

September 7, 2011

Jeff Chiavetta, R.A.

dailydesign

924 2<sup>nd</sup> Street NW Ste. C

Albuquerque, NM 87102

Re: Fastino's, 3723 4th St. NW, Traffic Circulation Layout

Architect's Stamp dated 09-02-11 (G-14/D075)

Dear Mr. Chiavetta.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 09-02-11, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Please clarify how Solid Waste will empty the dumpster. It appears that the truck will have to drive the wrong direction in the one-way drive.
- 2. Solid Waste approval is required for the relocation of the dumpster.
- 3. Provide additional information regarding the drive through aisles. Are the drive throughs separate, or do they function as one drive through?
- 4. The dumpster must drain to a sanitary sewer connection (see the *Development Process Manual*, Chapter 23, Section 9). Coordination with Hydrology is required.
- 5. Please clarify all existing versus proposed conditions.
- 6. List radii for all curves shown.
- 7. Define width of the existing sidewalk.
- 8. A six-foot wide pedestrian connection is required to 4th Street.
- 9. Identify the width of all drive pads.
- 10. Provide one way signing and striping for all proposed one-way aisles.
- 11. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
- 12. At the corner of Veranda Street and 4<sup>th</sup> Street, is the wheelchair ramp ADA compliant?
- 13. Is there a median break at the site?

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: Fi

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005) G-14/D075 ZONE MAP: G-14 PROJECT TITLE: \_ Fastino's DRB#: EPC#: WORK ORDER#: LEGAL DESCRIPTION: Portion of lots 1 \$2, Block 17, Monkhindge CITY ADDRESS: 3723 ENGINEERING FIRM: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: Frank OWNER: same ADDRESS: 2600 Tabo Juan 332-9300 PHONE: ZIP CODE: 87/12 CITY, STATE: \_ 本及Q NM ADDRESS: NW PHONE: CITY, STATE: APQ 87102 ZIP CODE: SURVEYOR: CONTACT: ADDRESS: PHONE: CITY, STATE: ZIP CODE: CONTRACTOR: CONTACT: \_\_\_\_ ADDRESS: PHONE: CITY, STATE: ZIP CODE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERT (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR BUILDING PERMIT APPROVAL: TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (PERM) ENGINEER'S CERT (TCL) CERTIFICATE OF OCCUPANCY (TEMP)

ENGINEER'S CERT (DRB SITE PLAN) OTHER (SPECIFY)

GRADING PERMIT-APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) 2 2011

BY:

WAS A PRE-DESIGN CONFERENCE ATTENDED:

YES

COPY PROVIDED

DATE SUBMITTED:

HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





## Planning Department Transportation Development Services Section

G. Donald Dudley Jr. Registered Architect 400 Gold Ave Ste. 850 Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for Löveland Farms, [G-14] D075]

3723 4th Street NW- Architect's Stamp Dated 03/24/08

Dear Mr. Dudley

Sincerely,

PO Box 1293

The TCL / Letter of Certification submitted on March 28, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (CO) Notification has been made to the Building and Safety Section.

Albuquerque

NM 87103

7. Salgado-Fernandez, P.E.

Semor Traffic Engineer

Development and Building Services
Planning Department

Enginee Hydrology

lbuquerque - Making History 1706-2006

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005) ZONE MAP: 6-14/ PROJECT TITLE: LOVELAND FARMS DRB#: WORK ORDER#: LEGAL DESCRIPTION: LOVELAND FORMS - 4D'ST DRIVE-THEU CONVENIENCE STORE CITY ADDRESS: 3723 474 ST, NW ABOR NM 87107 ENGINEERING FIRM: CONTACT: ADDRESS: ' PHONE: CITY, STATE: ZIP CODE: \_ OWNER: CONTACT:\_ ADDRESS: PHONE: CITY, STATE: ZIP CODE: ARCHITECT: G DONALD DUDLEY DECHITECT CONTACT: DON DUDLEY ADDRESS: 400 GOLD AVE SW #350 PHONE: 243-8100 CITY, STATE: ABO MM ZIP CODE: 87102 SURVEYOR: CONTACT: \_ ADDRESS: PHONE: CITY, STATE: ZIP CODE: CONTRACTOR: CONTACT: \_ ADDRESS: PHONE: CITY, STATE: ZIP CODE: TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPROVAL DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D. APPROVAL CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERT (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR ' BUILDING PERMIT APPROVAL TRAFFIC CIRCULATION LAYOUT CERTIFICATE OF OCCUPANCY (PERM) ENGINEER'S CERT (TCL) CERTIFICATE OF OCCUPANCY (TEMP) ENGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPROVAL OTHER (SPECIFY) PAVING PERMIT APPROVATION WORK ORDER FOR COMAIL OTHER (SPECIFY) MAR 28 2008 WAS A PRE-DESIGN CONFERENCE ATTENDED:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

HYDROLOGY

SECTION

BY:

DUDLEY

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

YES

COPY PROVIDED

NO

DATE SUBMITTED:

March 24, 2008

City of Albuquerque Planning Department Development & Building Services Division 600 2<sup>nd</sup> Street, NW Albuquerque, NM 87102

Project:

**Loveland Farms - 4<sup>th</sup> Street Drive-Thru Convenience Store** 3723 4<sup>th</sup> Street, NW Albuquerque, NM 87107

RE:

TRAFFIC CERTIFICATION

I, DON DUDLEY, NEW MEXICO REGISTERED ARCHITECT OF THE FIRM G. DONALD DUDLEY ARCHITECT, LTD. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 9/1 RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DON DUDLEY OF THE FIRM G. DONALD DUDLEY ARCHITECT, LTD. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEVARAL OCCASIONS WHILE UNDER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

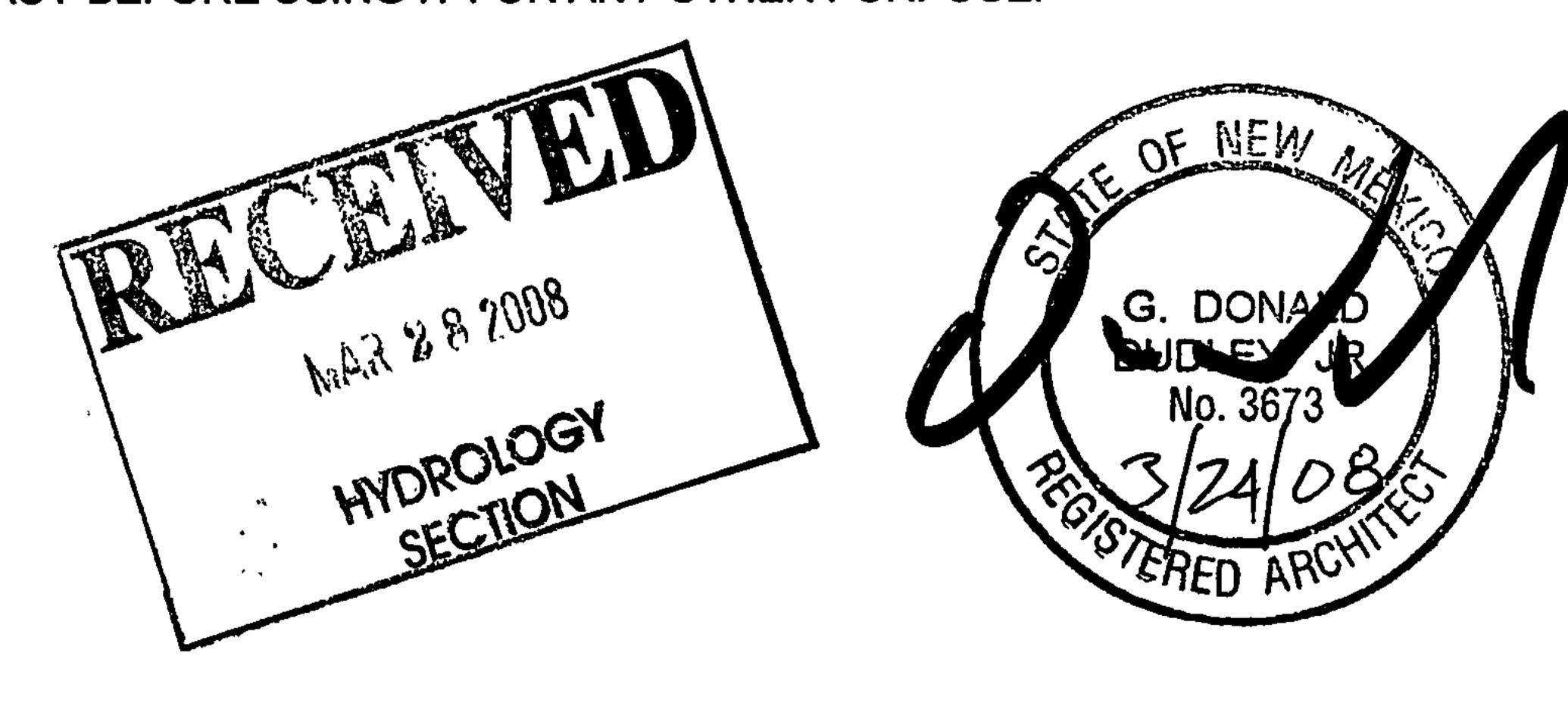
I AM REQUESTING THE FOLLOWING QUALIFICATIONS FOR THIS PROJECT.

PER THE APPROVED SITE PLAN, THE DISTANCE FROM THE REAR OF THE VAN ACCESSIBLE PARKING SPACE WAS INDICATED AT 7'-6". IT WAS CONSTRUCTED AT 3'-4". BECAUSE THE ACCESS AISLE ADJACENT TO THE VAN ACCESSIBLE SPACE IS AT AN ANGLE, THERE IS ENOUGH ROOM FOR A WHEELCHAIR LIFT TO OPERATE FREELY IN THE MIDDLE OF THE ACCESS AISLE.

I HAVE OBSERVED THE FOLLOWING REQUIRED CORRECTIONS:

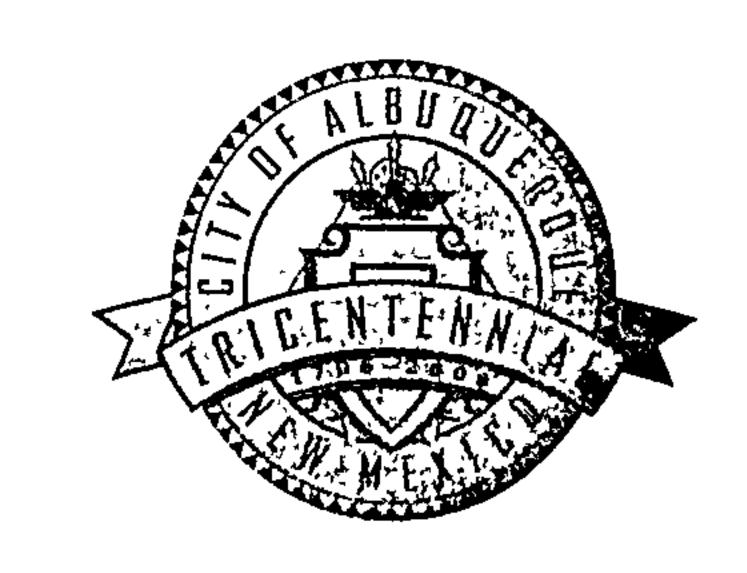
1) NONE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



simms tower studio 850 400 gold avenue s w albuquerque new mexico 87102 u s a 505 243 8100 505 243 8101

e studio@dondudleydesign.com DONDUDLEYDESIGN.COM



### Planning Department Transportation Development Services Section

March 7, 2008

G. Donald Dudley, Registered Architect, G Donald Dudley Architect LTD 400 Gold Ave. SW, Ste. 850 Albuquerque, NM 87102

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for Loveland Farms Drivep-Thru Convenience Store, [G-14 / D075]

3723 4th Street NW

Architect's Stamp Dated 03/05/08

Dear Mr. Dudley:

Based on the information provided on your submittal dated March 7, 2007, the above referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing the outstanding curb cut (needs to be close) issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

New Mexico 87103

www.cabq.gov

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Nilo E Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development ánd Building Services

Planning Départment

C:

Sincerety

Engineer
Hydrology file
CO Clerk

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005)

PROJECT TITLE: LOVELAND FARMS	ZONE MAP: 6-14/0075
DRB#: EPC#:	WORK ORDER#:
TEGAT DESCRIPTIONS LOVE AND HODGE	
CITY ADDRESS: 3723 4th 5/12/27	-ATTST DRIVE-THRU CONNENIENCE STORE
<u>ENGINEERING FIRM:</u>	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, ȘȚATE:	ZIP CODE:
	•
ARCHITECT: G. DONALD DUDLEY ABOU	CONTACT: DON DUBLEY
ADDRESS: 400 GOLD AVE SW	PHONE: <u>243 - 8100</u>
CITY, STATE: ALB, MM	ZIP CODE: <u>87/02</u>
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR:	
ADDRESS:	CONTACT:
CITY, STATE:	PHONE: ZIP CODE:
TYPE OF SUBMITTAL:	HECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROLPLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT	BUILDING PERMIT APPROVAL
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (DRB SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP)  GRADING PERMIT APPR WALL
OTHER (SPECIFY)	GRADING PERMIT APPROVAL  PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
	OTHER (SPECIFY) MAR 0 7 2008
WAS A PRE-DESIGN CONFERENCE ATTENDED:	HYDROLOGY
YES	•
	SECTION SECTION
COPY PROVIDED ·	
DATE SUBMITTED: 03.07.08	By. G. Donser Dubley ARLH

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
   Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

March 5, 2008

City of Albuquerque
Planning Department
Development & Building Services Division
600 2<sup>nd</sup> Street, NW
Albuquerque, NM 87102

Project:

Loveland Farms - 4<sup>th</sup> Street
Drive-Thru Convenience Store
3723 4<sup>th</sup> Street, NW
Albuquerque, NM 87107

RF.

TRAFFIC CERTIFICATION

I, DON DUDLEY, NEW MEXICO REGISTERED ARCHITECT OF THE FIRM G. DONALD DUDLEY ARCHITECT, LTD. HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 4/7/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DON DUDLEY OF THE FIRM G. DONALD DUDLEY ARCHITECT, LTD. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEVARAL OCCASIONS WHILE UNDER CONSTRUCTION AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

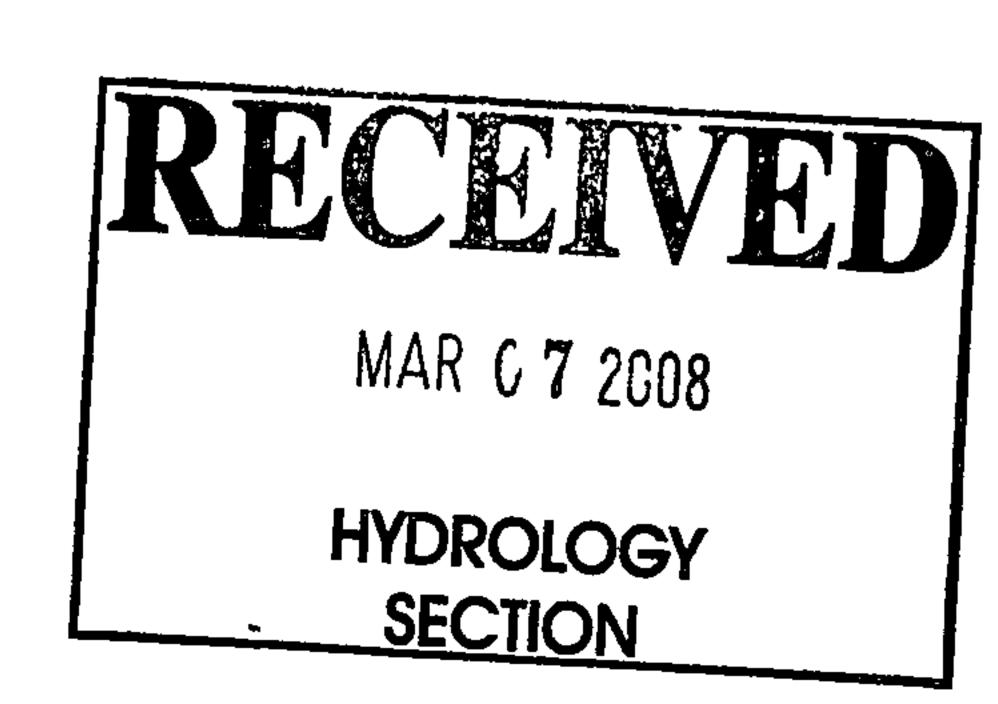
I AM REQUESTING THE FOLLOWING QUALIFICATIONS FOR THIS PROJECT.

1) PER THE APPROVED SITE PLAN, THE DISTANCE FROM THE REAR OF THE VAN ACCESSIBLE PARKING SPACE WAS INDICATED AT 7'-6". IT WAS CONSTRUCTED AT 3'-4". BECAUSE THE ACCESS AISLE ADJACENT TO THE VAN ACCESSIBLE SPACE IS AT AN ANGLE, THERE IS ENOUGH ROOM FOR A WHEELCHAIR LIFT TO OPERATE FREELY IN THE MIDDLE OF THE ACCESS AISLE.

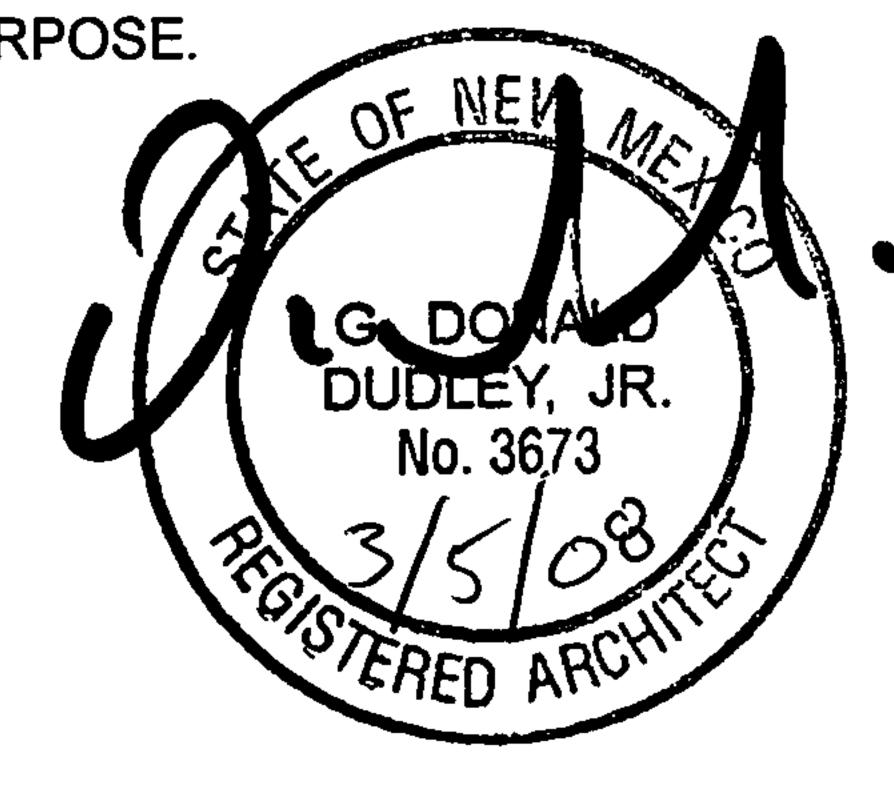
I HAVE OBSERVED THE FOLLOWING REQUIRED CORRECTIONS:

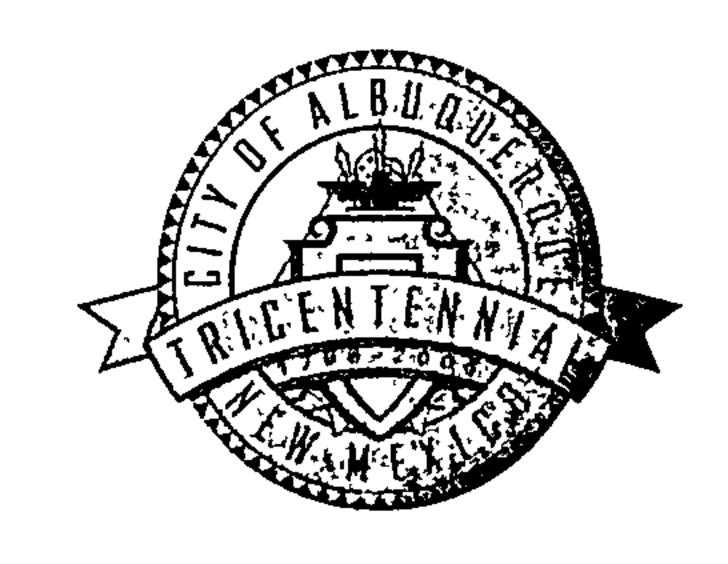
1) PER THE APPROVED SITE PLAN, THERE IS AN EXISTING CURB CUT ON FOURTH STREET THAT SHOULD HAVE BEEN REMOVED AND A NEW CURB CUT INSTALLED APPROXIMATELY TEN FEET TO THE SOUTH. THE CONTRACTOR SHALL PERFORM THIS WORK AND REPAIR THE SIDEWALK AS NECESSARY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.









March 7, 2008

Shahab Biazar, P.E.

Advanced Engineering & Consulting, LLC

4416 Anaheim Avenue NE
Albuquerque, NM 87113

Re: Loveland Farms Drive-Thru Convenience Store, 3723 4<sup>th</sup> Street NW, (G-14/D075)

Approval of Permanent Certificate of Occupancy,

Engineer's Stamp Dated: 1-22-07

Certification dated 3-05-2008

P.O. Box 1293

Mr. Biazar:

Albuquerque

Based upon the information provided in your submittal received 3/07/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

www.cabq.gov

Timothy Sims

Plan Checker-Hydrology, Planning Dept Development and Building Services

C: CO Clerk—Katrina Sigala file

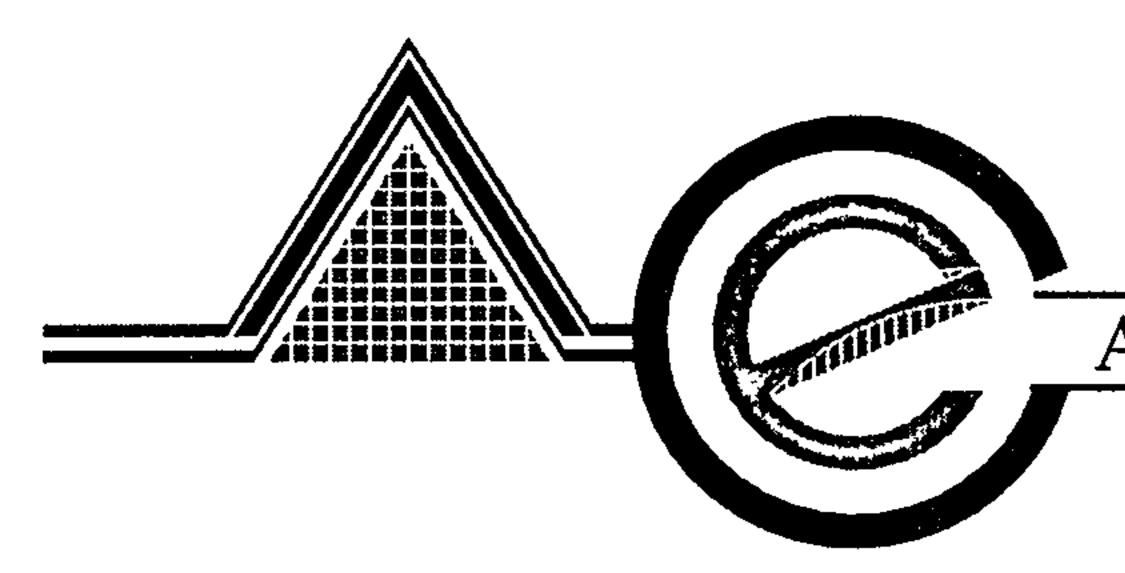
#### DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITI	LE: Lo	veland Farms / Drive-Thru C		ZONE ATLAS/DRG. FILE #: G14 / D75	<del></del>
DRB #:	·	EPC #:	WORK OF	RDER #:	<del></del>
LEGAL DESC	RIPTION:	PORTIONS OF LOTS 1 &	2, BLOCK 17, MONKB	RIDGE ADDITION	
CITY ADDRES	S:	3723 4th Street NW, Albuqu	erque, New Mexico 8710	)7	<del></del>
ENGINEERING	3 FIRM:	Advanced Engineering and	Consulting, LLC	CONTACT: Shahab Biazar	
ADDRI		16 Anaheim Ave., NE		PHONE: (505) 899-5570 ZIP CODE: 87113	<del></del>
CHY, SIA	AIE: AI	buquerque, New Mexico			<del></del>
OWNER: ADDRI	FSS:	<u> </u>	· · · ·	CONTACT:PHONE:	<del></del>
CITY, ST				ZIP CODE:	
ARCHITECT:				CONTACT:	
ADDRI CITY, ST				PHONE:	
•	M1L.				
SURVEYOR: ADDRI	 ESS:			CONTACT: PHONE:	
CITY, ST				ZIP CODE:	
CONTRACTO	<u>R:</u>			CONTACT:	
ADDRI CITY, ST	<del></del>	· · · · · · · · · · · · · · · · · · ·		PHONE: ZIP CODE:	
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D	RAINAGE	REPORT		SIA / FINANCIAL GUARANTEE RELEASE	
	RAINAGE	PLAN 1ST SUBMITTAL, REQUIR	ES TCL OR EQUAL	PRELIMINARY PLAT APPROVAL	
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C	LOMR / LO	OMR		FOUNDATION PERMIT APPROVAL	
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E	NGINEER'	S CERTIFICATION (DRB APPR. S	SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP.)	
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		^^ / ^=	/ 2000	BY: Shahab Biazar, P.E.	
DATE SUBMI	<del> </del>	03 / 05			
Paguagte fo	r annrova	ils of Site Development Plans	and/or Subdivision P	Plats shall be accompanied by a drainage submittal	i.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



#### ADVANCED ENGINEERING and CONSULTING, LLC

March 5, 2008

Consulting
Design
Development
Management
Inspection
Surveying

Mr. Bradley L. Bingham, P.E. Sr. Engineer, Planing Dept. Development and Building Services 600 Second Street NW Albuquerque, New Mexico 87102

RE: Final Certification Of Occupancy For Loveland Farms- 4<sup>th</sup> Street, Lots 1 and 2, Block 17 of the Monkbridge Addition (G14/D75)

Dear Mr. Bingham:

This letter is in request of Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 01/22/2007. All the pavement is in place. There are few very minor low and flat spots but no were close to the building or close to the finished floor elevation that would impact the building. When the water exceeds an elevation of  $\pm 1$ " it will push itself out as it was intended on the grading plan.

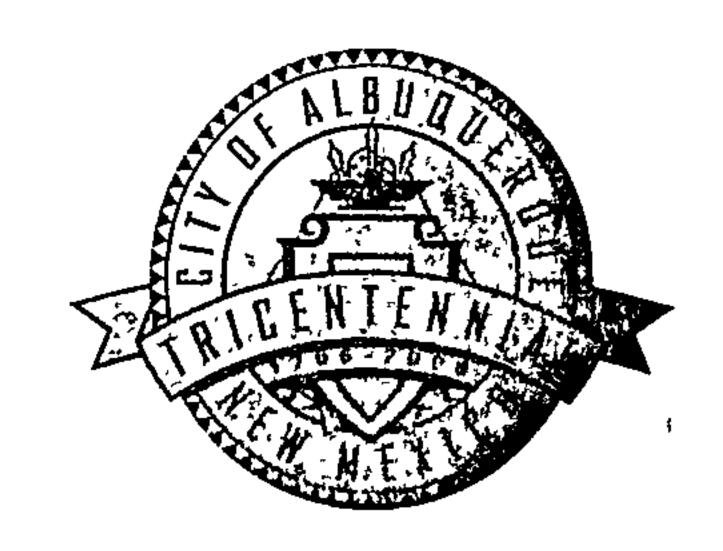
Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biaz

MAR 672308

HYDROLOGY SECTION



September 7, 2007

Jeff Chiavetta, R.A.
Daily Design Architecture and Interiors
1819 Rita Dr. NE
Albuquerque, NM 87106-1131

Re:

Loveland Farms, 3723 4<sup>th</sup> Street NW, Traffic Circulation Layout Architect's Stamp dated 9-06-07 (G14-D075)

Dear Mr. Chiavetta,

The TCL submittal received 9-06-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza

Del Sol Building.

www.cabq.gov

New Mexico 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C:

File

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Loveland Farms	ZONE MAP: 4-14 DO75
DRB#: EPC#: WOR	K ORDER#:
LEGAL DESCRIPTION: Portion of Lots 142, block 17, monkbridge CITY ADDRESS: 3723 4th 14 NW	e add'n.
ENGINEERING FIRM: Advanced Engineering  ADDRESS:  CITY, STATE:	CONTACT: Shakeb Biazar PHONE: 899-5570 ZIP CODE:
OWNER: Loveland Farms  ADDRESS: CITY, STATE:	CONTACT: Meline Levett PHONE: 922-5555 ZIP CODE:
ARCHITECT: dailyderign ADDRESS: 1819 Rite NE CITY, STATE:	CONTACT: Jeff Chiavetta PHONE: 980.0389 ZIP CODE: 67106
SURVEYOR:  ADDRESS:  CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR:  ADDRESS:  CITY, STATE:	CONTACT: PHONE: ZIP CODE:
DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PLAN) GRADING PE	AL GUARANTEE RELEASE LY PLAT APPROVAL I FOR SUB'D APPROVAL BLDG. PERMIT APPROVAL N APPROVAL APPROVAL N PERMIT APPROVAL ERMIT APPROVAL E OF OCCUPANCY (PERM) E OF OCCUPANCY (TEMP) ERMIT APPROVAL MIT APPROVAL MIT APPROVAL R APPROVAL ERMIT APPROVAL ERMIT APPROVAL
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

## 相相

architecture + interiors

## dailydesign

1819 rita drive northeast albuquerque new mexico 87106 tel 505.980.0389 fax 505.266.6104

September 5, 2007

Kristal Metro Senior Engineer, Planning Department City of Albuquerque

Re: Responses to TCL review letter of August 17, 2007 for 3723 4th St NW

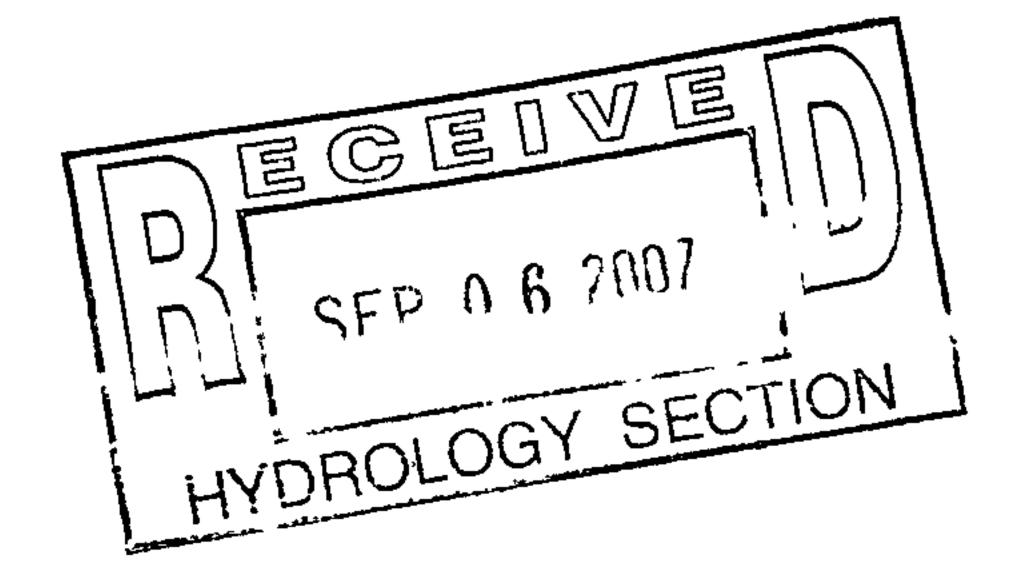
Dear Kristal,

Following are the responses to your comments:

- 1. Build note changed from City Standard 2426 to 2425 and clouded.
- 2. Keynote 14 revised to indicate that existing drive pads no longer utilized shall be replaced with standard curb & gutter and sidewalk. Linework added to site plan clarifying the curb cuts.
- 3. Wheelchair ramp build notes have been deleted; we will be providing a 3-foot ADA pathway.

Sincerely, dailydesign

Jeff Chiavetta
Principal / Architect





August 17, 2007

Jeff Chiavetta, R.A.
Daily Design Architecture and Interiors
1819 Rita Dr. NE
Albuquerque, NM 87106-1131

Re: Loveland Farms, 3723 4<sup>th</sup> Street NW, Traffic Circulation Layout Architect's Stamp dated 8-14-07 (G14-D75)

Dear Mr. Chiavetta,

Based upon the information provided in your submittal received 8-14-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

- 1. The build notes refer to City Standard 2426 for proposed entrances. The build note should refer to City Standard 2425.
- 2. Existing drivepads that are no longer in use must be removed and replaced with sidewalk and curb and gutter. Please add the appropriate notes to your plan.
- 3. Your build notes provide information for wheelchair and unidirectional wheelchair ramps. Are you building wheelchair ramps, or will you be providing a 3-foot ADA path per City Standard 2425? If you will be building a 3-foot ADA path, please remove the wheelchair ramp information from the build notes.

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

(Rev. 12/0	5) -
PROJECT TITLE: Love land Farms  DRB#: EPC#:	ZONE MAP/DRG. FILE # G~14 D <sup>2</sup> T <sup>3</sup> WORK ORDER#:
LEGAL DESCRIPTION: Portion of Lot 142, block 17, CITY ADDRESS: 3723 44 St NW 87107	· · · · · · · · · · · · · · · · · · ·
ENGINEERING FIRM: Advanced Engineering.  ADDRESS:  CITY, STATE: ABQ  OWNER: Loveland Farm, Dev. Co.  ADDRESS:  CITY, STATE: ABQ  ADDRESS:	CONTACT: Mahab Biezar PHONE: 879-5570  ZIP CODE:  CONTACT: Melivra Larntz PHONE: 972-0500  ZIP CODE:  CONTACT: Jeff Chiavetta
ARCHITECT: AGILY AFILYY ADDRESS: 1719 MY 12 CITY, STATE: AGG 87106	PHONE: 970 · 0387 ZIP CODE:
SURVEYOR:  ADDRESS:  CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR:  ADDRESS:  CITY, STATE:	CONTACT: PHONE: ZIP CODE:
DRAINAGE REPORT  DRAINAGE PLAN 1st SUBMITTAL  DRAINAGE PLAN RESUBMITTAL  CONCEPTUAL G & D PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT Periodical (Incl.)  ENGINEER/ARCHITECT CERT (DRB S.P.)  ENGINEER/ARCHITECT CERT (AA)  OTHER (SPECIFY)	TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:  YES NO CORY PROVIDED	AUG 1 4 2007  HYDROLOGY SECTION
COPY PROVIDED SUBMITTED BY:	DATE: 8/14/07

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

#### architecture + interiors



1819 rita drive northeast albuquerque new mexico 87106 tel 505.980.0389 fax 505.266.6104

August 10, 2007

April 1

Kristal Metro Senior Engineer, Planning Department City of Albuquerque

Re: Responses to TCL review letter of July 31, 2006 for 3723 4th St NW

Dear Kristal,

Following are the responses to your comments:

- 1. The striping is now shown on 4th street and Veranda Rd. There is an existing striped turn-lane running the length of 4th street from Candelaria north past our site. There should be ample space for vehicles to queue in the turn-lane if the on-site provided queue of 5 vehicles is exceeded. There is no median on 4th Street in this area. I met with Wilfred Gallegos on August 9th and he indicated that this item was sufficiently addressed.
  - 2. Build notes indicated on site plan.
  - 3. Sidewalks have been dimensioned. A sidewalk easement has been recorded by the owner along the 4th Street frontage.
  - 4. The nearest driveways on adjacent lots have been dimensioned.
  - 5. Property lines are shown on the plan.
- 6. The 4th Street entrance has no design flexibility we need two opposing flows of traffic and have placed them as far as possible from the intersection of 4th Street and Veranda: I-met-with Wilfred Gallegos on August 9th and he indicated that this item was sufficiently addressed.
- 7. The handicap parking space provides for a total width of 16 feet.
- 8. The pedestrian access path is easily provided the sidewalk along 4th Street is 8'-6" wide and the sidewalk along Veranda is 9'-8" wide.

9. The driveway locations on the proposed site plan are an improvement over the existing driveway locations. There is no way to provide the desired use on this particular property and conform to the latest requirement regarding driveway spacing from intersections: I met-with-Wilfred-Gallegos on-August-9th-and he indicated that this item-was sufficiently addressed.

Sincerely,

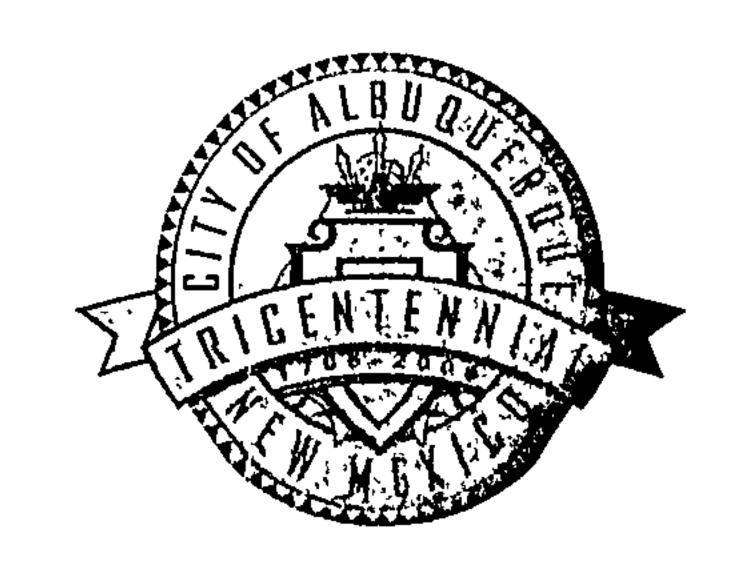
dailydesign

Jeff Chiavetta

Principal / Architect

8/16/07 - highlighted items verified by was





July 31, 2006

Jeff Chiavetta, R.A.
Daily Design Architecture and Interiors
1819 Rita Dr. NE
Albuquerque, NM 87106-1131

Re: Loveland Farms, 3723 4<sup>th</sup> Street NW, Traffic Circulation Layout Architect's Stamp dated 7-24-06 (G14-D75)

Dear Mr. Chiavetta,

Based upon the information provided in your submittal received 7-24-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

1. Show the striping on 4<sup>th</sup> Street. What accommodations are being made to prevent backup into 4<sup>th</sup> Street? In addition, based on the conditions shown, you may not be allowed to have left turning vehicles entering the site from here. Please provide more information.

Albuquerque

- 2. Provide build notes and refer to all appropriate City Standards.
- 3. Define the width of all sidewalk.

New Mexico 87103

- 4. Please show the location of the nearest driveway on the adjacent lot.
- 5. Show the property line along 4<sup>th</sup> Street.
- 6. The 4<sup>th</sup> Street entrance will need to be modified, since the existing drivepad width will be changed.

www.cabq.gov

- 7. The handicapped spaces must include an 8-foot wide van access aisle.
- 8. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%.
- 9. Per Chapter 23, Section 6, Part B.5 of the City of Albuquerque *Development Process Manual*, any drive on a local roadway that is intersecting with a minor arterial must be located a minimum of 50 feet from the intersection.

If you have any questions, you can contact me at 924-3981.

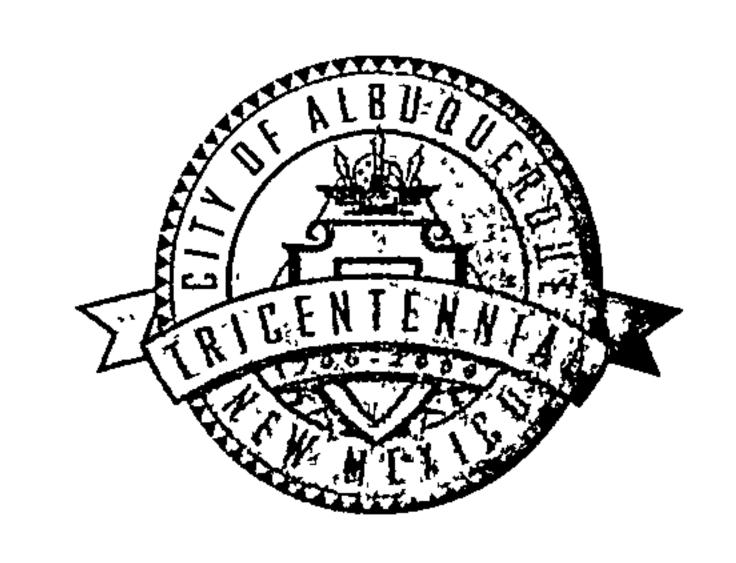
Kristal D. Metro, P.E.

Sincerely,

Senior Engineer, Planning Dept.

Development and Building Services

C: File



January 30, 2007

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Ave., NE
Albuquerque, NM 87113

Re: Loveland Farms – 4<sup>th</sup> Street, Engineer's Stamp dated 1-22-07 (G14/D75) Lots 1 and 2 Block 17 of the Monkbridge Addition

Dear Mr. Biazar,

Based upon the information provided in your submittal received on January 23, 2007, the above referenced plan is approved for Grading and Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Albuquerque

Jeremy Hoover P.E.

New Mexico 87102 Senior

Senior Engineer
Hydrology Section

Development and Building Services

www.cabq.gov

cc:

file

G14/D75

#### DRAINAGE INFORMATION SHEET

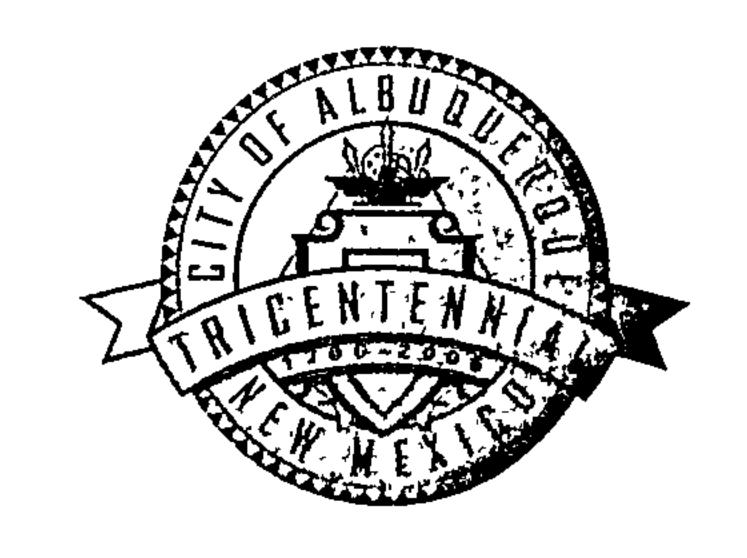
(REV. 1/28/2003rd)

6-14/075

PROJECT TITL	E: Loveland Farms	/ Drive-Thru Convenience Store	ZONE ATLA	S/DRG. FILE #: <u>G14 / D75</u>
DRB #:	EPC ;	#: WORK	ORDER #:	
LEGAL DESCR	RIPTION: PORTIC	NS OF LOTS 1 & 2, BLOCK 17, MON	KBRIDGE ADDITI	ON
CITY ADDRESS		Street NW, Albuquerque, New Mexico		
ENGINEERING	FIRM: Advanced	Engineering and Consulting, LLC	CONTA	
ADDRE	SS: 4416 Anaheim Ave.,	NE	PHC ZIP CC	NE: (505) 899-5570 DE: 87113
CITY, STA	TE: Albuquerque, New	Mexico	. <del></del>	
OWNER:	·		CONTA	
ADDRE CITY, STA			ZIP CC	
ARCHITECT:			CONTA	\CT:
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CITY, STA	\TE:	······································	ZIP CC	
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ADDRE CITY, STA			ZIP CC	
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	OPY PROVIDED			
DATE SUBMI	TTED:	11 / 10 / 2006	BY:	Shahab Biazar, P.E.
			an Diata abali ba	accompanied by a drainage submittal.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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November 27, 2006

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim NE
Albuquerque, NM 87113

Re: Loveland Farms – 4<sup>th</sup> Street, Engineer's Stamp dated 11-10-06 Lots 1 and 2 Block 17 of the Monkbridge Addition (G14/D75)

Dear Mr. Broughton,

Based on the information contained in your submittal received on November 13, 2006, there are some additional items that must be addressed prior to Building Permit Approval. Those items are as follows.

- The note for Utility Line Locating should reference New Mexico 1-Call at 260-1990.
- Construction of the new driveways / reconstruction of the existing driveways must conform to standard drawing #2425. Please include a note to that effect.
- Runoff from dumpster enclosures may not drain offsite via surface flow. Drains to the sanitary sewer must be included with the site work. A separate detail and / or corner and drain spot elevations must be shown on the plan.
- Please include spot elevations at each corner / terminus of the on-site curbs.
- It is unclear why the ground / concrete elevation immediately adjacent to the front door is 6-inches higher than the structure's finished floor elevation. This appears to be a typographical error.
- Please provide spot elevations along the sidewalk leading from the building towards Veranda. Will these be 4-inch of 6-inch slabs? Will they be level or will any cross-slope be constructed?
- Please clarify the difference between the new concrete and landscaping areas. The curb along the easterly egress to 4<sup>th</sup> Street appears to blend into the landscape area. Another entry on the plan legend would be appropriate.

If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

pun

Jeremy Hoover, P.E. Senior Engineer

Hydrology Section

Development and Building Services

cc: file (G14/D75)

#### DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT	TITLE:	Loveland Farms / Drive-Thru Convenience Store	ZONE ATLAS/DRG. FILE #: G14 D75
DRB #:		EPC #: WORK OI	RDER #:
LEGAL DE	SCRIPTION	: PORTIONS OF LOTS 1 & 2, BLOCK 17, MONKB	RIDGE ADDITION
CITY ADDR	RESS:	3723 4th Street NW, Albuquerque, New Mexico 8710	07
ENGINEER		Advanced Engineering and Consulting, LLC	CONTACT: Shahab Biazar
		4416 Anaheim Ave., NE Albuquerque, New Mexico	PHONE: (505) 899-5570  ZIP CODE: 87113
OWNER:			CONTACT:
ADI	DRESS:		PHONE: ZIP CODE:
•	STATE:		
ARCHITEC ADI	DRESS:		CONTACT: PHONE:
CITY,	STATE:		ZIP CODE:
SURVEYO	<u>R:</u> DRESS:		CONTACT:PHONE:
	STATE:		ZIP CODE:
CONTRAC	<u>TOR:</u>		CONTACT:
	DRESS:		PHONE: ZIP CODE:
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<u>X</u>	DRAINAGE	E REPORT	SIA / FINANCIAL GUARANTEE RELEASE
	DRAINAGE	E PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL	PRELIMINARY PLAT APPROVAL
	CONCEPT	UAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL
X	GRADING	PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
	EROSION	CONTROL PLAN	SECTOR PLAN APPROVAL
	ENGINEER	R'S CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL
	CLOMR/L	.OMR	FOUNDATION PERMIT APPROVAL
	TRAFFIC (	CIRCULATION LAYOUT (TCL)	X BUILDING PERMIT APPROVAL
	ENGINEER	R'S CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (PERM.)
	ENGINEER	R'S CERTIFICATION (DRB APPR. SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP.)
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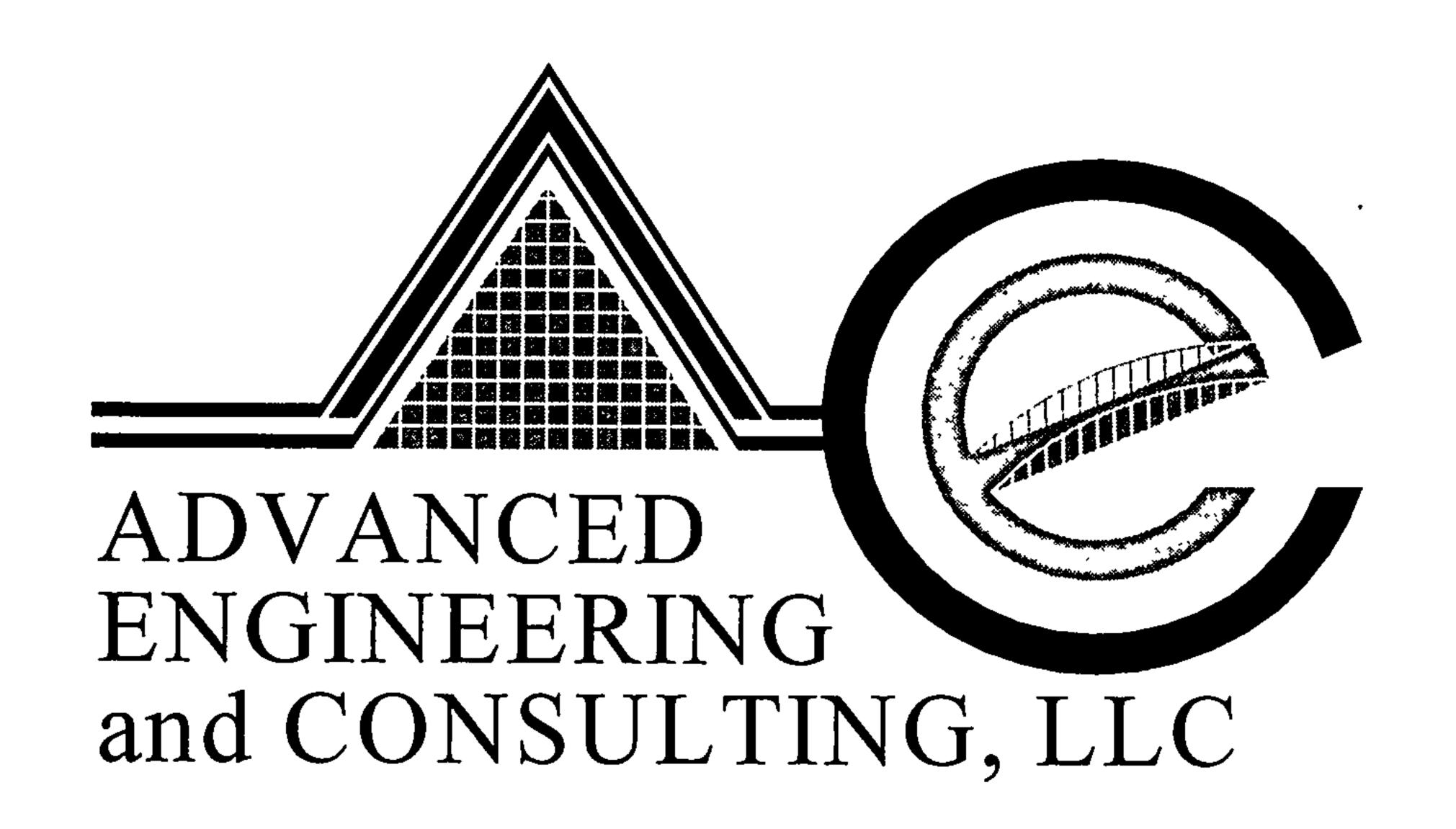
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## DRAINAGE REPORT FOR

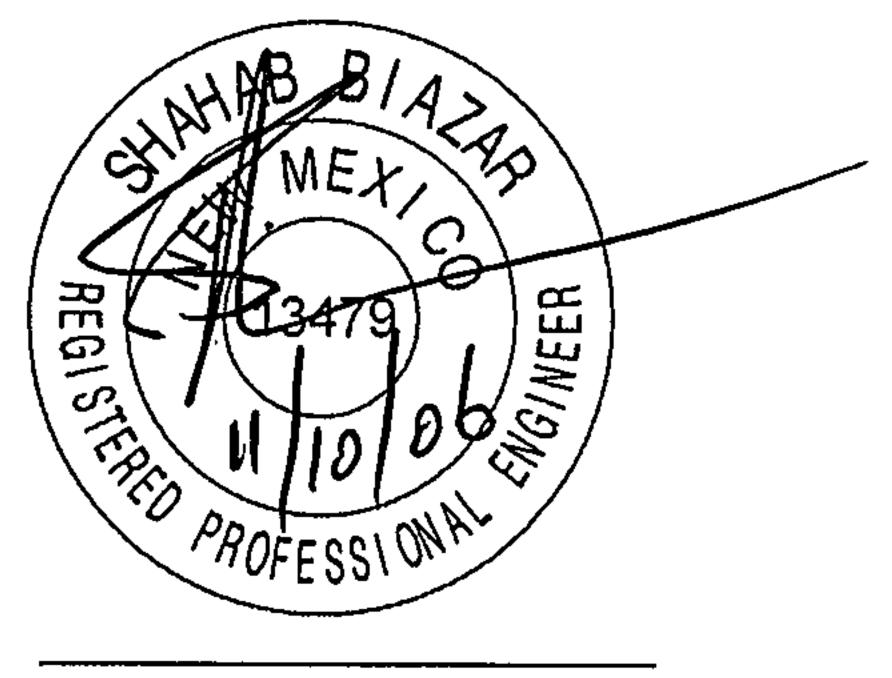
# Loveland Farms Drive-Thru Convenience Store (3723 4th Street NW)

Prepared by:

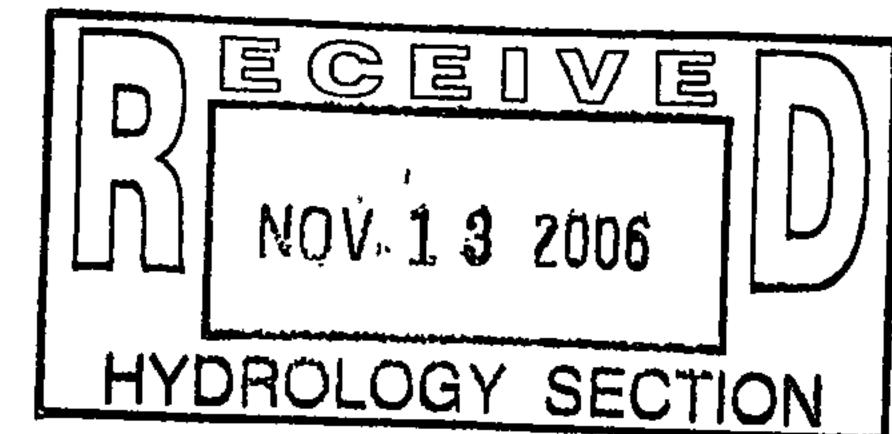


4416 Anaheim Ave., NE Albuquerque, New Mexico 87113

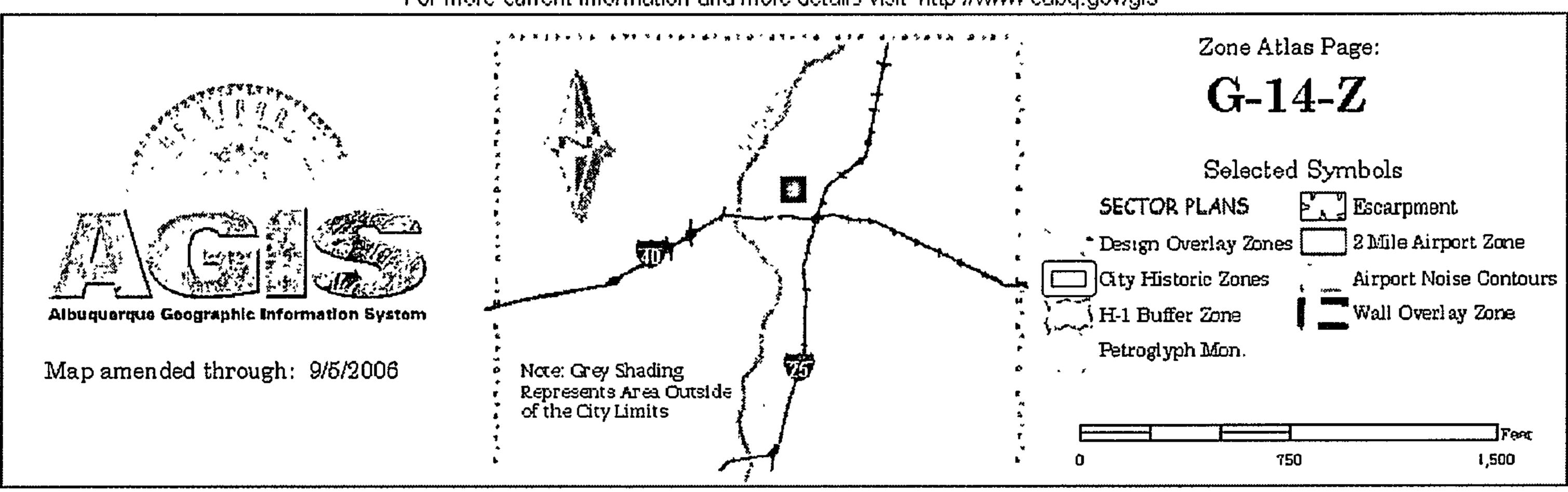
November, 2006



Shahab Biazar PE NO. 13479







#### Location

Loveland Farms (Drive-Thru Convenience Store) is located at 3723 4th Street NW.

This project is within Portion of Lots 1 and 2, Block 17, Monkbridge Addition. See attached

Zone Atlas page number G-16 for exact location.

#### Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading approval as well as building permit approval.

#### **Existing Drainage Conditions**

This existing site is developed with an exiting building. Over 95% of the site is impervious. The site drains to Veranda Road and 4<sup>th</sup> Street at an exiting 100-year/6-hour runoff of 1.16 cfs. The runoff from Veranda Road and 4<sup>th</sup> Street then will drain to an exiting drop inlet located on 4<sup>th</sup> Street just south of Veranda Road. The runoff to the north and to the east is intercepted by the existing curb and gutter and does not enter this site. The lots to the west and to the south are developed and do not drain to this site either. Therefore, no offsite runoff enters this site. The site does not fall within an existing 100-year floodplain.

#### Proposed Conditions and On-Site Drainage Management Plan

The exiting improvements on site will be removed and replaced by the proposed improvements shown on the enclosed grading and drainage plan. The drainage pattern on-site will remain the same under the developed conditions. The developed runoff will drain to Veranda Road and 4<sup>th</sup> Street. Then from there the runoff will continue to drain to an exiting drop inlet located on 4<sup>th</sup> Street just south of Veranda Road. More landscaping is being proposed under the developed conditions. Therefore, 100-year/6-hour runoff under the proposed conditions (1.15 cfs) is slightly less than existing 100-year/6-hour runoff (1.18 cfs).

#### Calculations

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, was used for runoff calculations. See this report for Summary Table for runoff results. See also this report for calculations as well as the AHYMO input and output files for runoff calculations.

#### RUNOFF CALCULATIONS

(INPUT DATA FOR AHYMO CALCULATIONS)

The site is @ Zone 2

#### DEPTH (INCHES) @ 100-YEAR STORM

 $P_{60} = 2.01$  inches

 $P_{360} = 2.35 \text{ inches}$ 

 $P_{1440} = 2.75 \text{ inches}$ 

#### DEPTH (INCHES) @ 10-YEAR STORM

 $P_{60} = 2.01 \times 0.667$ = 1.34 inches

 $P_{360} = 1.57$ 

 $P_{1440} = 1.83$ 

See the summary output from AHYMO calculations.

Also see the following summary tables.

See this report for Summary Tables for the runoff and input file and summary output from AHYMO calculations.

#### RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI²)
ON-SITE	11,039.26	0.2534	0.000396

#### **EXISTING**

BASIN	Q-100	Q-10	TREATMENT
	CFS	CFS	A, B, C, D
ON-SITE	1.18	0.77	0%, 4%, 0%, 96%

#### PROPOSED

BASIN	Q-100	Q-10	TREATMENT
	CFS	CFS	A, B, C, D
ON-SITE	1.15	0.74	0%, 12%, 0%, 88%

#### AHYMO INPUT FILE

* ZONE 2 ************	*************
* 100-YEAR,	6-HR STORM (UNDER EXISITNG CONDITIONS) * ***********************************
START	TIME=0.0
RAINFALL	TYPE=1 RAIN QUARTER=0.0 IN
	RAIN ONE=2.01 IN RAIN SIX=2.35 IN
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FINISH	

#### SUMMARY OUTPUT FILE

AHYMO PROGRAI		OMYHA)	97) -			VERSION: 199	97.02d t		_	/YR) =11/1 9702c01000	-
		FROM	TO		PEAK	RUNOFF		TIME TO	CFS	PAGE =	: 1
	HYDROGRAPH	ID	ID	AREA	DISCHARGE	VOLUME	RUNOFF	PEAK	PER		
COMMAND	IDENTIFICATION	NO.	NO.	(SQ MI)	(CFS)	(AC-FT)	(INCHES)	(HOURS)	ACRE	NOTATI	ON
START					-					00.703.470	0.0
	′ກ¤⊶ 1									TIME=	.00
	PE= 1		-1	00040						RAIN6=	2.350
COMPUTE NM H	YD 100.00		Т	.00040	1.18	.044	2.06188	1.500	4.649	PER IMP=	96.00
START										TIME =	.00
	PE= 1									RAIN6=	1.570
COMPUTE NM H	YD 110.00	-	1	.00040	.77	.027	1.29528	1.500	3.045	PER IMP=	96.00
START										TIME=	.00
RAINFALL TY	PE= 1									RAIN6=	2.350
COMPUTE NM H	YD 100.10	_	1	.00040	1.15	.042	1.98165	1.500	4.526	PER IMP=	90.00
START										TIME=	.00
RAINFALL TY	PE= 1									RAIN6=	1.570
COMPUTE NM H	YD 110.10		1	.00040	.74	.026	1.23172	1.500	2.923	PER IMP=	90.00

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