancy, I am liable for court prosecution if I fail to obtain the minor subdivision.

Laureano Medrano
APPLICANT

(Property owner or legal representative)

122 Headingly Av. NW
Street Address

Albuquerque New Mex 87107
City State Zip

ADDRESS / LEGAL DESCRIPTION OF PROPERTY

LOT 36 & 37 BLOCK 13
WONKBRIDGE ADDITION.

7-24-02
Date

APPROVED: Ellen Concini
Ellen Concini
Zoning Enforcement Officer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

July 24, 2002

Robert Rayner for Garlan D. Bryan, Reg. Architect
Garlan Bryan Architect
2403 San Mateo Blvd. N.E.
Albuquerque, NM 87110

Re: TCL Submittal for Building Permit Approval for
Medrano Concrete Office/Warehouse
122 Headingly Ave. N.E., [G-14 / D069]
Architect's Stamp Dated 07/22/02

Dear Mr. Rayner:

The location referenced above, dated July 22, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached, completed PRELIMINARY TCL checklist, and red-lined TCL markup with comments.

The copy of the Minor Subdivision Agreement submitted has been received by this office. A copy of the replat for this lot, recorded with the County Clerk's Office, must be submitted to this office prior to the Certification for Final C.O.

Enclosed is a copy of an incomplete checklist and an excerpt package from the Development Process Manual (DPM), Chapter 23, Sections 6 & 7, concerning Transportation requirements for commercial development. Use this as a guide for future submittals.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with this letter, checklist and red lined, marked up copy.

Sincerely,



Mike Zamora, Commercial Plan Checker
Development and Building Services
Planning Department

c: Engineer
Hydrology file
Mike Zamora

U 11:11

7-3-01

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

D.P.M. - DEVELOPMENT PROCESS MANUAL

I. General Information:

- A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
 - 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - 2. Address and legal description or copy of current plat
 - 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - 5. Size of development
 - 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan
 - 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - a. General project location
 - b. Development concept for the site - *Rear of Site is for what?*
 - c. Traffic circulation concept for the site - *including largest truck - (Design Vehicle)*
 - d. Impact on the adjacent sites
 - e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - f. Variance required to accommodate unusual site constraints

✓ - ITEM IS ACCEPTABLE

② - ITEM NEEDS COMPLETION

3. - N/A

4. - ITEM IN THE SUBSECTION NEEDS COMPLETION OR DESIGNER MIGHT CONSIDER THE ITEM ONCE MORE. 7/29/01

122 Headricky NW - Medina Concrete

II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
1. North Arrow
 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 4. Plan drawings size: 24" x 36"
 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site
 - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) *including street sidewalk*
- D. Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - b. Slopes
 - (1) Parking areas 1% min to 8% max
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - ~~(3) Handicap parking 1% min to 2% max~~
 - ~~(4) Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building~~
 - c. Clearly delineate project phasing. A key map is recommended.
 - d. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1)

e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- (2) Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - (a) Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - (c) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- (4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- (5) Sidewalk connections:
 - (a) ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
 - (b) Provide a mini 5' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- (8) Service Areas:
 - (a) Circulation:
 - (1) Design vehicle route needs to be shown
 - (2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - (b) No backing into or from public street allowed
 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - (d) Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'

For future
reference