

## LEGAL DESCRIPTION

LOTS 36 & 37, BLK. 13, MONKBRIDGE ADDITION, LOCATED ON 122 HEADINGLY AVE, EAST OF 2ND ST. NW, ALBUQUERQUE, NM.

## GRADING AND DRAINAGE

THE EXISTING LOTS 36 & 37, BLK. 13, MONKBRIDGE ADDITION, LOCATED ON HEADINGLY AVE, EAST OF 2ND ST. NW, ALBUQUERQUE, NM. THEY ARE PRESENTLY GRAVELED AND ARE USED BY MEDRANO CONCRETE INC. AS A PARKING AREA FOR TRUCKS. THE AREA HAS BEEN FILLED & GRADED AND SLOPES TO DRAIN TO THE NORTH INTO HEADINGLY AVE.. THERE IS NO OFF SITE FLOW ONTO THE SITE. THE SOUTH 1/3 OF THE SITE WILL REMAIN AS IS. THE REMAINDER WILL BE DEVELOPED. THE DRIVE WAY WILL BE RECONSTRUCTED TO ALBUQ. CITY STANDARDS. THERE IS A CURB & GUTTER DRAIN 90' TO THE WEST OF THE DRIVEWAY.

PRECIPITATION ZONE 2	
DESIGN STORM	
P60	2.01
P360	2.35
P1440	2.75
P4 DAYS	3.30
P10 DAYS	3.95
$P_{606-2} = 0.011 + 0.942 \frac{(2.35)^2}{2.75}$	
$P_{12} = 0.5024 (2.01)$	

ORIGINAL LOT 100% (C) 16,000 SF  
LANDSCAPE AREA (B) 2,295 SF  
IMPERVIOUS AREA (D) 886 SF  
COMPACTED GRAVEL (C) 14,228 SF

## DRAINAGE CALCULATIONS

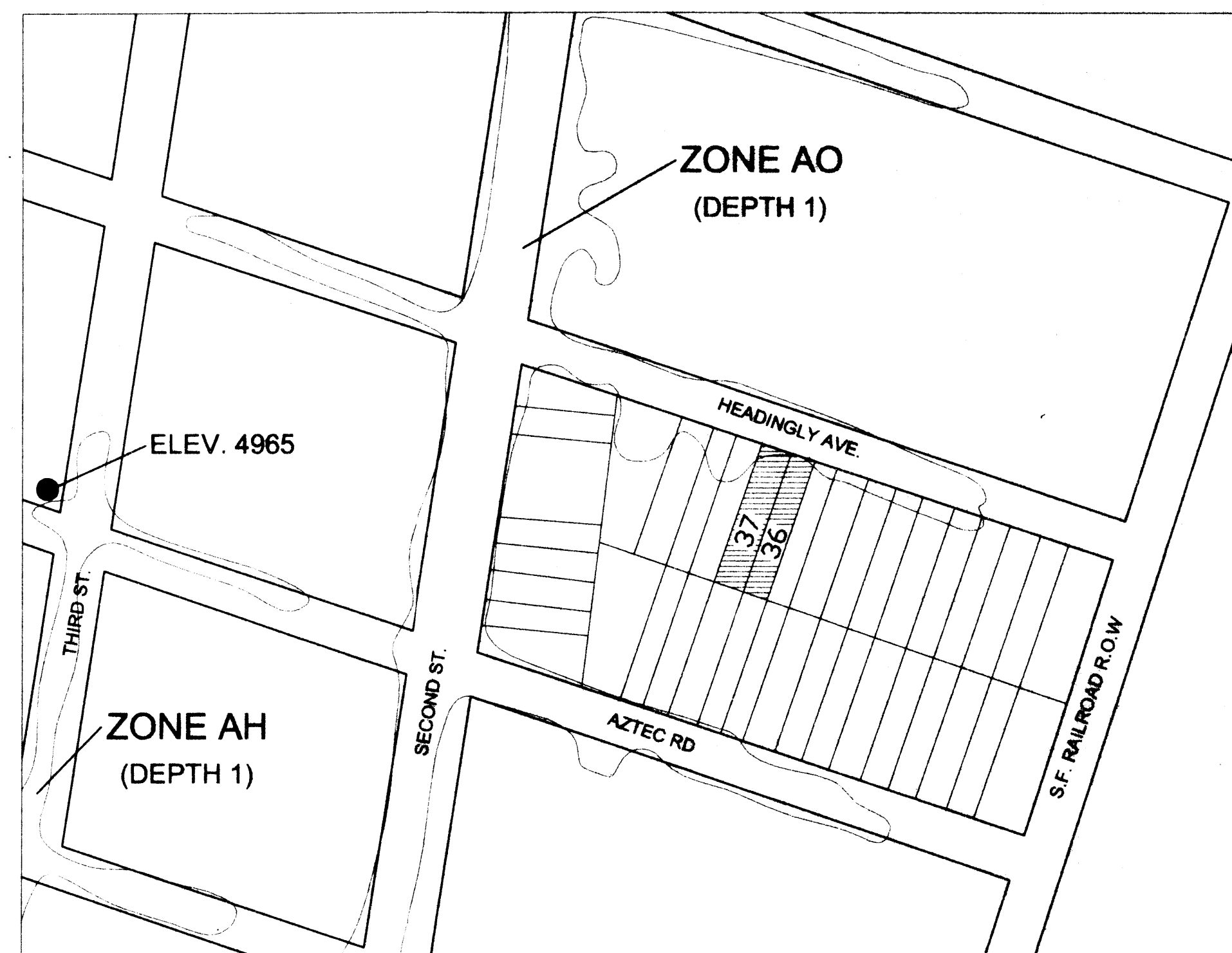
TOTAL LOT AREA	16,000 S.F.
ROOF AREA	1,989 S.F.
CONCRETE AREA	906 S.F.
PARKING AREA	5,123 S.F.
LANDSCAPE AREA	2,295 S.F.

## BENCHMARK

REFERRED AND CHECKED AT FIRE HYDRANT FLANGE RING ON HEADINGLY AVE. N.W. AS INDICATED ON PLAN  
ELEVATION OF FLANGE RING 4966.00 M.S.L

## LEGEND

	NEW	EXISTING
UNDERGROUND ELECTRIC	---	---
BLOCK WALL	---	---
CHAIN LINK FENCE	---	---
FIELD FENCE	---	---
CONTOUR LINES	---	---
SIDE SLOPE	---	---
SWALE	---	---
SPOT ELEVATIONS	---	---
RIGHT OF WAY LINES	---	---
PROPERTY LINES (SIDE)	---	---
PUBLIC EASMENTS	---	---
SUBDIVISION BOUNDRIES	---	---
PROJECT BOUNDRIES	---	---
WATER PRESSURE ZONE	---	---
FIRE HYDRANT	---	---
LINE OF FLOW	---	---



## FLOOD INSURANCE RATE MAP (FIRM)

PANEL 338 E-1

N.T.S

## EROSION CONTROL MEASURES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE/SHE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMP. BERMS, DIKES, SWALES AND OTHER TEMP. GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
- ADJACENT PUBLIC RIGHT OF WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS

## EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS .375 ACRES AND IS LOCATED EAST OF 2ND ST. N.W. AND WEST OF THE S.F. RAILROAD RIGHT OF WAY. THE SITE HAS BEEN GRADED TO DRAIN FROM SOUTH TO NORTH. ACCORDING TO THE FLOOD INSURANCE RATE MAP DATED SEPTEMBER 20, 1996, THE SITE IS LOCATED WITHIN A DESIGNATED FLOOD ZONE. FINISH FLOOR SHALL BE 2' ABOVE FLOOD ELEVATION.

## PROPOSED CONDITIONS

- THE SITE IS .387 ACRES OF SOIL COVERED BY A 4" LAYER OF GRAVEL. NO EROSION SHOULD OCCUR UPON COMPLETION OF THE PROJECT.
- NO ON SITE RUN-OFF WILL BE COLLECTED, AND DRAIN INTO THE ON STREET DRAIN ALONG THE NORTH SIDE OF THE SITE.
- THE SITE IS TO BE GRADED SO THAT ALL THE DRAINAGE FROM THE BUILDING AND THE PARKING AREAS ON THE WEST SIDE OF THE SITE SHALL BE DIRECTED TO DRAIN TO THE NORTH SIDE OF THE SITE INTO HEADINGLY AVE. ON THE NORTH SIDE OF THE SITE INTO EXISTING STORM DRAIN.

## DRAINAGE CERTIFICATION BY ENGINEER OF RECORD

I, HAROLD L. BENNETT PE, NMPE # 10776, OF THE FIRM C.J.L. ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-15-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE LOT WAS SURVEYED BY ANDREW MEDINA, PLS 12649, ON 2-24-03.

## EXCEPTIONS AND/OR QUALIFICATIONS:

## DEFICIENCIES AND/OR CORRECTIONS:

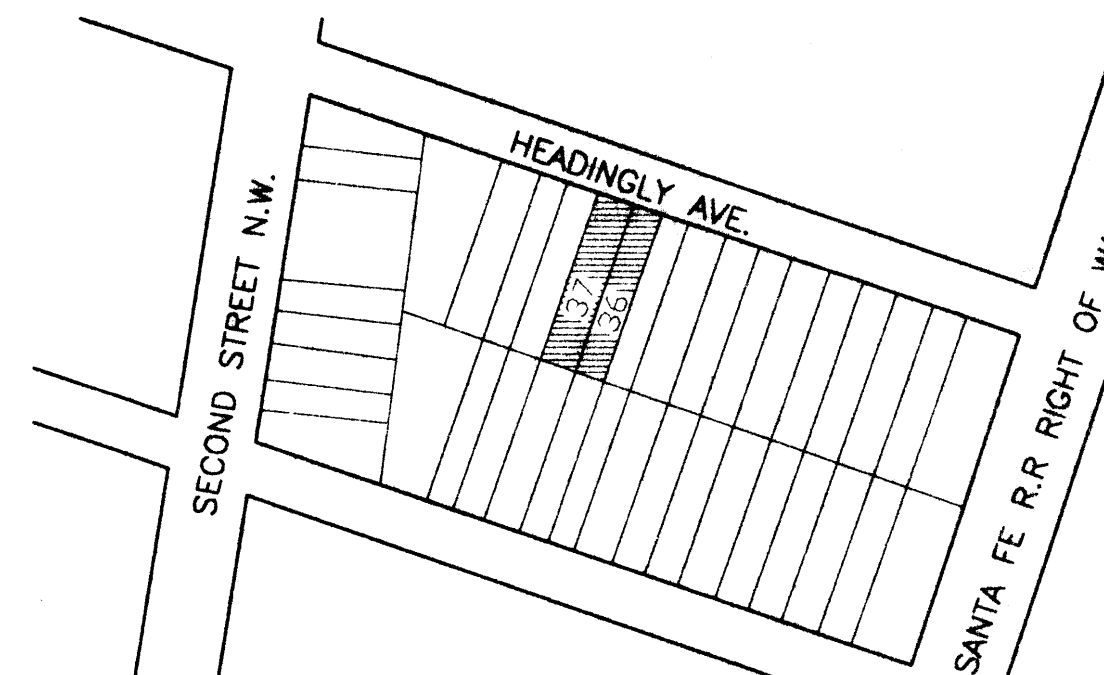
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE 2-19-09

SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD.

ZONE AH- FLOOD DEPTHS OF 1-3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED.

ZONE AO- FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.



## VICINITY MAP

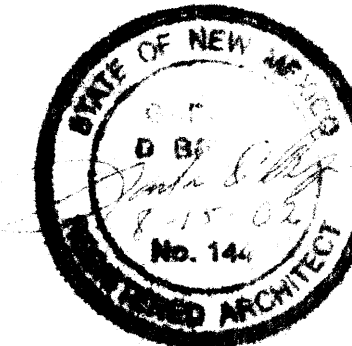
G-14

N.T.S

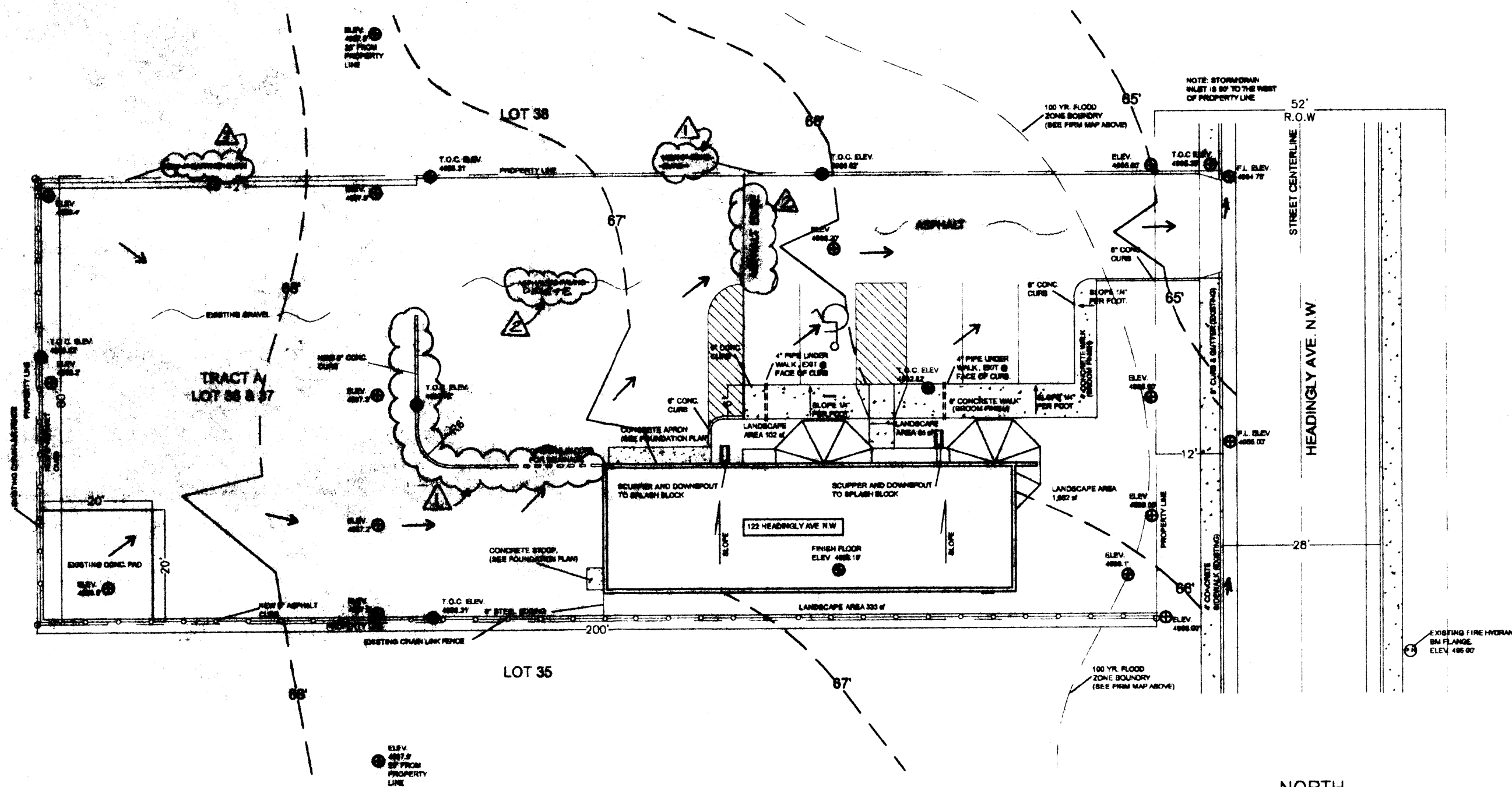


- DELETE CONCRETE CURB 12/15/02
- PUSH EDGE OF ASPHALT TO NORTH AS SHOWN 12/15/02
- DELETE EARTHEN BURM 12/15/02

MEDRANO CONCRETE INC.		DATE 08-01-02	
garlan bryan, architect 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO			
C-2		GRADING & DRAINAGE	







GRADING & DRAINAGE PLAN

SCALE: 1" = 20'

# LEGEND

	NEW	EXISTING
UNDERGROUND ELECTRIC	---	---
BLOCK WALL	---	---
CHAIN LINK FENCE	---	---
FIELD FENCE	---	---
CONTOUR LINES	---	---
SIDE SLOPE	---	---
SWALE	---	---
SPOT ELEVATIONS	---	---
RIGHT OF WAY LINES	---	---
PROPERTY LINES (SIDE)	---	---
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PANEL 338 E-1

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### PRECIPITATION ZONE 2

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### EXISTING PRECIPITATION PEAK DISCHARGE

TREATMENT A	0.53 IN.	1.56 CFS/AC
TREATMENT B	0.78 IN.	2.28 CFS/AC
TREATMENT C	1.13 IN.	3.14 CFS/AC
TREATMENT D	2.12 IN.	4.07 CFS/AC

### EXISTING CONDITIONS PROPOSED CONDITIONS

TREATMENT A	0	0
TREATMENT B	0	.04 AC
TREATMENT C	0	.32 AC
TREATMENT D	.037 AC	.01 AC

### EXISTING EXCESS PRECIPITATION

$$\text{WEIGHTED E} = 2.12(.37)/.37 = 2.12 \text{ INCHES}$$

$$\text{VOLUME} = 2.12 \times .37/12 = .07 \text{ AC.FT.}$$

### EXISTING PEAK DISCHARGE

$$Q_{100} = 4.07 \times 0.37 = 1.50 \text{ C.F.S.}$$

### PROPOSED PEAK DISCHARGE

$$\text{WEIGHTED E} = .53(0) + .78(.04) + 1.38(.32) + 2.12(.01)/.37 = 1.33 \text{ C.F.S.}$$

$$V_{100} = (1.33)(.37)/12 = .04 \text{ AC.FT.} = 1,742 \text{ C.F.S.}$$

$$V_{144} = (.04)(.37)(2.75 - 2.35)/12 = 217 \text{ C.F.S.}$$

$$V_{10 \text{ DAY}} = (.04)(.37)(3.30 - 2.35)/12 = 52 \text{ C.F.S.}$$

## GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM INFORMATION PROVIDED BY EXISTING PLANS, AND THIS INFORMATION MAY INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY FOR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT OF WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMP. BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

## EROSION CONTROL MEASURES

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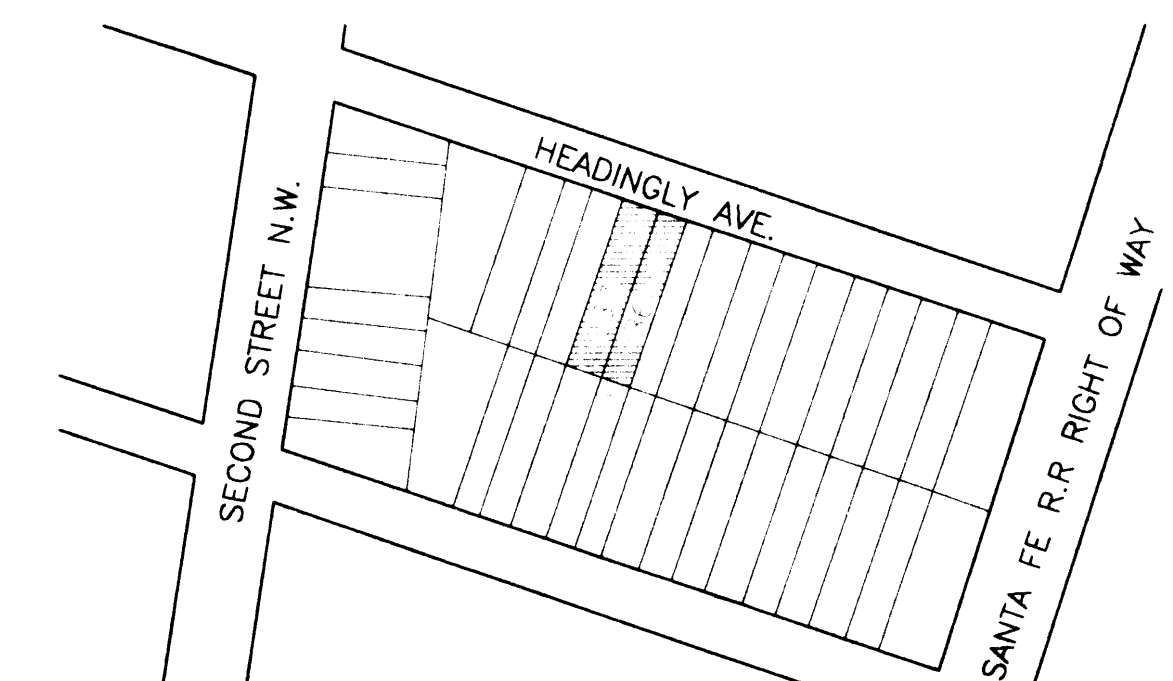
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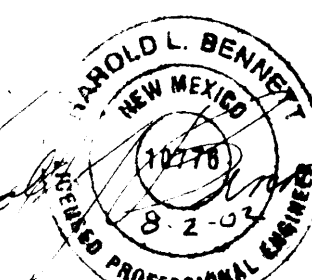
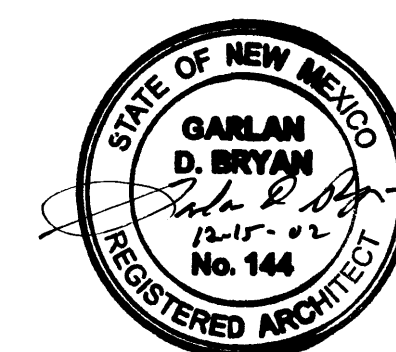
VICINITY MAP

G-14

N.T.S

- DELETE CONCRETE CURB. 12/15/02
- PUSH EDGE OF ASPHALT TO NORTH AS SHOWN 12/15/02
- DELETE EARTHEN BURN. 12/15/02

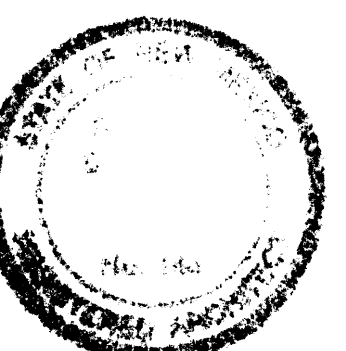
MEDRANO CONCRETE INC.



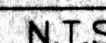
GARLAN BRYAN, ARCHITECT  
2403 SAN MATEO BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

G-2

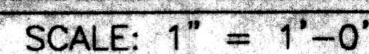
GRADING & DRAINAGE



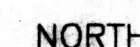




SCALE: 1" = 1'-0"

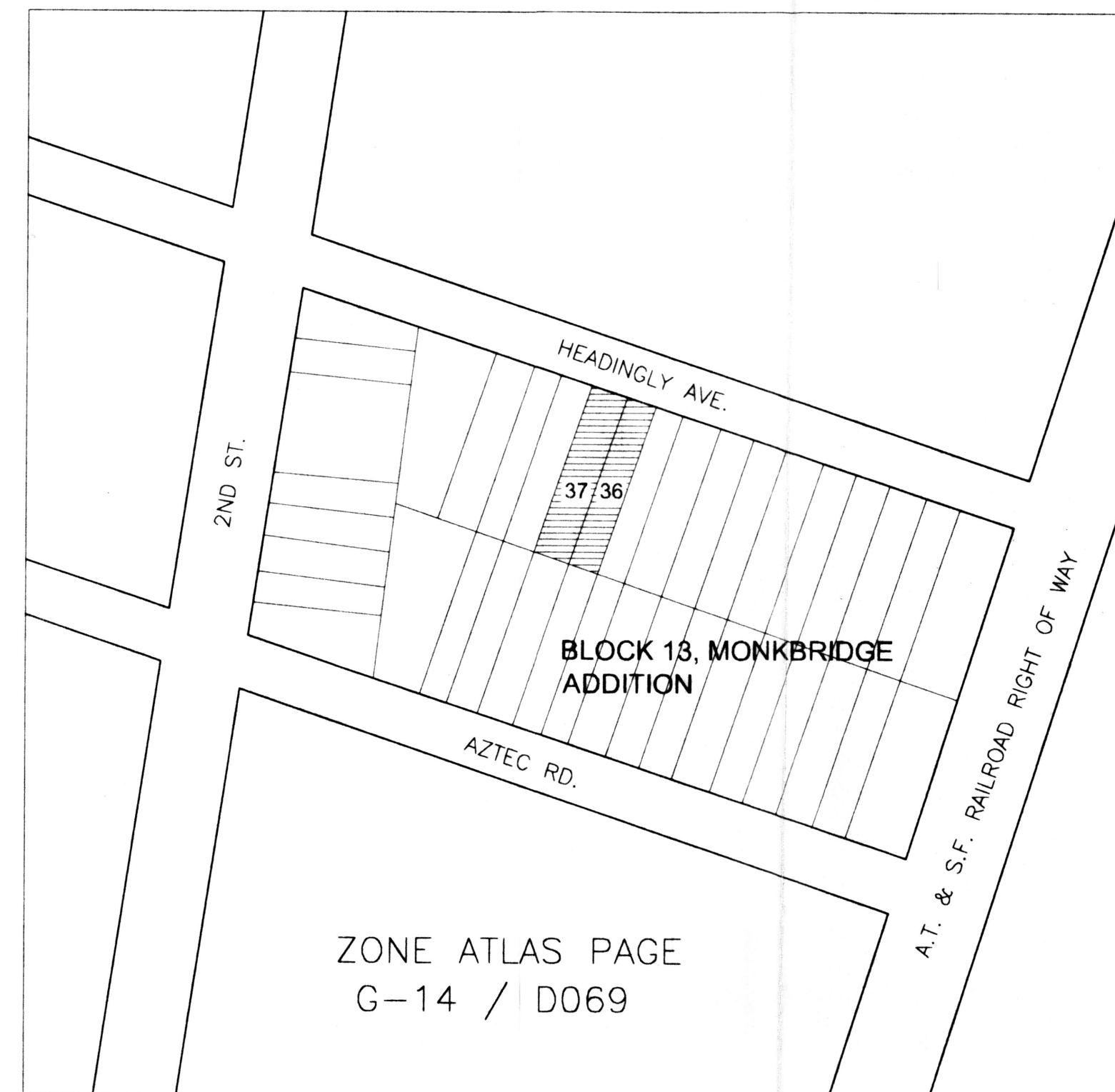


1. 4" CONCRETE SIDEWALK (EXISTING)
2. EXISTING DRIVE PAD TO BE REPLACED WITH NEW 4" CONCRETE SIDEWALK
3. EXISTING CONCRETE CURB & GUTTER
4. EXISTING DRIVE PAD.
5. ~~NEW 4" CONCRETE CURB~~  $\Delta$  15' <sup>15' 0"</sup>
6. NEW TURN-DOWN SIDEWALK (SEE SECTION)
7. CONCRETE WALK (NEW) WITH BROOM FINISH AND 1/4" PER FOOT SLOPE.
8. TOOLED CONTROL JOINT.
9. RAMP, SEE DETAIL.
10. H.C. SIGN AWAY 10' CANSI A 117.1-1000.
11. NEW 4" STRIPING AS PER CITY STANDARDS.
12. NEW 6" ASPHALT CURB.
13. EXISTING CONCRETE PAD FOR TRASH RECEPTACLES.
14. ~~NEW 4" CONCRETE DRIVE DELFTS~~  $\Delta$  15' <sup>15' 0"</sup>
15. ~~REPLACE W/ NEW CURB FOR DRAINAGE~~  $\Delta$  15' <sup>15' 0"</sup>
16. 8" STEEL LANDSCAPE EDGING.
17. CONCRETE APRON, SEE FOUNDATION PLAN.



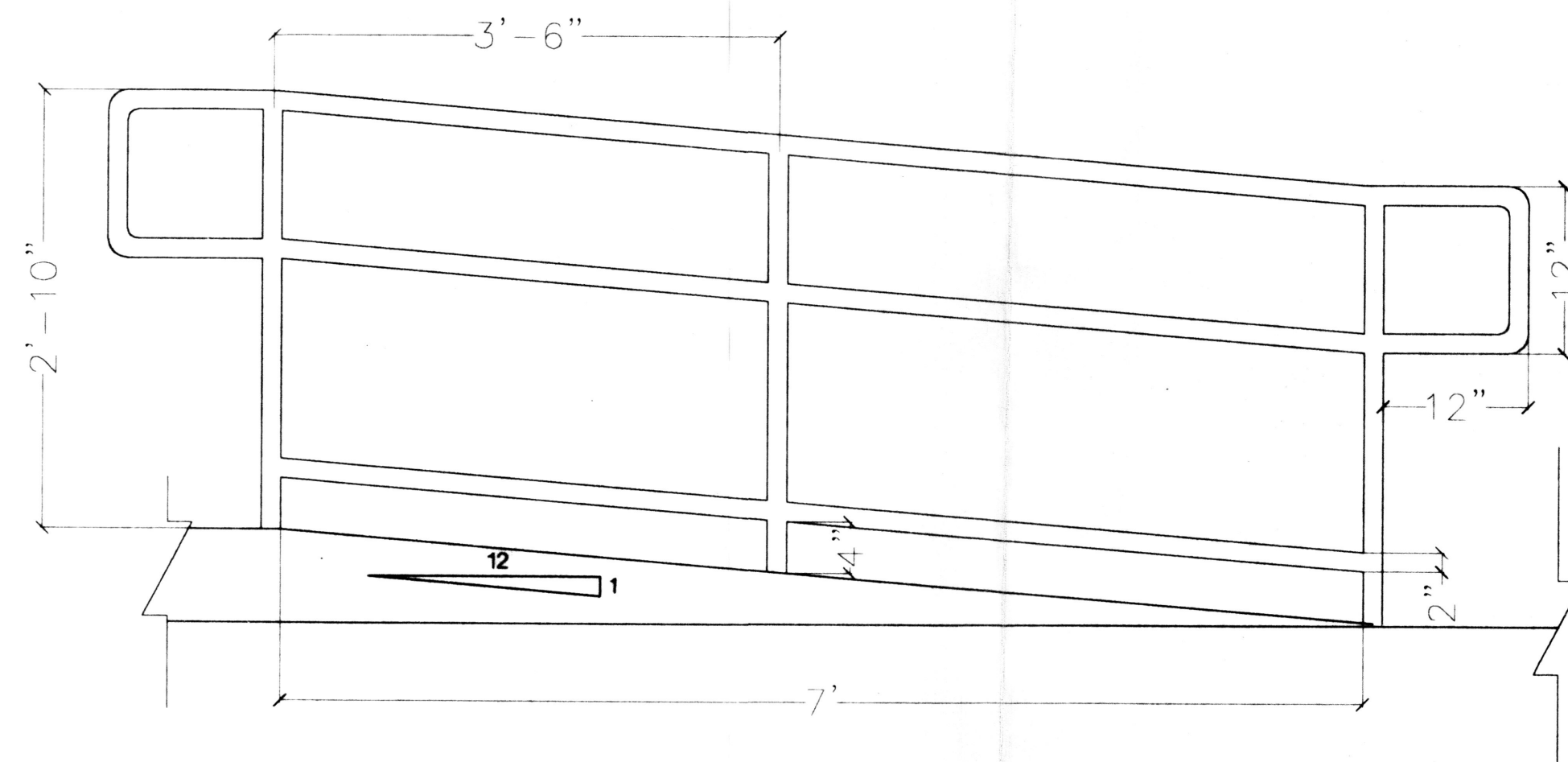
SCALE: 1" = 20'





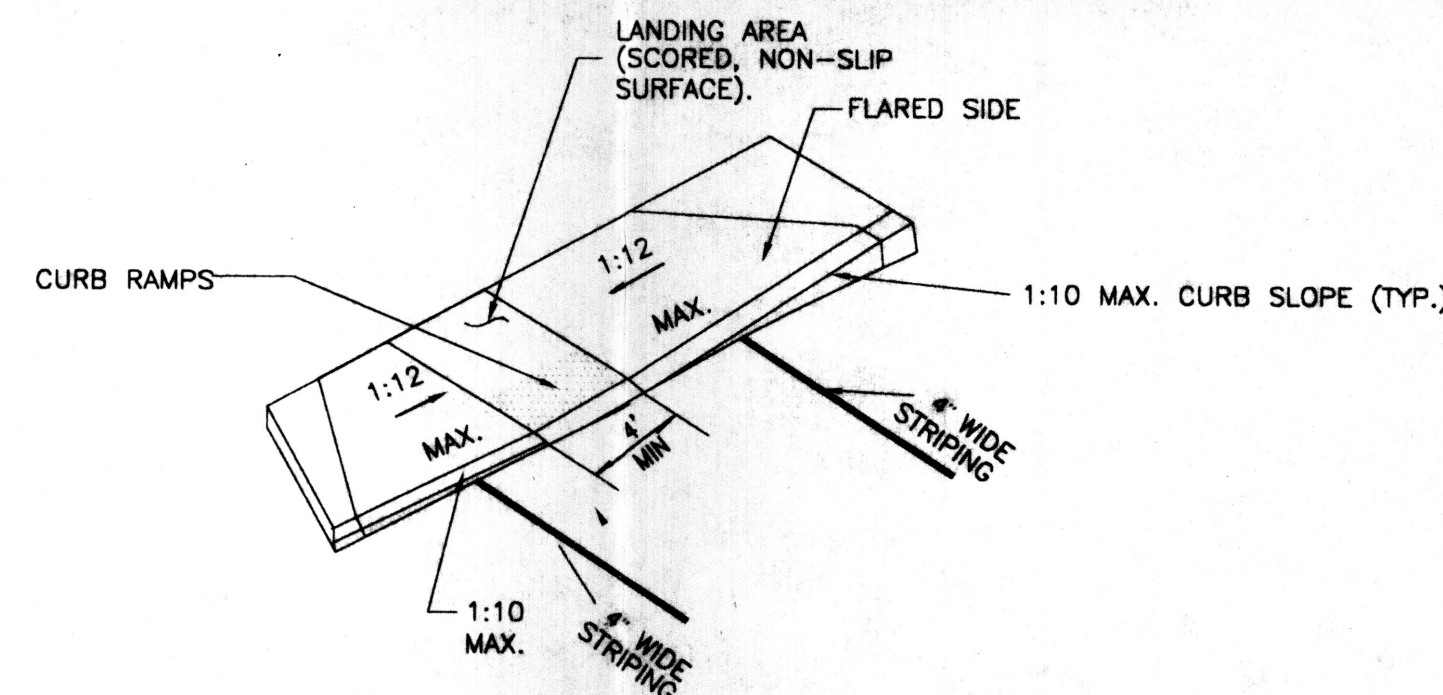
VICINITY MAP

N.T.S.



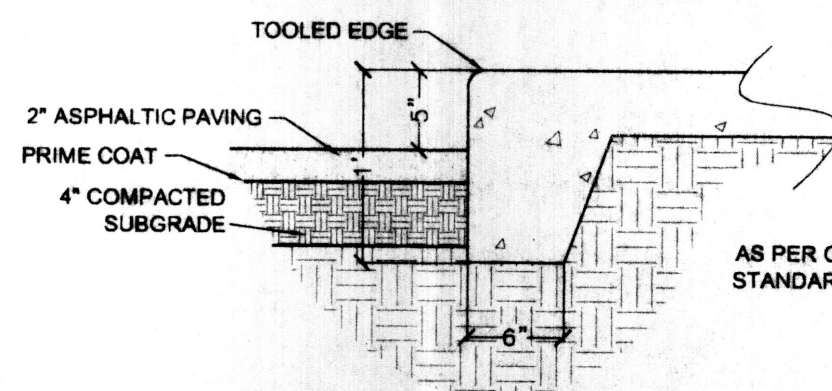
H.C. RAMP DETAIL

SCALE: 1" = 1'-0"



CURB RAMP DETAIL

N.T.S.



SECTION

SCALE: 1" = 1'-0"

# GENERAL NOTES:

1. PROVIDE PREMIS IDENTIFICATION CONSISTING OF 6" MIN NUMBERS ON A CONTRASTING IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD.
1. CONCRETE PAD ON REAR OF SITE WILL BE USED FOR TRASH RECEPTACLES. MUST BE INSPECTED BY SOLID WASTE AT TIME OF C.O.

## EXECUTIVE SUMMARY:

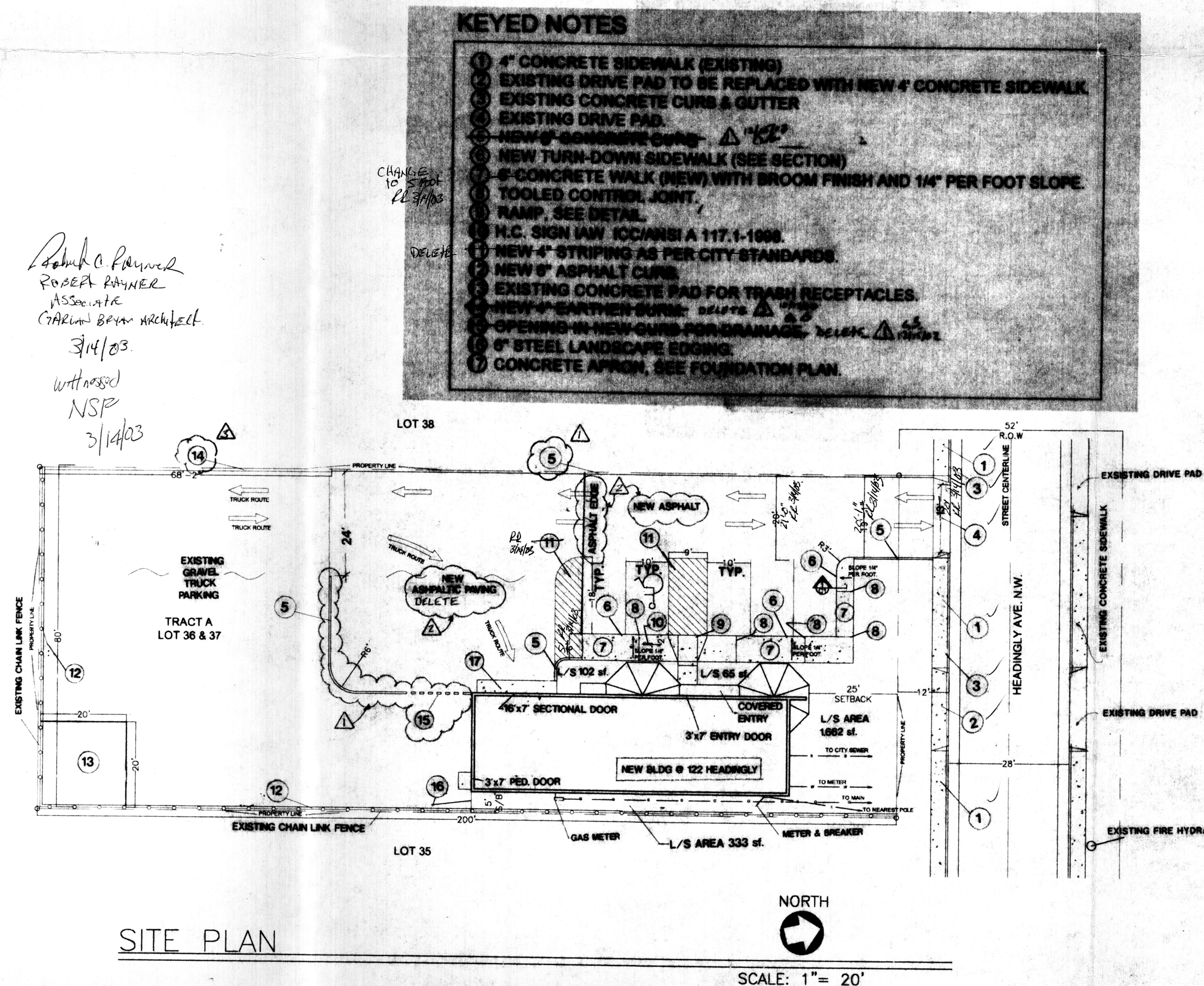
THE PROJECT LOCATION IS 122 HEADINGLY AVE. NW, LOTS 36 & 37, BLOCK 13 OF THE MONKBRIDGE ADDITION. WHICH IS EAST OF 2ND ST. NW. THE DEVELOPMENT CONCEPT IS A SMALL OFFICE BUILDING FOR MEDRANO CONCRETE INC. WITH AN ATTACHED GARAGE IN THE REAR FOR A PERSONAL VEHICLE. THE FRONT 2/3 OF THE LOT WILL BE DEVELOPED, WHILE THE REAR 1/3 OF THE LOT WILL RETAIN THE EXISTING GRAVEL. AND BE USED AS TRUCK PARKING. TRAFFIC CIRCULATION CONCEPT IS SUCH THAT THERE WILL BE PUBLIC OFF STREET PARKING TO THE WEST OF THE BUILDING, WITH ONE DRIVEPAD. IN ADDITION THERE IS ACCESS TO THE REAR OF THE SITE FOR THE TRUCK PARKING. LARGEST TRUCK ON SITE ON A REGULAR BASIS WOULD BE CONSIDERED A LARGE PICKUP TRUCK (3700 GVW) WITH A TURNING RADIUS OF 23'. THE PROJECT WILL NOT IMPACT THE ADJACENT SITES.

## PROJECT DATA:

PROJECT:	OFFICE BLDG & GARAGE. FOR MEDRANO CONCRETE INC.
ADDRESS:	LOT 35 & 36, BLK 13, MONKBRIDGE ADDITION ALBUQUERQUE, N.M. 87107
OWNER:	LAUREANO MEDRANO 148 HEADINGLY AVE. NW ALBUQUERQUE, NM 87107 TELEPHONE: (505) 343-9395
ARCHITECT:	GARLAN BRYAN, NM REG #144 2403 SAN MATEO BLVD. N.E. SUITE W-1 ALBUQUERQUE, NM. 87110 TELEPHONE (505) 884-9694
CONTRACTOR:	HUDSON DEV. CO. 1008 ESPEJO NE ALBUQUERQUE, NM 87112 TEL: 505-293-3656 LIC#: 026622
ZONING:	M-1
BUILDING CODE:	1997 NM BUILDING CODE 1997 UNIFORM BUILDING CODE
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-1998
SEISMIC ZONE:	II-B
CONSTRUCTION TYPE:	V-N
BUILDING AREA:	HEATED: 1,327 SQFT. GARAGE: 464 SQFT. TOTAL: 1,791 SQFT.
ALLOWABLE AREA:	8,000 SQFT.
BUILDING HEIGHT:	13'-11-3/4" SINGLE STORY
ALLOWABLE BLDG HEIGHT:	26.5 FT. SINGLE STORY
OCCUPANCY:	GROUP B OFFICE
OCCUPANT LOAD:	OFFICE & RELATED WORK AREAS = 906 S.F. TOTAL = 12 100 S.F. = 10 PERSONS.
PARKING:	TOILETS & CIRCULATION AREAS = 382 S.F. 0 S.F. = 0 PERSONS. STORAGE & MECHANICAL AREAS = 509 S.F. 300 S.F. = 2 PERSONS. REQUIRED = 4 SPACES +1 ACCESSIBLE SPACES PROVIDED = 4 SPACES +1 ACCESSIBLE SPACES
FIXTURE CALCULATIONS:	OCCUPANT LOAD: 12 / 2 = 6 WATER CLOSETS REQUIRED: 1'-15 PEOPLE LAVATORIES REQUIRED: 1 PER 2 WATER CLOSETS WATER CLOSETS PROVIDED: 3 LAVATORIES PROVIDED: 3

## DESIGN DATA:

SOIL BEARING PRESSURE: 1,000 P.S.F.  
CONCRETE, 3,000 PSI READY MIX  
ROOF LOADING, 20 P.S.F. L.L. + 20 P.S.F. SNOW LOAD  
LUMBER: ROOF FRAMING, PREFABRICATED WOOD TRUSSES.  
PROVIDE MANUFACTURERS STRUCTURAL CALCULATIONS FOR DESIGN.  
STUDS. & MISC. FRAMING, CONSTRUCTION GRADE, 975 Fb.



SITE PLAN

SCALE: 1" = 20'

RECEIVED

MAR 11 2003

HYDROLOGY SECTION

DELETE EARTHEN BURN 12/15/02

DELETE CONCRETE CURB 12/15/02

PUSH ASPHALT EDGE TO NORTH AS SHOWN 12/15/02

MEDRANO CONCRETE INC.

GARLAN BRYAN, ARCHITECT

2403 SAN MATEO BLVD. N.E.

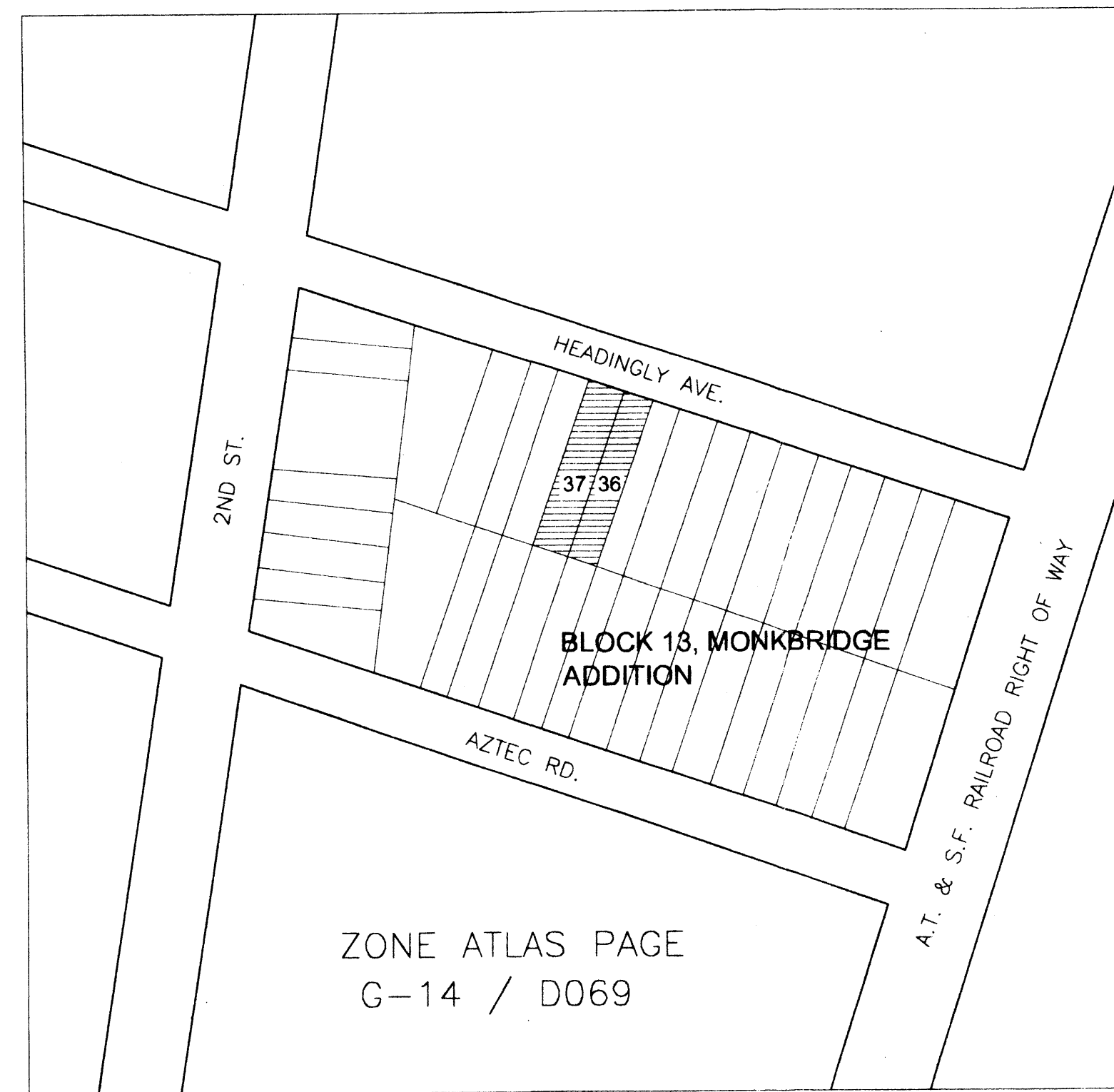
ALBUQUERQUE, NEW MEXICO

PROJECT DATA

SITE PLAN

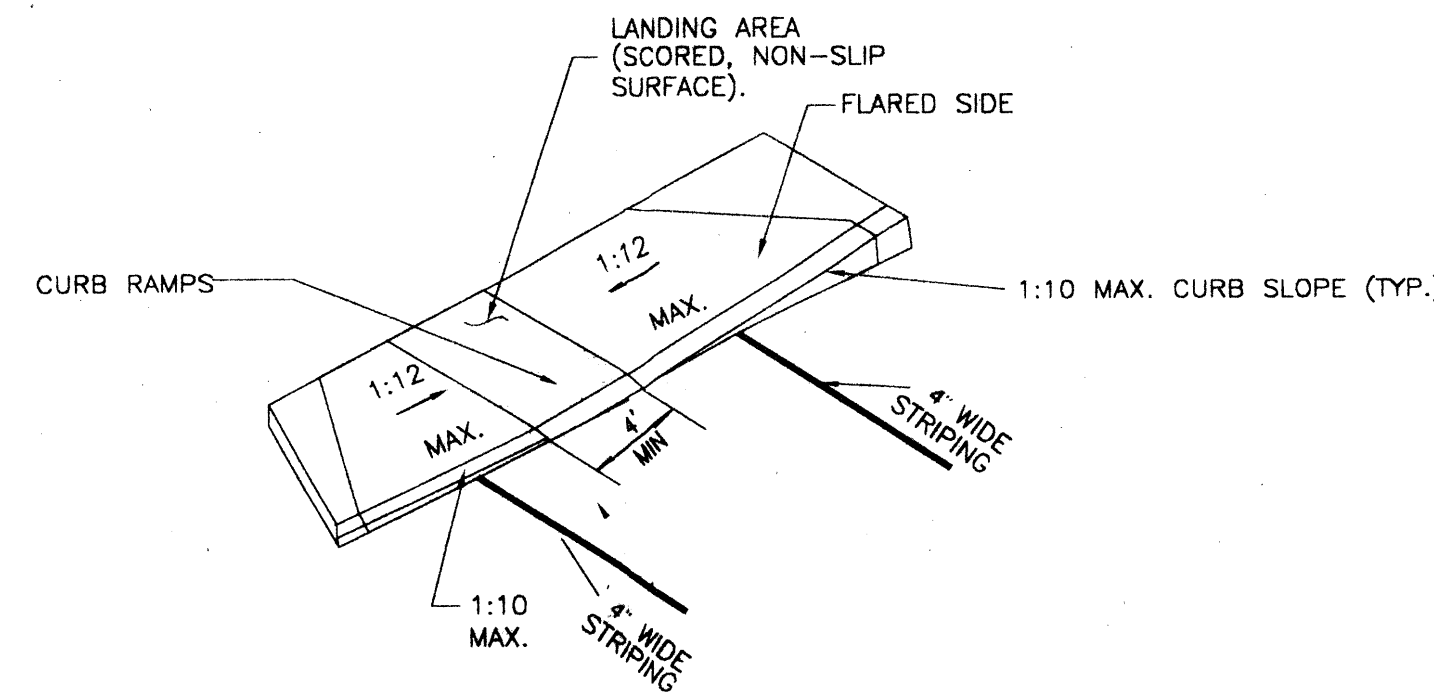
TRAFFIC





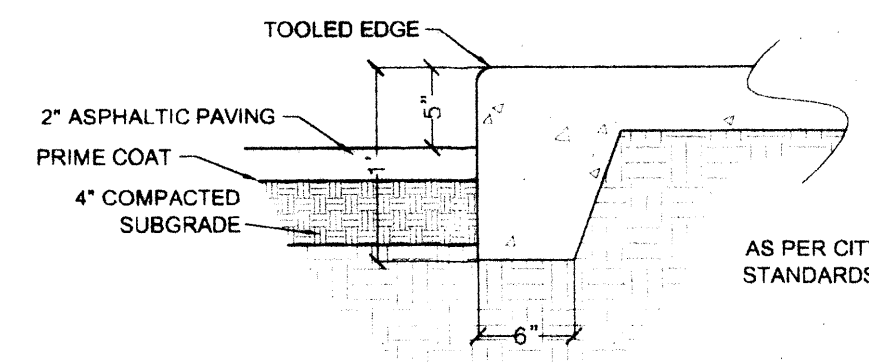
VICINITY MAP

N.T.S.



CURB RAMP DETAIL

N.T.S.



SECTION

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## GENERAL NOTES:

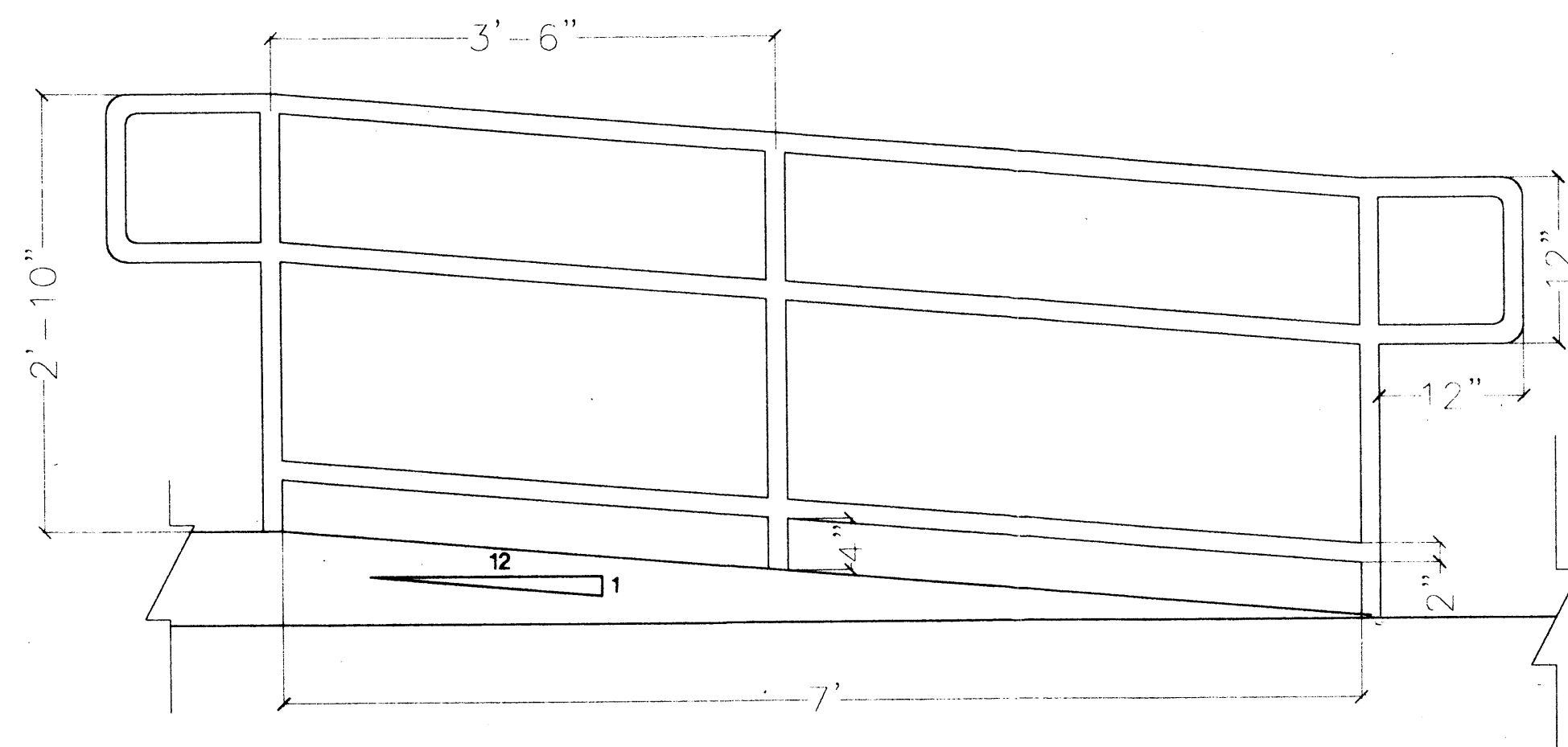
1. PROVIDE PREMIS IDENTIFICATION CONSISTING OF 6" MIN NUMBERS ON A CONTRASTING IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD.
1. CONCRETE PAD ON REAR OF SITE WILL BE USED FOR TRASH RECEPTACLES. MUST BE INSPECTED BY SOLID WASTE AT TIME OF C.O.

## EXECUTIVE SUMMARY:

THE PROJECT LOCATION IS 122 HEADINGLY AVE. NW, LOTS 36 & 37, BLOCK 13 OF THE MONKBRIDGE ADDITION. WHICH IS EAST OF 2ND ST. NW. THE DEVELOPMENT CONCEPT IS A SMALL OFFICE BUILDING FOR MEDRANO CONCRETE INC. WITH AN ATTACHED GARAGE IN THE REAR FOR A PERSONAL VEHICLE. THE FRONT 2/3 OF THE LOT WILL BE DEVELOPED, WHILE THE REAR 1/3 OF THE LOT WILL RETAIN THE EXISTING GRAVEL, AND BE USED AS TRUCK PARKING. TRAFFIC CIRCULATION CONCEPT IS SUCH THAT THERE WILL BE PUBLIC OFF STREET PARKING TO THE WEST OF THE BUILDING, WITH ONE DRIVEPAD. IN ADDITION THERE IS ACCESS TO THE REAR OF THE SITE FOR THE TRUCK PARKING. LARGEST TRUCK ON SITE ON A REGULAR BASIS WOULD BE CONSIDERED A LARGE PICKUP TRUCK (3700 GVW) WITH A TURNING RADIUS OF 23'. THE PROJECT WILL NOT IMPACT THE ADJACENT SITES.

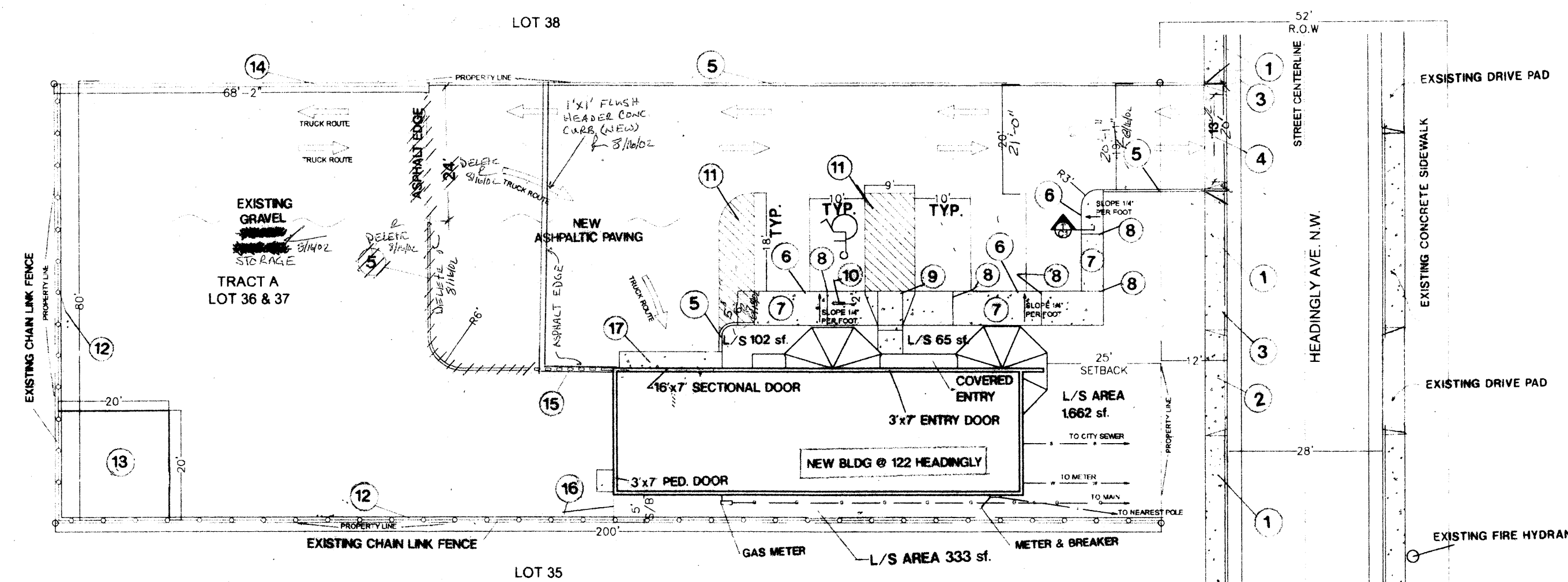
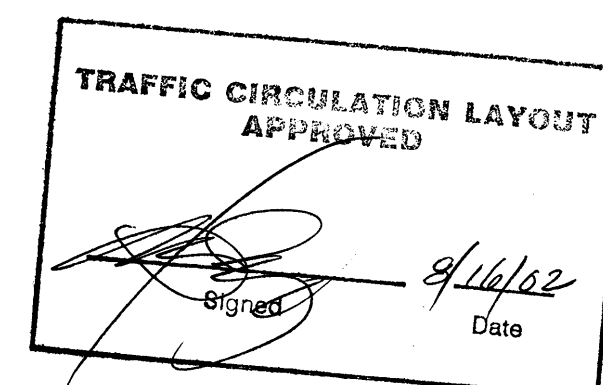
## KEYED NOTES

1. 4" CONCRETE SIDEWALK (EXISTING)
2. EXISTING DRIVE PAD TO BE REPLACED WITH NEW 4" CONCRETE SIDEWALK.
3. EXISTING CONCRETE CURB & GUTTER
4. EXISTING DRIVE PAD, TO BE RE-CONSTRUCTED PER C.O.A. STD. DETAIL DNG # 2425
5. NEW 6" CONCRETE CURB
6. NEW TURN-DOWN SIDEWALK (SEE SECTION)
7. 8" CONCRETE WALK (NEW) WITH BROOM FINISH AND 1/4" PER FOOT SLOPE.
8. TOOLED CONTROL JOINT.
9. RAMP, SEE DETAIL.
10. H.C. SIGN LAW ICC/ANSI A 117.1-1998.
11. NEW 4" STRIPING AS PER CITY STANDARDS.
12. NEW 6" ASPHALT CURB.
13. EXISTING CONCRETE PAD FOR TRASH RECEPTACLES.
14. NEW 4" EARTHEN BURN.
15. OPENING IN NEW CURB FOR DRAINAGE.
16. 8" STEEL LANDSCAPE EDGING.
17. CONCRETE APRON, SEE FOUNDATION PLAN.



H.C. RAMP DETAIL

SCALE: 1" = 1'-0"



SITE PLAN

NORTH

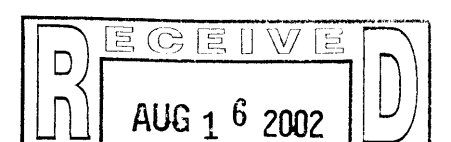
SCALE: 1" = 20'

## PROJECT DATA:

PROJECT:	OFFICE BLDG & GARAGE, FOR MEDRANO CONCRETE INC.
ADDRESS:	LOT 35 & 36, BLK 13, MONKBRIDGE ADDITION ALBUQUERQUE, N.M. 87107
OWNER:	LAUREANO MEDRANO 148 HEADINGLY AVE. NW ALBUQUERQUE, NM 87107 TELEPHONE: (505) 343-9395
ARCHITECT:	GARLAN BRYAN, NM REG #144 2403 SAN MATEO BLVD. N.E. SUITE W-1 ALBUQUERQUE, NM. 87110 TELEPHONE (505) 884-9694
CONTRACTOR:	HUDSON DEV. CO. 1008 ESPEJO NE ALBUQUERQUE, NM 87112 TEL: 505-293-3656 LIC#: 026622
ZONING:	M-1
BUILDING CODE:	1997 NM BUILDING CODE 1997 UNIFORM BUILDING CODE
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-1998
SEISMIC ZONE:	II-B
CONSTRUCTION TYPE:	V-N
BUILDING AREA:	HEATED: 1,327 SQFT. GARAGE: 464 SQFT. TOTAL: 1,791 SQFT.
ALLOWABLE AREA:	8,000 SQFT.
BUILDING HEIGHT:	13'-11-3/4" SINGLE STORY
ALLOWABLE BLDG HEIGHT:	26.5 FT. SINGLE STORY
OCCUPANCY:	GROUP B OFFICE
OCCUPANT LOAD:	OFFICE & RELATED WORK AREAS = 906 S.F. TOTAL = 12 @ 100 S.F. = 10 PERSONS.
PARKING:	TOILETS & CIRCULATION AREAS = 382 S.F. @ 0 S.F. = 0 PERSONS. STORAGE & MECHANICAL AREAS = 509 S.F. @ 300 S.F. = 2 PERSONS. REQUIRED = 4 SPACES +1 ACCESSIBLE SPACES PROVIDED = 4 SPACES +1 ACCESSIBLE SPACES
FIXTURE CALCULATIONS:	OCCUPANT LOAD: 12 / 2 = 6 WATER CLOSETS REQUIRED: 1:1-15 PEOPLE LAVATORIES REQUIRED: 1 PER 2 WATER CLOSETS WATER CLOSETS PROVIDED: 3 LAVATORIES PROVIDED: 3

## DESIGN DATA:

SOIL BEARING PRESSURE: 1,000 P.S.F.  
CONCRETE, 3,000 PSI READY MIX  
ROOF LOADING, 20 P.S.F. LL + 20 P.S.F. SNOW LOAD  
LUMBER: ROOF FRAMING, PREFABRICATED WOOD TRUSSES, PROVIDE MANUFACTURER'S STRUCTURAL CALCULATIONS FOR DESIGN.  
STUDS. & MISC. FRAMING, CONSTRUCTION GRADE, 975 Fb.



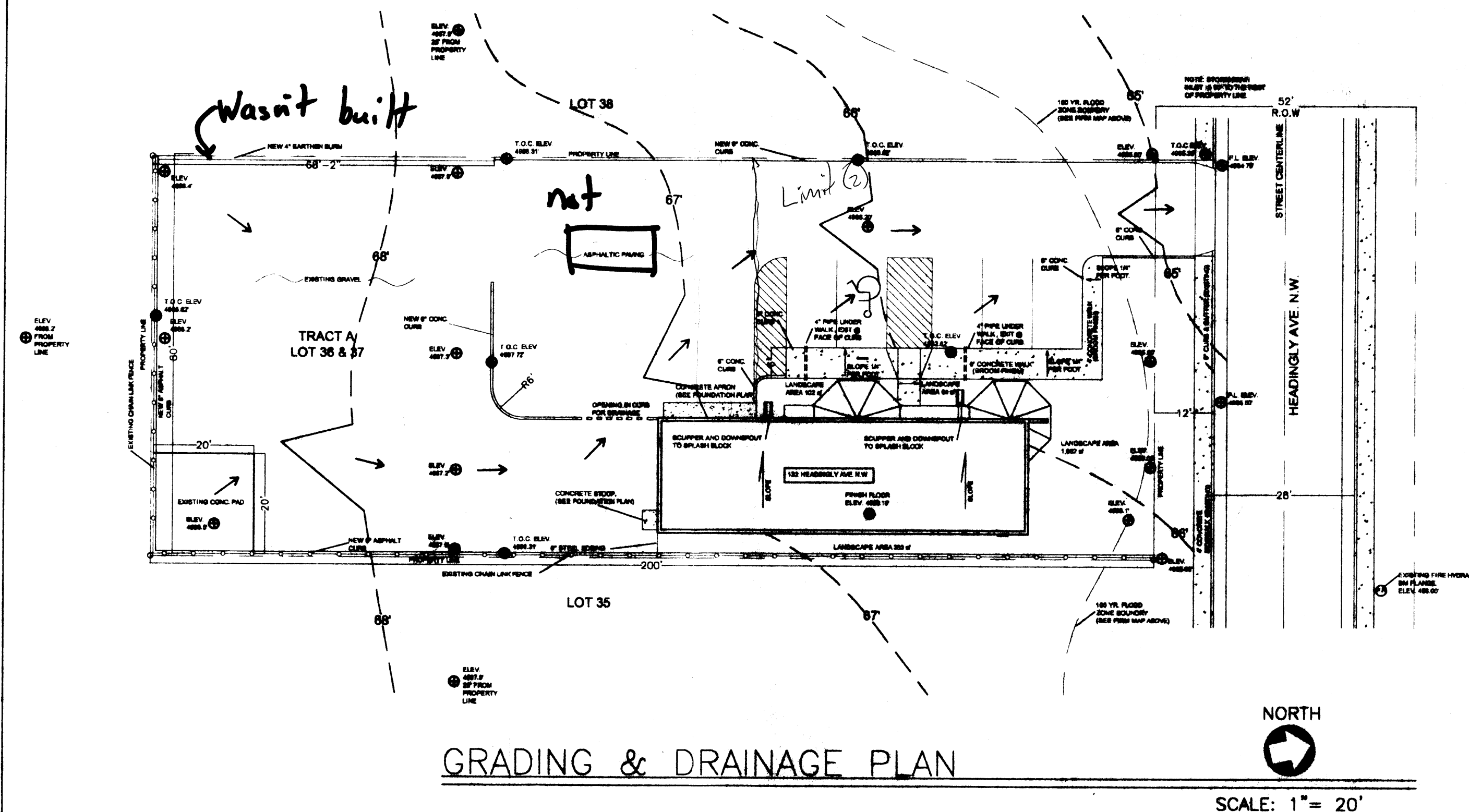
MEDRANO CONCRETE INC.	HYDROLOGY SECTION	DATE: 08-01-02
garlan bryan architect	GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO	PROJECT DATA SITE PLAN TRAFFIC











## LEGAL DESCRIPTION

LOTS 36 & 37, BLK. 13, MONKBRIDGE ADDITION, LOCATED ON 122 HEADINGLY AVE, EAST OF 2ND ST. NW, ALBUQUERQUE, NM.

## GRADING AND DRAINAGE

THE EXISTING LOTS 36 & 37, BLK. 13, MONKBRIDGE ADDITION, LOCATED ON HEADINGLY AVE, EAST OF 2ND ST. NW, ALBUQUERQUE, NM. THEY ARE PRESENTLY GRAVELED AND ARE USED BY MEDRANO CONCRETE INC. AS A PARKING AREA FOR TRUCKS. THE AREA HAS BEEN FILLED & GRADED AND SLOPES TO DRAIN TO THE NORTH INTO HEADINGLY AVE.. THERE IS NO OFF SITE FLOW ONTO THE SITE. THE SOUTH 1/3 OF THE SITE WILL REMAIN AS IS. THE REMAINDER WILL BE DEVELOPED. THE DRIVE WAY WILL BE RECONSTRUCTED TO ALBUQ. CITY STANDARDS. THERE IS A CURB & GUTTER DRAIN 90' TO THE WEST OF THE DRIVEWAY.

### PRECIPITATION ZONE 2

#### DESIGN STORM

P60	2.01
P360	2.35
P1440	2.75
P4 DAYS	3.30
P10 DAYS	3.95

$$P_{606-2} = 0.011 + 0.942 \frac{(2.35)^2}{2.75}$$

$$P_{12} = 0.5024 (2.01)$$

ORIGINAL LOT 100% (C) 16,000 SF  
LANDSCAPE AREA (B) 2,295 SF  
IMPERVIOUS AREA (D) 886 SF  
COMPACTED GRAVEL (C) 14,228 SF

## DRAINAGE CALCULATIONS

TOTAL LOT AREA	16,000 S.F.
ROOF AREA	1,989 S.F.
CONCRETE AREA	906 S.F.
PARKING AREA	5,123 S.F.
LANDSCAPE AREA	2,295 S.F.

## BENCHMARK

REFERRED AND CHECKED AT FIRE HYDRANT FLANGE RING ON HEADINGLY AVE. N.W. AS INDICATED ON PLAN  
ELEVATION OF FLANGE RING 4966.00 M.S.L.

### EXISTING PRECIPITATION PEAK DISCHARGE

TREATMENT A	0.53 IN.	1.56 CFS/AC
TREATMENT B	0.78 IN.	2.28 CFS/AC
TREATMENT C	1.13 IN.	3.14 CFS/AC
TREATMENT D	2.12 IN.	4.07 CFS/AC

### EXISTING CONDITIONS PROPOSED CONDITIONS

TREATMENT A	0	0
TREATMENT B	0	.04 AC
TREATMENT C	0	.32 AC
TREATMENT D	.037 AC	.01 AC

### EXISTING EXCESS PRECIPITATION

$$\text{WEIGHTED } E = 2.12(.37)/.37 = 2.12 \text{ INCHES}$$

$$\text{VOLUME} = 2.12 \times .37/12 = .07 \text{ AC.FT.}$$

### EXISTING PEAK DISCHARGE

$$Q_{100} = 4.07 \times 0.37 = 1.50 \text{ C.F.S.}$$

### PROPOSED PEAK DISCHARGE

$$\text{WEIGHTED } E = .53(0) + .78(.04) + 1.38(.32) + 2.12(.01)/.37 = 1.33 \text{ C.F.S.}$$

$$V_{100} = (1.33)(.37)/12 = .04 \text{ AC.FT.} = 1,742 \text{ C.F.S.}$$

$$V_{144} = (.04)(.37)(2.75 - 2.35)/12 = 217 \text{ C.F.S.}$$

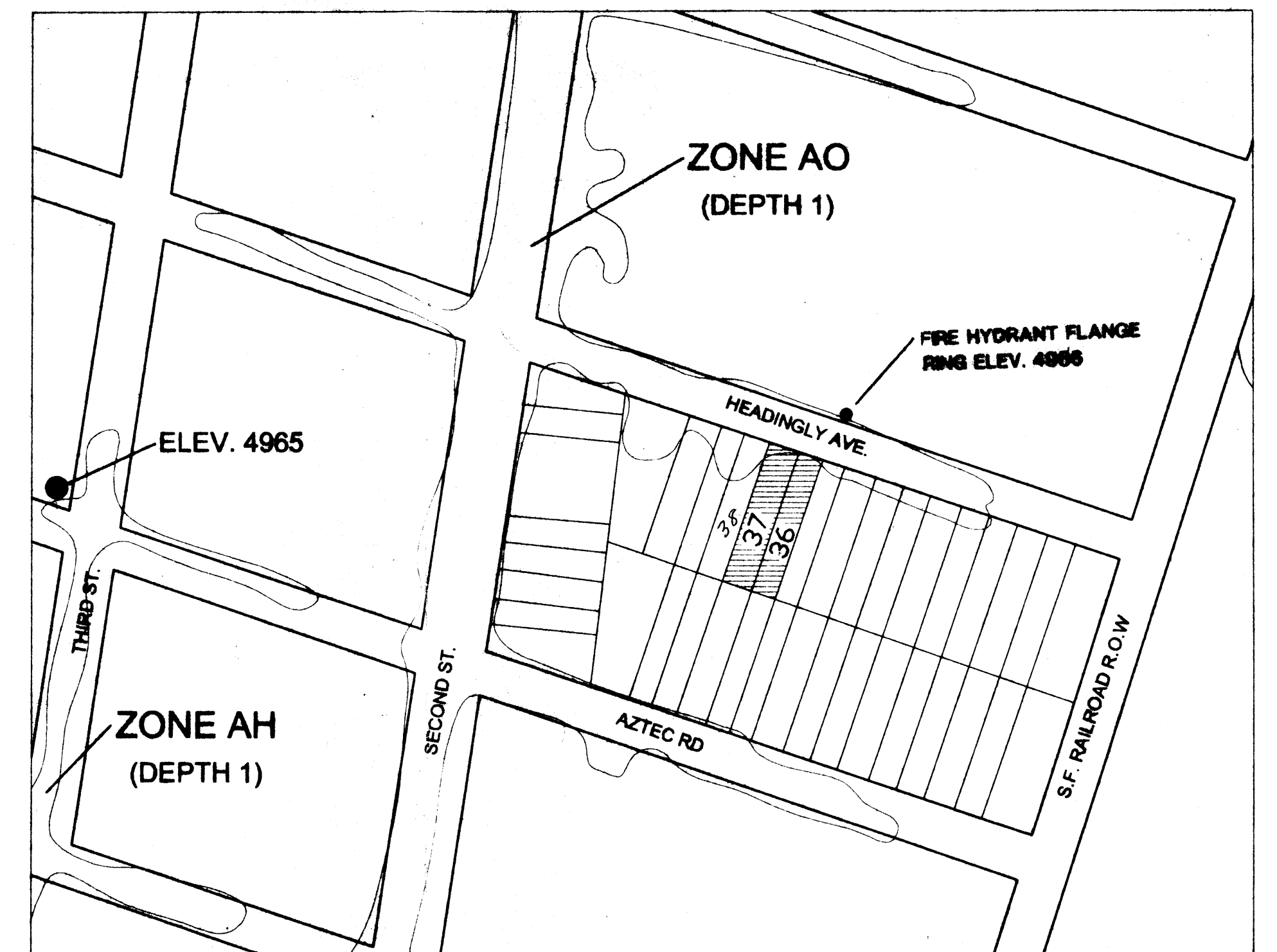
$$V_{10 \text{ DAY}} = (.04)(.37)(3.30 - 2.35)/12 = 52 \text{ C.F.S.}$$

## GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM INFORMATION PROVIDED BY EXISTING PLANS, AND THIS INFORMATION MAY INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE. MAKES NO REPRESENTATION THERE TO, AND ASSUMES NO RESPONSIBILITY FOR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT OF WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMP. BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

## LEGEND

	NEW	EXISTING
UNDERGROUND ELECTRIC	UE	
BLOCK WALL		
CHAIN LINK FENCE		
FIELD FENCE		
CONTOUR LINES	50	50
SIDE SLOPE		
SWALE		
SPOT ELEVATIONS		
RIGHT OF WAY LINES		
PROPERTY LINES (SIDE)		
PUBLIC EASEMENTS		
SUBDIVISION BOUNDARIES		
PROJECT BOUNDARIES		
WATER PRESSURE ZONE		
FIRE HYDRANT		
LINE OF FLOW		



## FLOOD INSURANCE RATE MAP (FIRM)

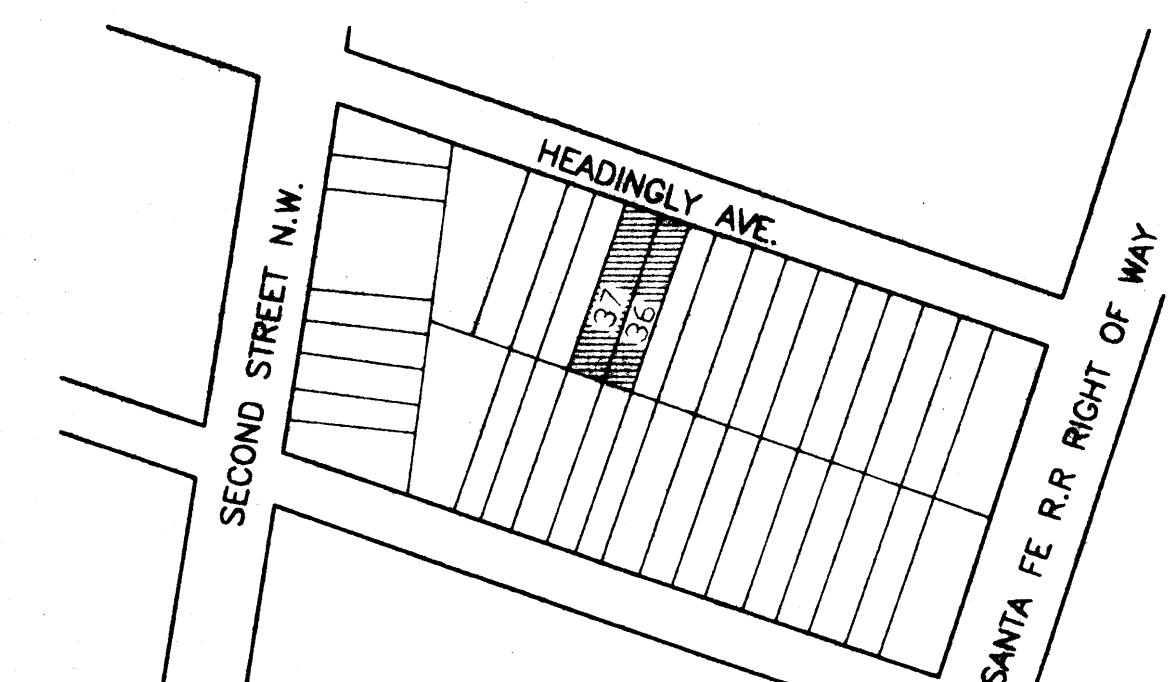
PANEL 338 E-1

N.T.S.

SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD.

**ZONE AH:** FLOOD DEPTHS OF 1-3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED.

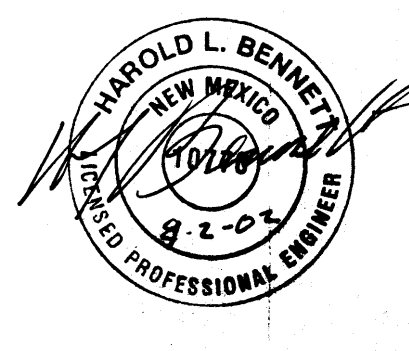
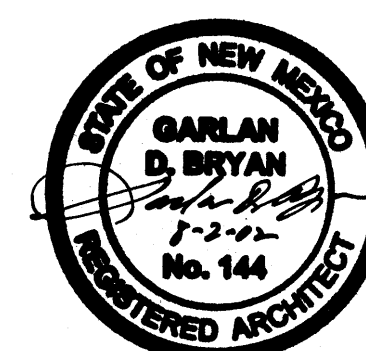
**ZONE AO:** FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN); AVERAGE DEPTHS DETERMINED. FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED.



## VICINITY MAP

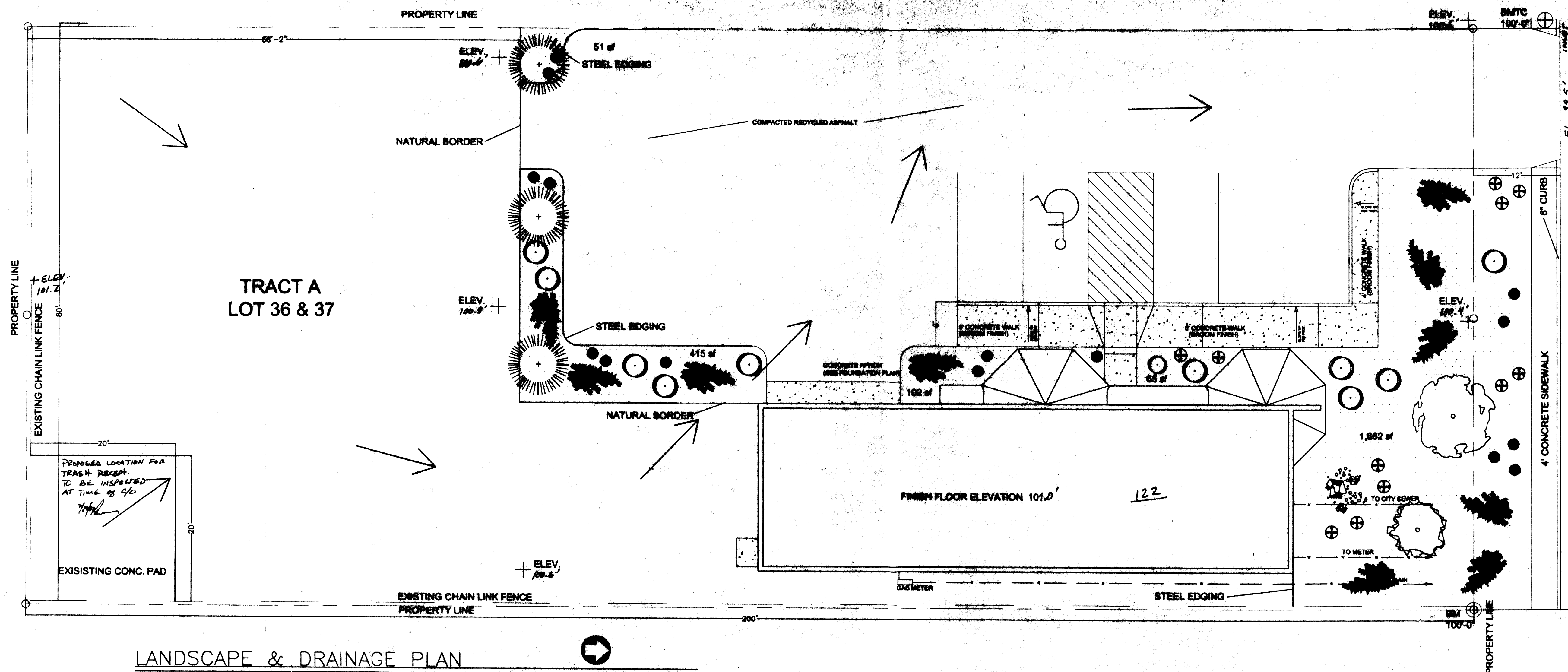
G-14

N.T.S.



MEDRANO CONCRETE INC.	DATE 08-01-02 (Garlan D. Bryan)
garlan bryan, architect 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO	STATE OF NEW MEXICO GARLAN D. BRYAN No. 144 REGISTERED ARCHITECT
<b>G-2</b>	GRADING & DRAINAGE





# PLANT LEGEND:

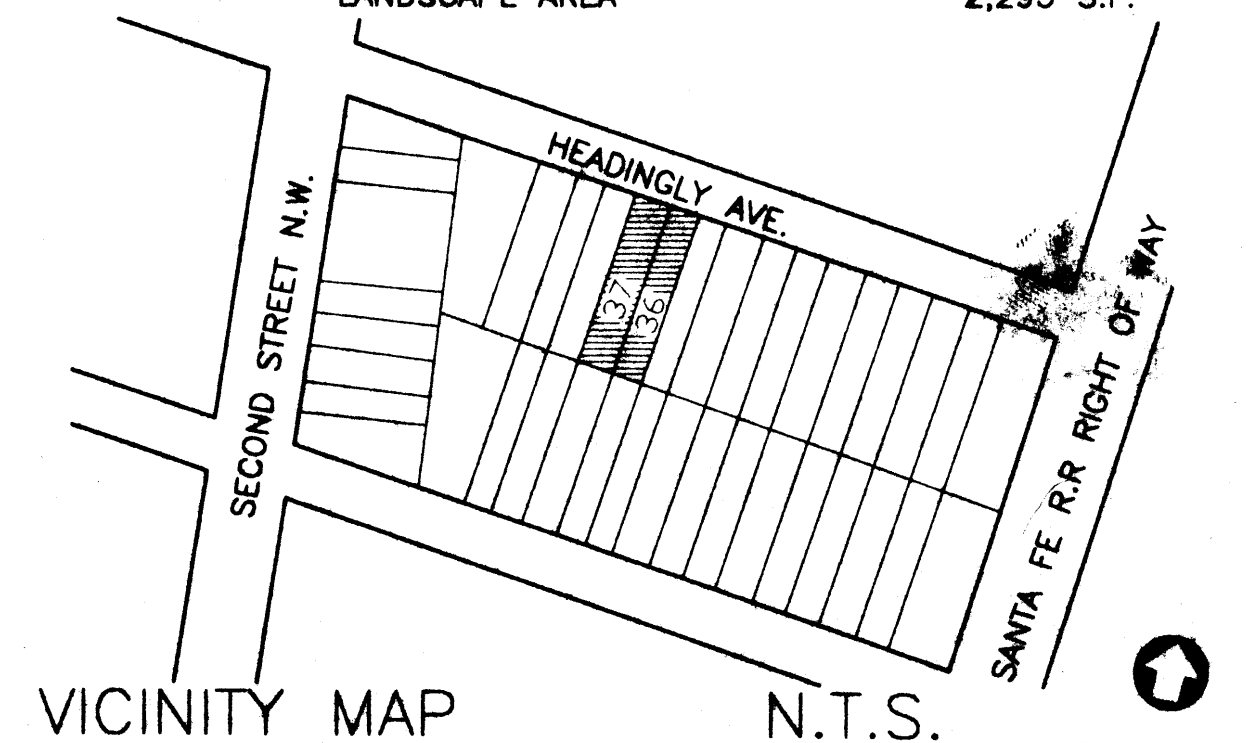
- FRAGRANT ASH (M)  
FRAXINUS CUSPIDATA  
2" CAL
- PURPLELEAF PLUM (M) 3  
PRUNUS CERASTIFERA  
2" CAL
- PINION PINE (M) 1  
PINUS EDULIS  
6' - 8'
- CREeping ROSEMARY (M) 20  
ROSMARINUS OFFICINALIS  
5 GAL.
- RUSSIAN SAGE (L) 11  
PEROVSKIA SPP.  
5 GAL.
- BLUE MIST SPIREA (M) 15  
CARYOPTERIS X CLANDONENSIS  
5 GAL.
- WILDFLOWER 11  
1 GAL.
- OVERSIZED GRAVEL & BOULDERS.
- 3/4" SANTA FE BROWN W/  
FILTER FABRIC

## LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA	
TOTAL LOT AREA	16,000 S.F.
TOTAL BUILDING AREA	1,989 S.F.
NET LOT AREA	14,011 S.F.
LANDSCAPE REQUIREMENT	.15
TOTAL LANDSCAPE REQUIREMENT	2,102 S.F.
TOTAL LANDSCAPE PROVIDED	2,295 S.F.

## DRAINAGE CALCULATIONS

TOTAL LOT AREA	16,000 S.F.
ROOF AREA	1,989 S.F.
CONCRETE AREA	906 S.F.
PARKING AREA	5,123 S.F.
LANDSCAPE AREA	2,295 S.F.



## VICINITY MAP

MEDRANO CONCRETE INC. 122 HEADINGLY AVE. N.W.	DATE: 07-15-02
GARLAN BRYAN, ARCHITECT 2403 SAN MATEO BLVD. N.E. ALBUQUERQUE, NEW MEXICO	
<b>G-2</b>	LANDSCAPE GRADING & DRAINAGE

## GRADING AND DRAINAGE

THE EXISTING LOTS 36 & 37, BLK. 13, MONKBRIDGE ADDITION, LOCATED ON HEADINGLY AVE, EAST OF 2ND ST. NW, ALBUQUERQUE, NM. THEY ARE PRESENTLY GRAVELED AND ARE USED BY MEDRANO CONCRETE INC. AS A PARKING AREA FOR TRUCKS. THE AREA HAS BEEN FILLED & GRADED AND SLOPES TO DRAIN TO THE NORTH INTO HEADINGLY AVE.. THERE IS NO OFF SITE FLOW ONTO THE SITE. THE SOUTH 1/3 OF THE SITE WILL REMAIN AS IS. THE REMAINDER WILL BE DEVELOPED. THE DRIVE WAY WILL BE RECONSTRUCTED TO ALBUQ. CITY STANDARDS. THERE IS A CURB & GUTTER DRAIN 90' TO THE WEST OF THE DRIVEWAY.

### PRECIPITATION ZONE 2

#### DESIGN STORM

P60	2.01
P360	2.35
P1440	2.75
P4 DAYS	3.30
P10 DAYS	3.95

$$P_{606-2} = 0.011 + 0.942 \frac{(2.35)^2}{2.75}$$

$$P_{12} = 0.5024 (2.01)$$

ORIGINAL LOT 100% (C) 16,000 SF  
LANDSCAPE AREA (B) 2,295 SF  
IMPERVIOUS AREA (D) 886 SF  
COMPACTED GRAVEL (C) 14,228 SF

## EXISTING PRECIPITATION PEAK DISCHARGE

TREATMENT A	0.53 IN.	1.56 CFS/AC
TREATMENT B	0.78 IN.	2.28 CFS/AC
TREATMENT C	1.13 IN.	3.14 CFS/AC
TREATMENT D	2.12 IN.	4.07 CFS/AC

## EXISTING CONDITIONS PROPOSED CONDITIONS

TREATMENT A	0	0
TREATMENT B	0	.04 AC
TREATMENT C	0	.32 AC
TREATMENT D	.037 AC	.01 AC

## EXISTING EXCESS PRECIPITATION

$$\text{WEIGHTED E} = 2.12(.37)/.37 = 2.12 \text{ INCHES}$$

$$\text{VOLUME} = 2.12 \times .37/12 = .07 \text{ AC.FT.}$$

## EXISTING PEAK DISCHARGE

$$Q_{100} = 4.07 \times 0.37 = 1.50 \text{ C.F.S.}$$

## PROPOSED PEAK DISCHARGE

$$\text{WEIGHTED E} = .53(0) + .78(.04) + 1.38(.32) + 2.12(.01)/.37 = 1.33 \text{ C.F.S.}$$

$$V_{100} = (1.33)(.37)/12 = .04 \text{ AC.FT.} = 1,742 \text{ C.F.S.}$$

$$V_{144} = (.04)(.37)(2.75 - 2.35)/12 = 217 \text{ C.F.S.}$$

$$V_{10 \text{ DAY}} = (.04)(.37)(3.30 - 2.35)/12 = 52 \text{ C.F.S.}$$

## IRRIGATION NOTES

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (5) 1.0 GPH EMITTERS, SHRUBS TO RECEIVE (2) 1.0 GPH EMITTERS. DRIP AND BUBLER SYSTEM TO BE TIED TO 1/2" POLY-PIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

IRRIGATION SYSTEM WILL BE OPERATED BY AUTOMATIC CONTROLLER LOCATION OF CONTROLLER WILL BE FIELD DETERMINED AND POWER SOURCE WILL BE PROVIDED BY OTHERS.

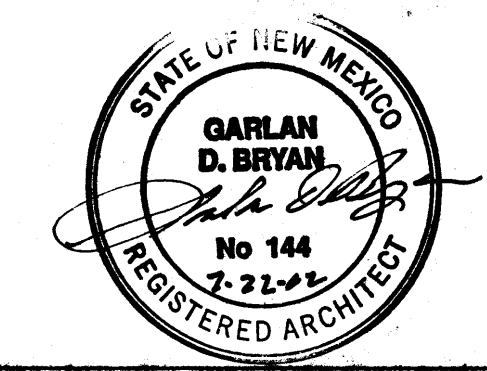
IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

## LANDSCAPE NOTES

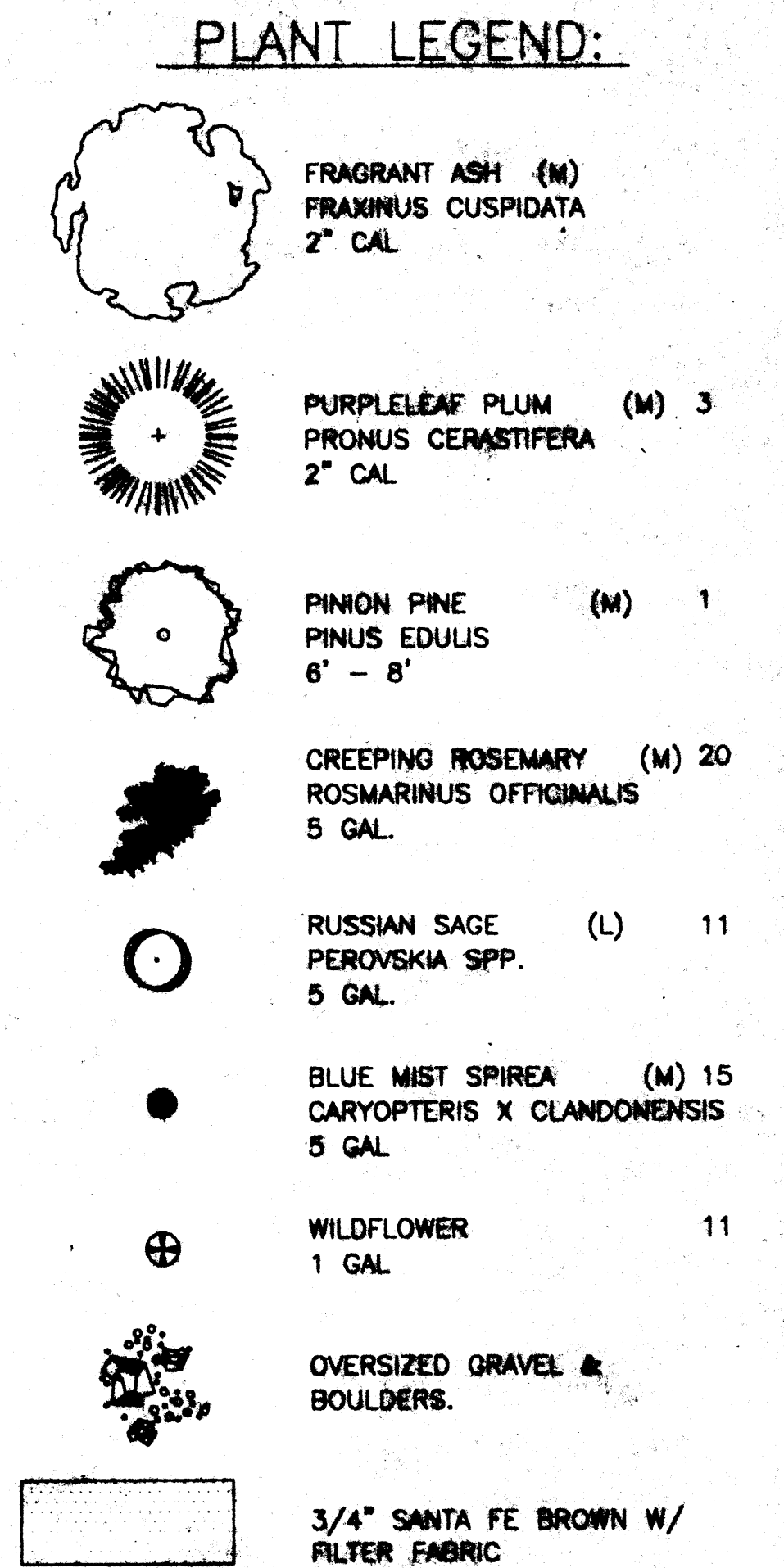
LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE, WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, PLANTING RESTRICTION APPROACH.

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.







NET LANDSCAPE AREA	
TOTAL LOT AREA	16,000 S.F.
TOTAL BUILDING AREA	1,990 S.F.
NET LOT AREA	14,011 S.F.
LANDSCAPE REQUIREMENT	.15
TOTAL LANDSCAPE REQUIREMENT	2,102 S.F.
TOTAL LANDSCAPE PROVIDED	2,295 S.F.

TOTAL LOT AREA	16,000 S.F.
ROOF AREA	1,989 S.F.
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DESIGN	STORM	
P <sub>60</sub>		2.01
P <sub>360</sub>		2.35
P <sub>1440</sub>		2.75
P <sub>4</sub> DAYS		3.30
P <sub>10</sub> DAYS		3.95
P <sub>606</sub> -2 = 0.011 + 0.942		$\frac{(2.35)^2}{2.75}$
P <sub>12</sub> = 0.5024 (2.01)		

ORIGINAL LOT 100% (C) 16,000 SF  
LANDSCAPE AREA (B) 2,295 SF  
IMPERVIOUS AREA (D) 886 SF  
COMPACTED GRAVEL (C) 14,228 SF

EXISTING CONDITIONS	PROPOSED CONDITIONS
TREATMENT A 0	0
TREATMENT B 0	.04 AC
TREATMENT C 0	.32 AC
TREATMENT D .037 AC	.01 AC

WEIGHTED E =  $2.12(.37)/.37 = 2.12$  INCHES  
VOLUME =  $2.12 \times .37/12 = .07$  AC.FT.

$$Q_{100} = 4.07 \times 0.37 = 1.50 \text{ C.F.S.}$$

WEIGHTED E = .53(0)+.78(.04)+1.38(.32)+2.12(.01)/.37= 1.33 C.F.S.  
V100=(1.33)(.37)/12= .04 AC.FT.= 1,742 C.F.S.  
V144=(.04)(.37)(2.75-2.35)/12= 217 C.F.S.  
V10 DAY=(.04)(.37)(3.30-2.35)/12= 52 C.F.S.

IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM WITH TREES TO RECEIVE (3) 1.0 GPH EMITTERS, SHRUBS TO RECEIVE (2) 1.0 GPH EMITTERS. DRIP AND BUBLER SYSTEM TO BE TIED TO 1/2" POLY-PIPE WITH FLUSH CAPS AT EACH END.

RUN TIME PER EACH DRIP VALVE WILL BE APPROXIMATELY 15 MINUTES PER DAY, TO BE ADJUSTED ACCORDING TO THE SEASON.

POINT OF CONNECTION FOR IRRIGATION SYSTEM IS UNKNOWN AT CURRENT TIME AND WILL BE COORDINATED IN THE FIELD.

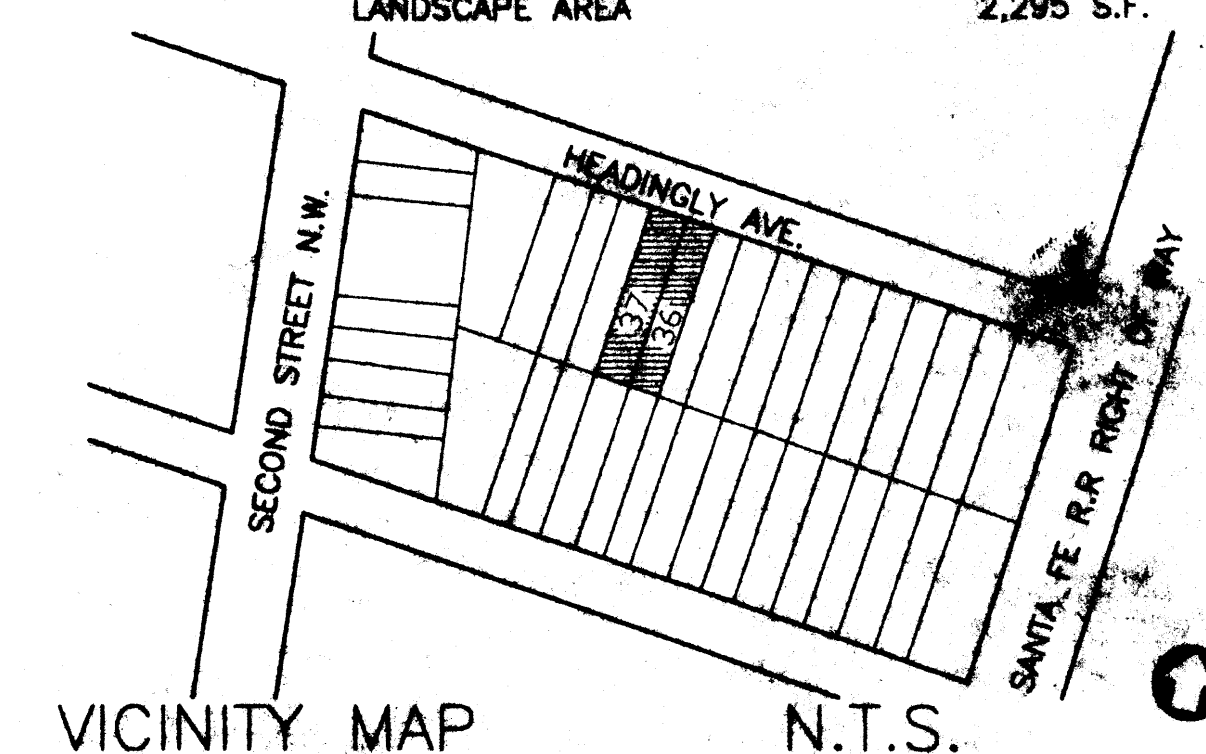
IRRIGATION SYSTEM WILL BE OPERATED BY AUTOMATIC CONTROLLER  
LOCATION OF CONTROLLER WILL BE FIELD DETERMINED AND POWER  
SOURCE WILL BE PROVIDED BY OTHERS.

IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE  
PROPERTY OWNER.

LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE  
PROPERTY OWNER.

IT IS THE INTENT OF THIS PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE, WATER CONSERVATION LANDSCAPING AND WASTE WATER ORDINANCE, PLANTING RESTRICTION APPROACH.

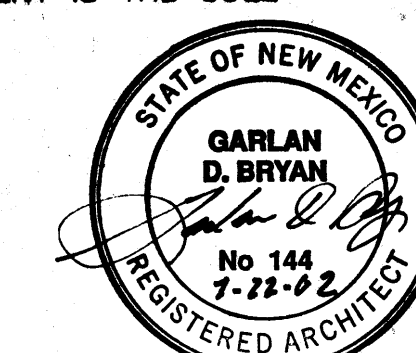
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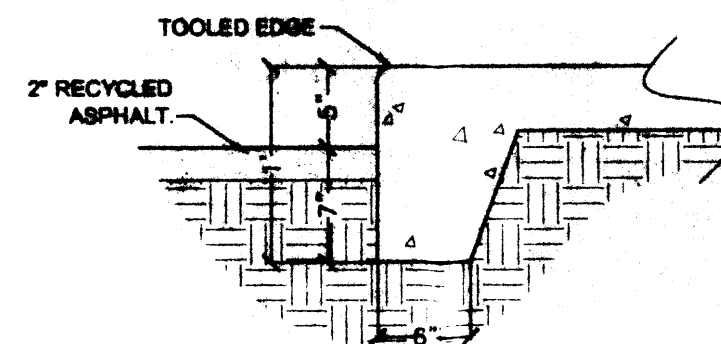
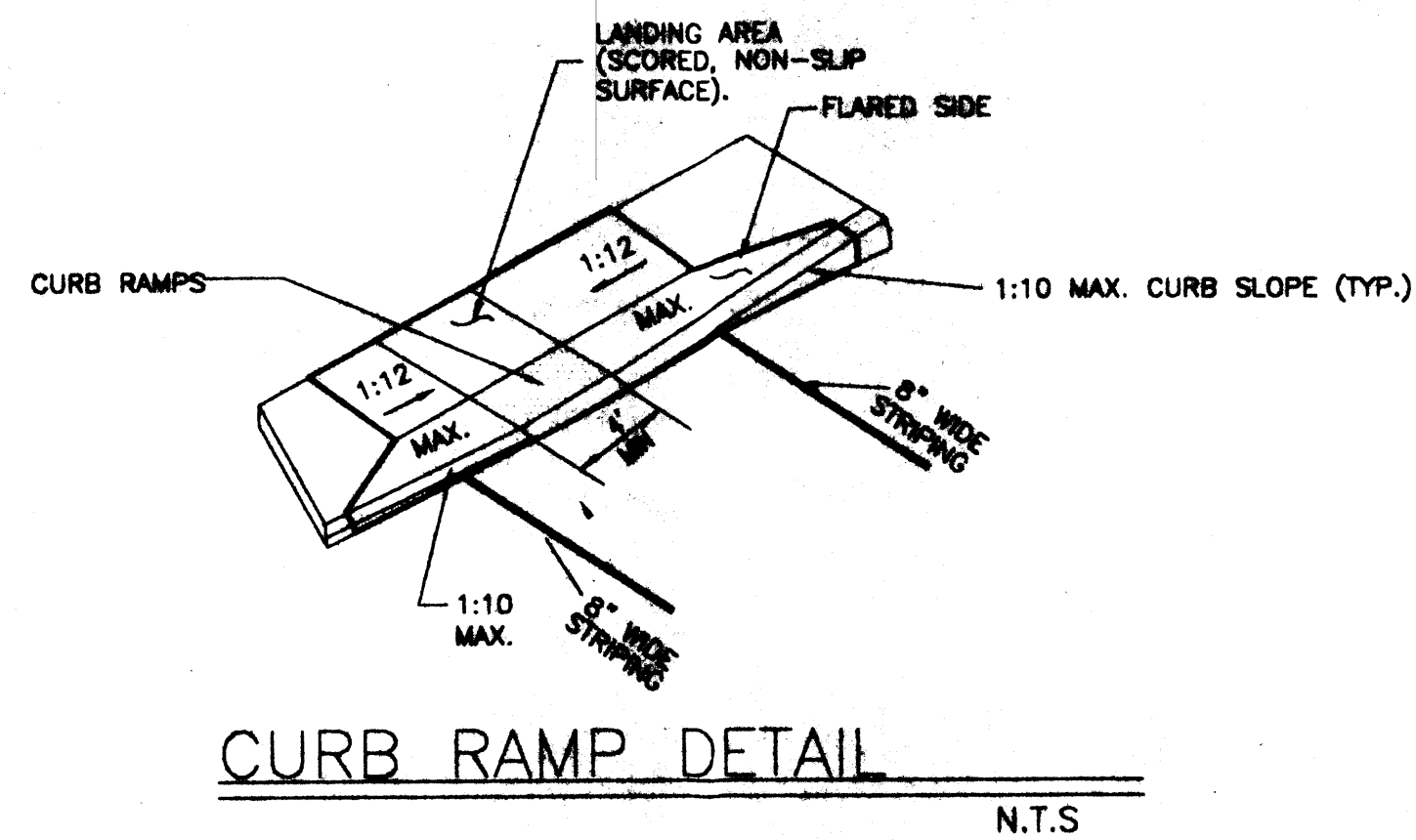
MEDRANO CONCRETE INC.  
122 HEADINGWAY AVE. N.W.

DATE: 07-15-02

CARLAN BRYAN, ARCHITECT  
2403 SAN MATEO BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

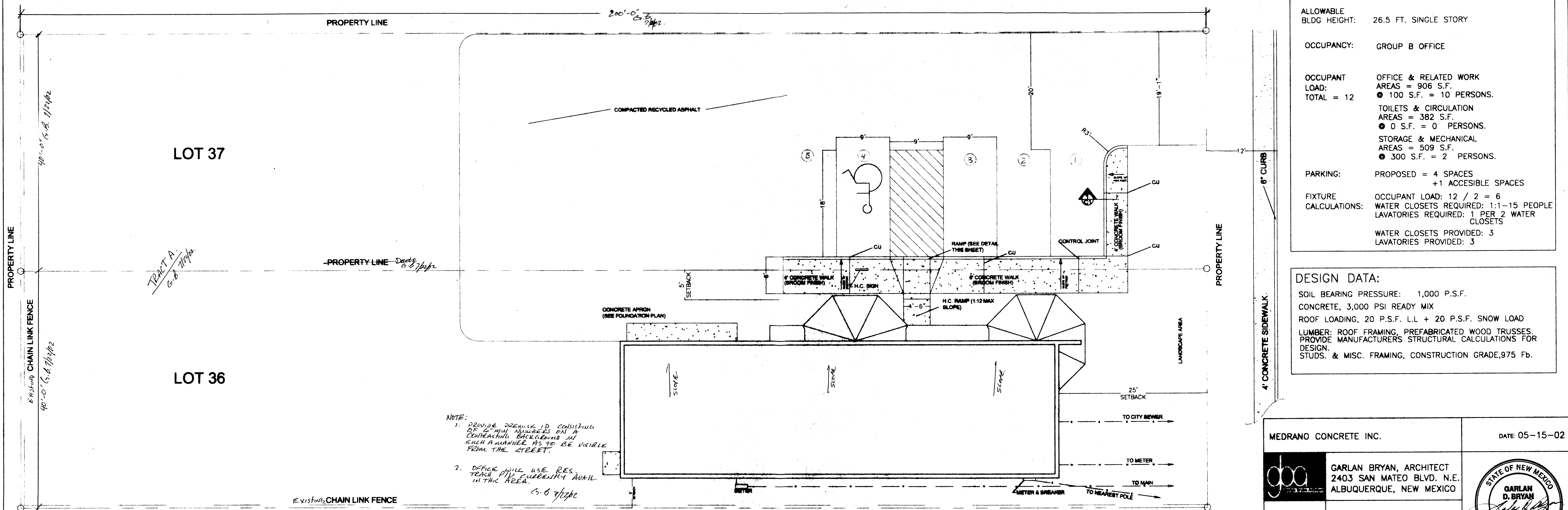
LANDSCAPE  
GRADING & DRAINAGE



VICINITY MAP

1 CURB SECTION

SCALE: 1" = 1'-0"



# SITE PLAN

SCALE:  $1/8" = 1'-0"$

## PROJECT DATA:

PROJECT: OFFICE BLDG. FOR MEDRANO CONCRETE INC.

ADDRESS: LOT 36 & 37, BLK 13, MONKBRIDGE  
ADDITION  
ALBUQUERQUE, N.M. 87107

OWNER: LAURANO MEDRANO  
148 HEADINGLY AVE. NW  
ALBUQUERQUE, NM 87107  
TELEPHONE: (505) 343-9395

ARCHITECT: GARLAN BRYAN. NM REG #144  
2403 SAN MATEO BLVD. N.E.  
SUITE W-1  
ALBUQUERQUE, NM. 87110  
TELEPHONE (505) 884-9694

CONTRACTOR: HUDSON DEV. CO.  
1008 ESPEJO NE  
ALBUQUERQUE, NM 87112  
TEL: 505-293-3656  
LIC# 026622

ZONING: M-1

BUILDING	1997 NM BUILDING CODE
CODE:	1997 UNIFORM BUILDING CODE

ACCESSIBILITY  
CODE: ICC/ANSI A 117.1-1998

SEISMIC  
ZONE: 11-B

CONSTRUCTION  
TYPE: V-N

BUILDING	HEATED:	1,327	SQFT.
AREA:	GARAGE:	<u>464</u>	SQFT.
	TOTAL:	1,791	SQFT.

ALLOWABLE AREA:	8,000 SQFT.
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BUILDING  
HEIGHT: 13'-11-3/4" SINGLE STORY

ALLOWABLE  
BLDG HEIGHT: 26.5 FT. SINGLE STORY

OCCUPANCY: GROUP B OFFICE

OCCUPANT  
LOAD:  
TOTAL = 12

OFFICE & RELATED WORK  
AREAS = 906 S.F.  
● 100 S.F. = 10 PERSONS.

TOILETS & CIRCULATION  
AREAS = 382 S.F.  
● 0 S.F. = 0 PERSONS.

STORAGE & MECHANICAL  
AREAS = 509 S.F.  
● 300 S.F. = 2 PERSONS.

PARKING: PROPOSED = 4 SPACES  
+1 ACCESSIBLE SPACES

FIXTURE CALCULATIONS: OCCUPANT LOAD:  $12 / 2 = 6$   
WATER CLOSETS REQUIRED: 1:1-15 PEOPLE  
LAVATORIES REQUIRED: 1 PER 2 WATER CLOSETS  
WATER CLOSETS PROVIDED: 3  
LAVATORIES PROVIDED: 3

#### DESIGN DATA:

SOIL BEARING PRESSURE: 1,000 P.S.F.  
CONCRETE, 3,000 PSI READY MIX  
ROOF LOADING, 20 P.S.F. L.L. + 20 P.S.F. SNOW LOAD  
LUMBER: ROOF FRAMING, PREFABRICATED WOOD TRUSSES.  
PROVIDE MANUFACTURERS STRUCTURAL CALCULATIONS FOR  
DESIGN.  
STUDS. & MISC. FRAMING, CONSTRUCTION GRADE. 975 Fb.

MEDRANO CONCRETE INC.

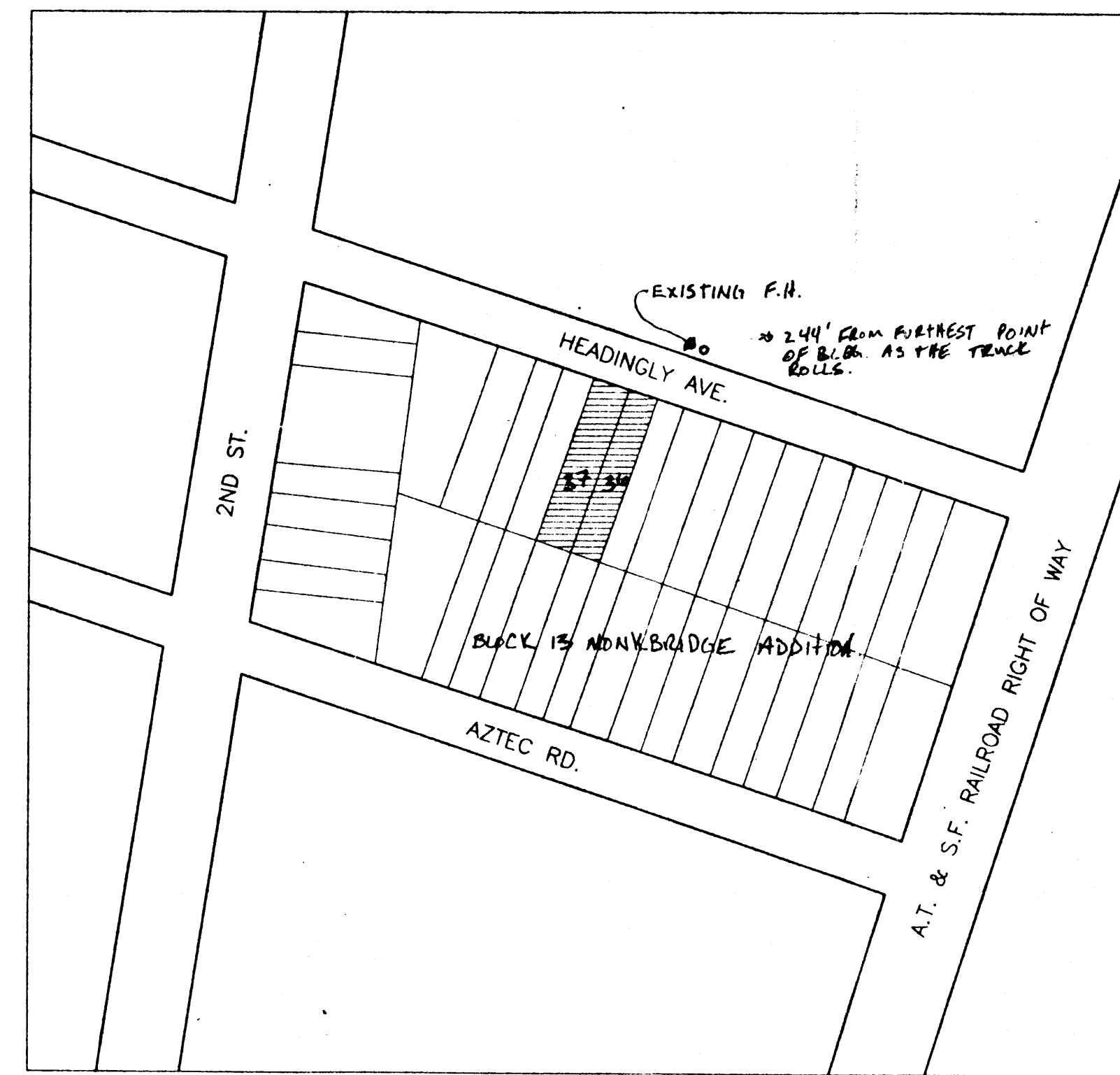
DATE: 05-15-02

**garlan** bryan, architect  
2403 SAN MATEO BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

**C-1** PROJECT DATA  
SITE PLAN

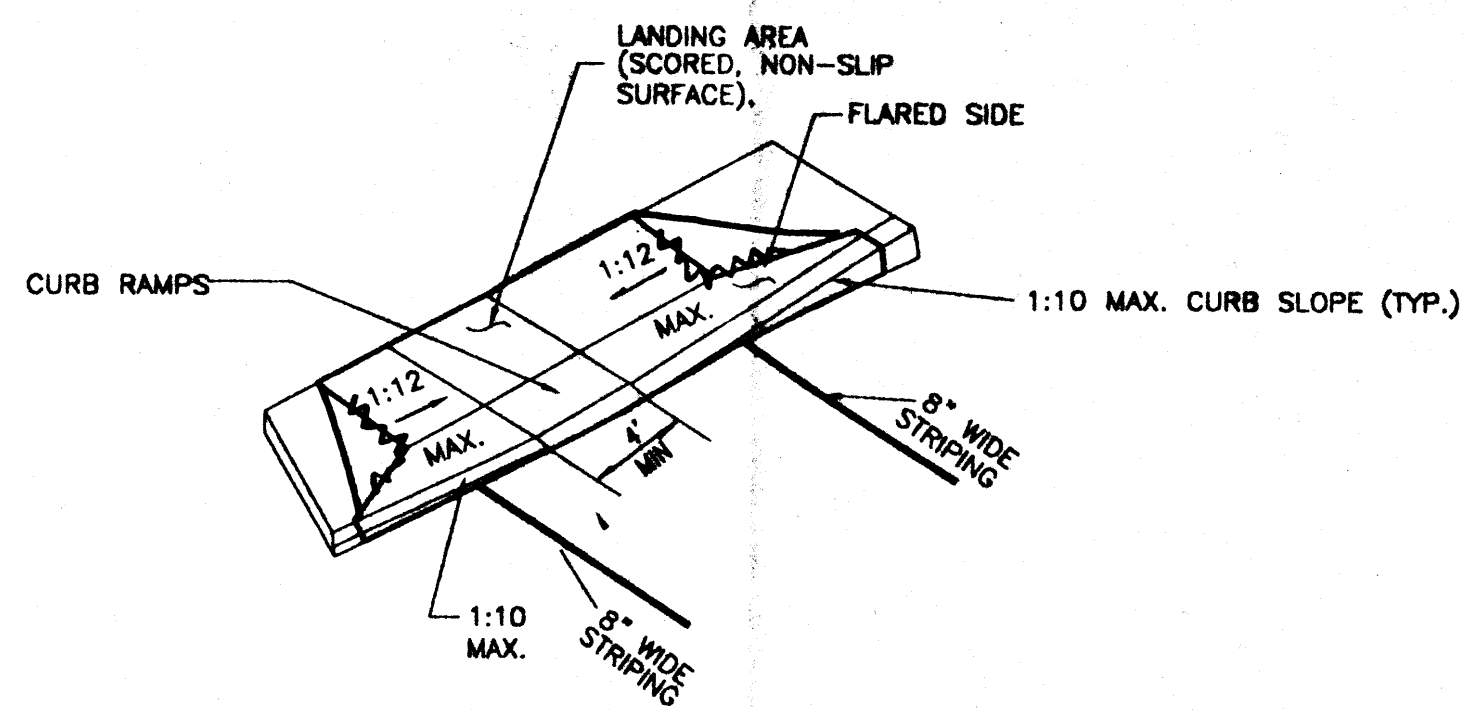






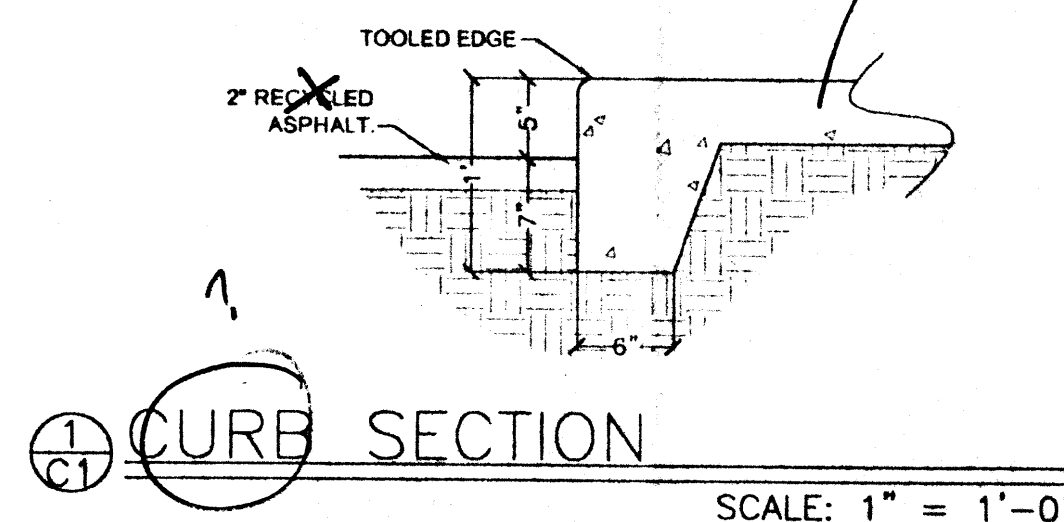
VICINITY MAP

N.T.S.



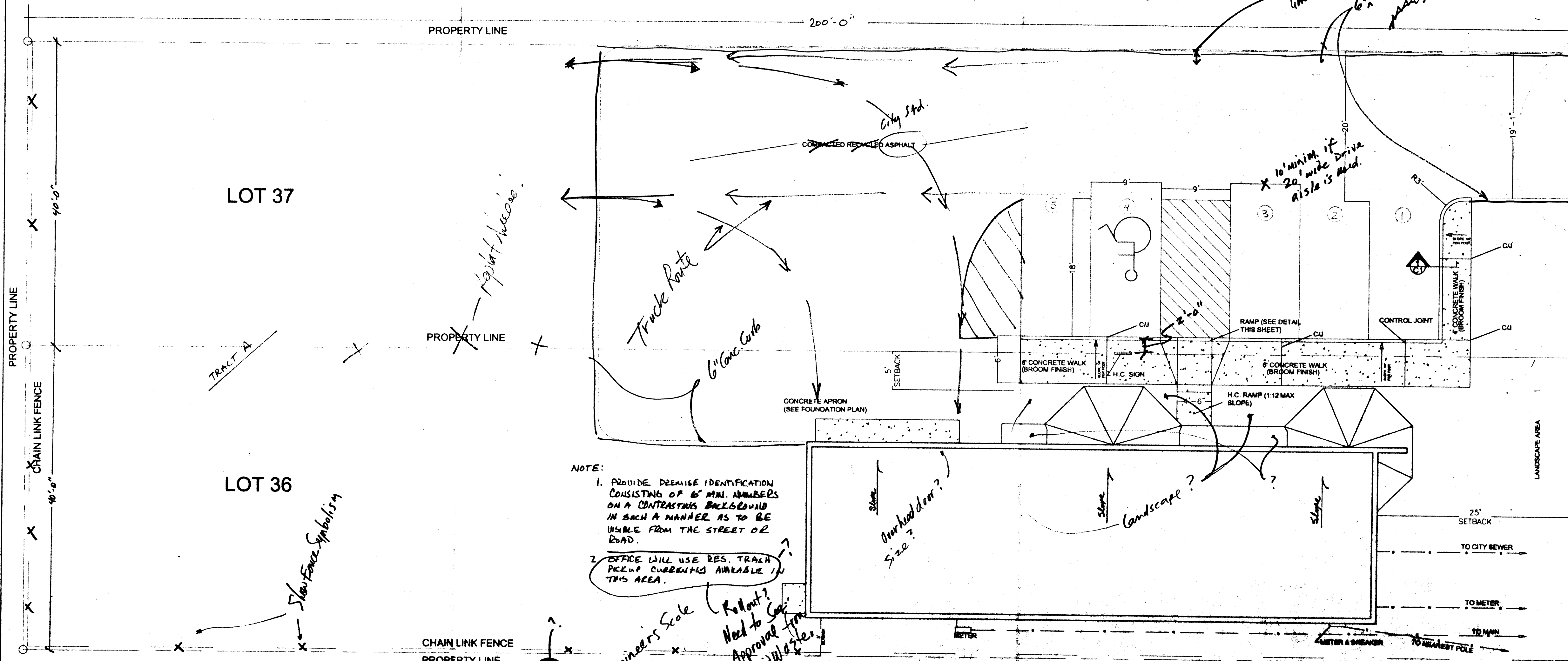
CURB RAMP DETAIL

N.T.S.



CURB SECTION

SCALE: 1" = 1'-0"



SITE PLAN

SCALE: 1/8" = 1'-0"

PROJECT DATA:	
PROJECT:	OFFICE BLDG. FOR MEDRANO CONCRETE INC.
ADDRESS:	LOT 36 & 37, BLK 13, MONKBRIDGE ADDITION ALBUQUERQUE, N.M. 87107
OWNER:	LAUREANO MEDRANO 148 HEADINGLY AVE. NW ALBUQUERQUE, NM 87107 TELEPHONE: (505) 343-9395
ARCHITECT:	GARLAN BRYAN, NM REG #144 2403 SAN MATEO BLVD. N.E. SUITE W-1 ALBUQUERQUE, NM. 87110 TELEPHONE (505) 884-9694
CONTRACTOR:	HUDSON DEV. CO. 1008 ESPEJO NE ALBUQUERQUE, NM 87112 TEL: 505-293-3656 LIC# 026622
ZONING:	M-1
BUILDING CODE:	1997 NM BUILDING CODE 1997 UNIFORM BUILDING CODE
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-1998
SEISMIC ZONE:	II-B
CONSTRUCTION TYPE:	V-N
BUILDING AREA:	HEATED: 1,327 SQFT. GARAGE: 464 SQFT. TOTAL: 1,791 SQFT.
ALLOWABLE AREA:	8,000 SQFT.
BUILDING HEIGHT:	13'-11-3/4" SINGLE STORY
ALLOWABLE BLDG HEIGHT:	26.5 FT. SINGLE STORY
OCCUPANCY:	GROUP B OFFICE
OCCUPANT LOAD:	OFFICE & RELATED WORK AREAS = 906 S.F. (10 PERSONS) TOILETS & MECHANICAL AREAS = 89 S.F. (2 PERSONS) TOTAL = 12 PERSONS
PARKING:	PROPOSED = 4 SPACES + 1 ACCESSIBLE SPACES
FIXTURE CALCULATIONS:	OCCUPANT LOAD: 12 / 2 = 6 WATER CLOSETS REQUIRED: 1:1-15 PEOPLE LAVATORIES REQUIRED: 1 PER 2 WATER CLOSETS WATER CLOSETS PROVIDED: 3 LAVATORIES PROVIDED: 3

DESIGN DATA:	
SOIL BEARING PRESSURE:	1,000 P.S.F.
CONCRETE:	3,000 PSI READY MIX
ROOF LOADING:	20 P.S.F. L.L + 20 P.S.F. SNOW LOAD
LUMBER:	ROOF FRAMING, PREFABRICATED WOOD TRUSSES. PROVIDE MANUFACTURERS STRUCTURAL CALCULATIONS FOR DESIGN.
STUDS & MISC. FRAMING:	CONSTRUCTION GRADE, 975 Fb.

Zone: M-1  
RECEIVED JUL 22 2002  
HYDROLOGY SECTION  
DATE 07-15-02

GARLAN BRYAN, ARCHITECT  
2403 SAN MATEO BLVD. N.E.  
ALBUQUERQUE, NEW MEXICO

PROJECT DATA  
SITE PLAN