

Traffic Circulation Layout  
1" = 10'-0"

project description

Fastino's is a drive-through restaurant; this facility is a remodel to an existing drive-through building. this facility is not designed to accommodate patron dinign in the building.

legal description

Portions of Lots 1 & 2, Block 17, Monkbridge Addition

lot size

0.2571 acres

building size

674 gsf / 540 nsf

building & traffic circulation concept

The project is designed to accommodate the existing parking layout with the exception of relocating the trash enclosure to be accessible from Veranda Street, and associated adjustments in header curb and landscape, and the relocation of the building entry requiring adjustment of the accessible walkway routing.

there have been no traffic impact studies.

parking (existing and remains as-is)

base required parking:

service use - 1200 nsf

540 nsf / 200 sf = 2.7, therefore 3 spaces required.

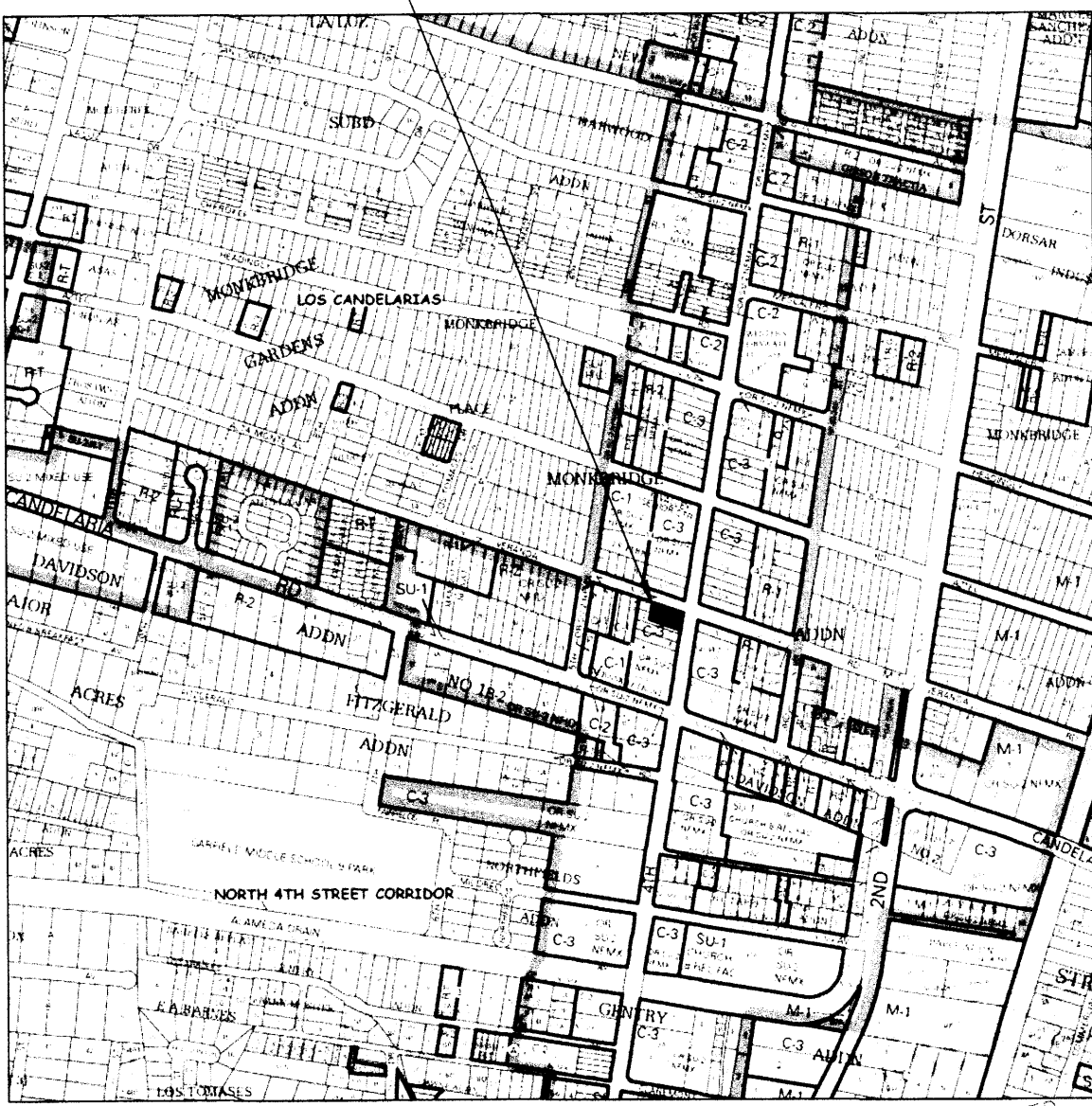
provided parking:

3 standard spaces

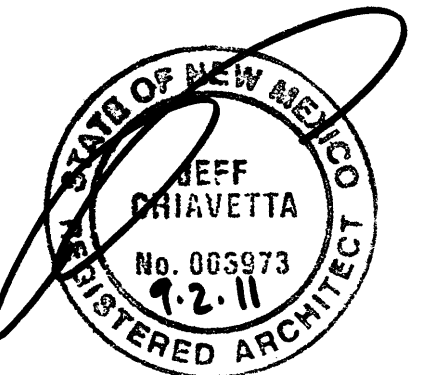
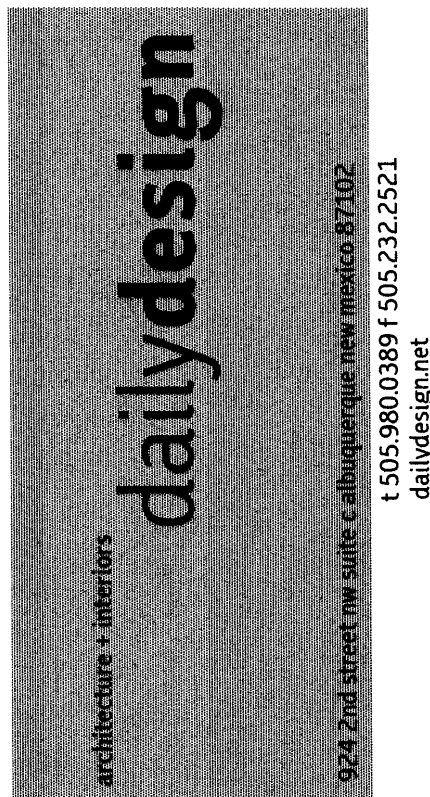
1 accessible (van)

4 total on-site

1 motorcycle space

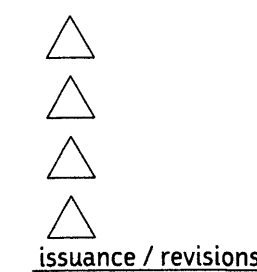


1 Vicinity Map - N.T.S.  
C.O.A Zone Map g-14



project

Fastino's  
Drive-Thru Restaurant  
3723 4th St NW  
Albuquerque NM 87107



issuance / revisions

drawn by

reviewed by

date 110902

project # 11002

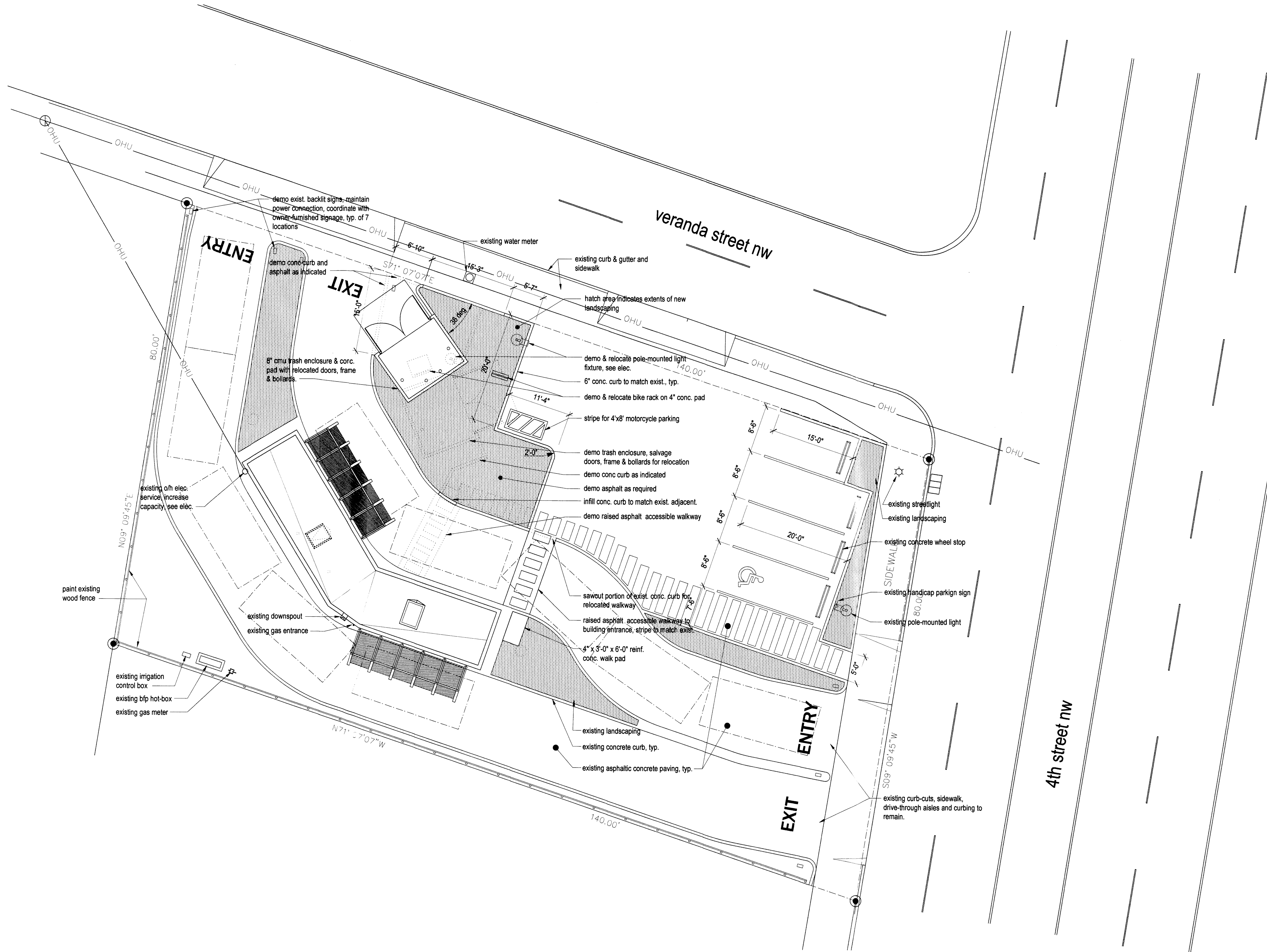
drawing name

Traffic Circulation  
Layout

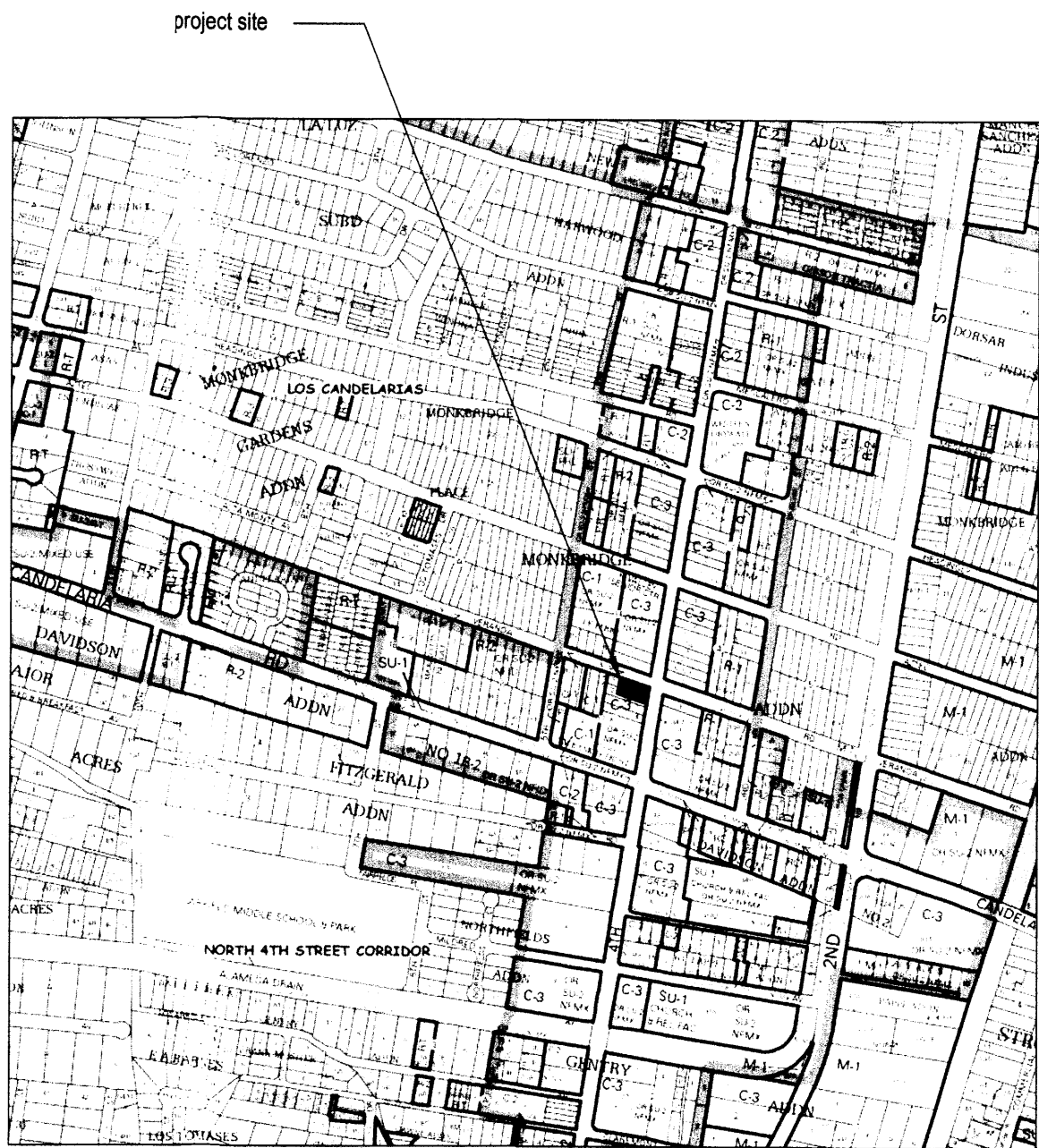
sheet number

TCL  
of





Traffic Circulation Layout  
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base required parking:  
service use - 1,200 nsf  
540 nsf / 200 sf = 2.7, therefore 3 spaces required.

provided parking:

3 standard spaces  
1 accessible (van)  
4 total on-site

1 motorcycle space

project

Fastino's  
Drive-Thru Restaurant  
3723 4th St NW  
Albuquerque NM 87107

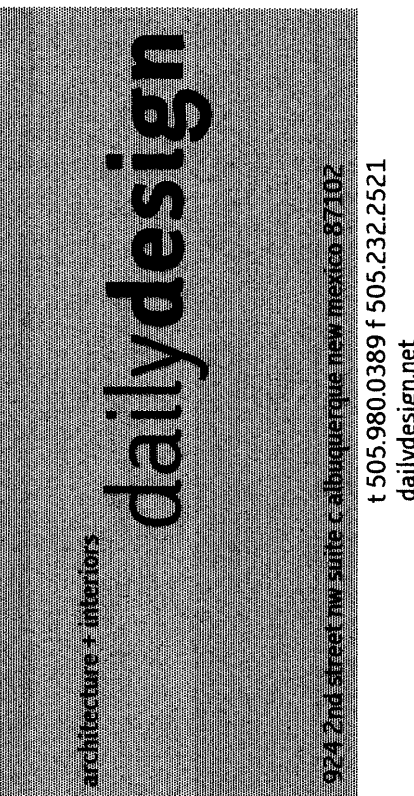
▲  
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issuance / revisions

drawn by  
reviewed by  
date 110902  
project # 11002  
drawing name

Traffic Circulation  
Layout

sheet number

TCL  
of



SEP 2 2011



x of x



## project data

use:  
bldg sf:  
construction type:  
occupancy:  
accession's parcel no.:  
existing zone:  
land use:  
parcel area:

drive thorough retail  
540 net sf (827 gross sf)  
V-B  
group M  
1014 080 358 184 40908  
C-3  
commercial zone  
3.659 ac

## parking summary

parking at 1/200 net  
540sf / 200 = 2.7, therefore 3  
total parking required = 3 spaces, 1 motorcycle  
total parking provided = 4 spaces (1 accessible), 1 motorcycle

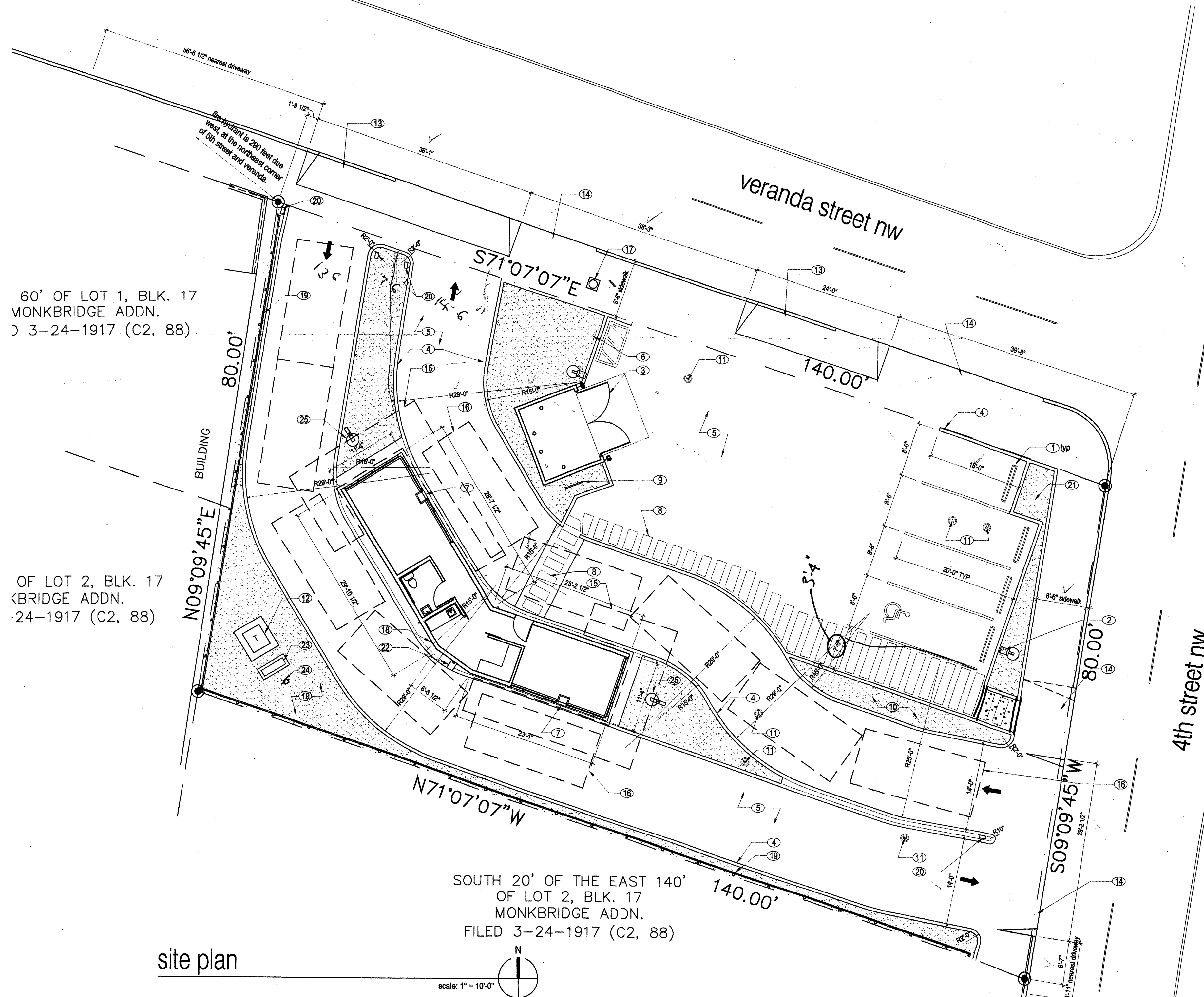
Legal Description: Portions of lots 1 & 2, block 17 monkbridge addition section 5, T 10 N., R 3 E



vicinity map

COA zone map atlas page G - 14

N.T.S.



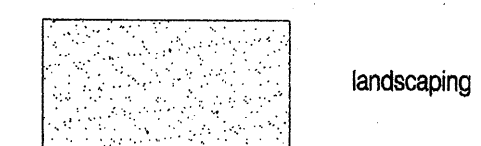
site plan

scale: 1" = 10'-0"

## keynotes

1. precast concrete wheel stop
2. handicapped parking sign, see 11/A050
3. standard single front loading trash enclosure, see 18/A050
4. 6" concrete curb per COA std.
5. asphaltic concrete paving see 1/A050
6. motorcycle parking sign
7. drive up transaction window
8. painted accessible pathway
9. bike rack, galvanized 2" pipe.
10. landscaping, see landscape plan
11. existing monitoring well covers
12. electrical transformer, see electrical
13. new curb cut per COA std.
14. existing curb cut, remove and replace with standard curb & gutter and sidewalk where not utilized.
15. line of canopy above
16. vehicle queue
17. existing water meter
18. gas piping building entrance, see plumbing
19. painted 6" wood fence, see detail x0/x0x
20. backlit traffic entry/exit sign, see detail x0/x0x
21. 20' pole-mounted single-head light fixture, see 19/A050
22. downspout into steel covered trench, daylight at face of curb
23. hot box on concrete slab, see plumbing
24. gas meter, see plumbing
25. 24" dia. concrete pedestal, see structural

## legend

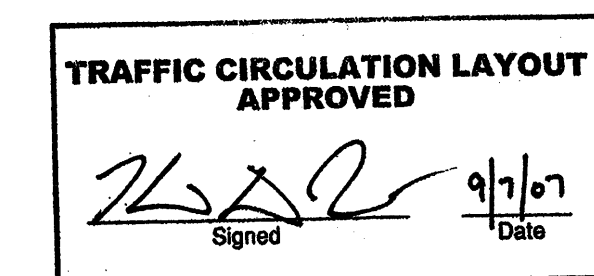
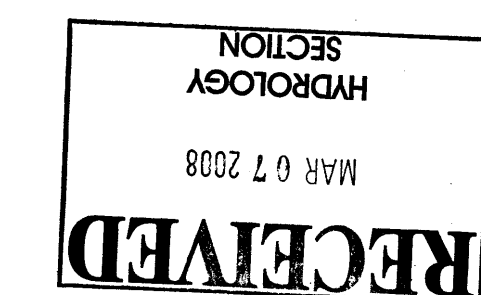


landscaping

project

## COA build notes

6" concrete curb per COA std dwg #2415B  
4' and 6' sidewalk per COA std dwg #2430  
entrance per COA std dwg #2425  
concrete header curb per COA std dwg #2415  
valley gutter per COA std dwg #2420  
standard curb & gutter per COA std dwg #2415  
mountable curb & gutter per COA std dwg #2415



Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRG/Permit approval  
and Work Order required.

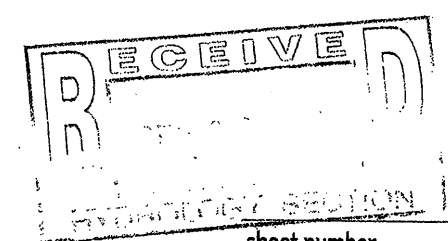
ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Loveland Farms - 4th St  
Drive-Thru Convenience Store  
3723 4th Street NW  
Albuquerque NM 87107

070823 TOL correction  
issuance / revisions

drawn by JCC  
reviewed by JCC  
date 070810  
project # 0801  
drawing name

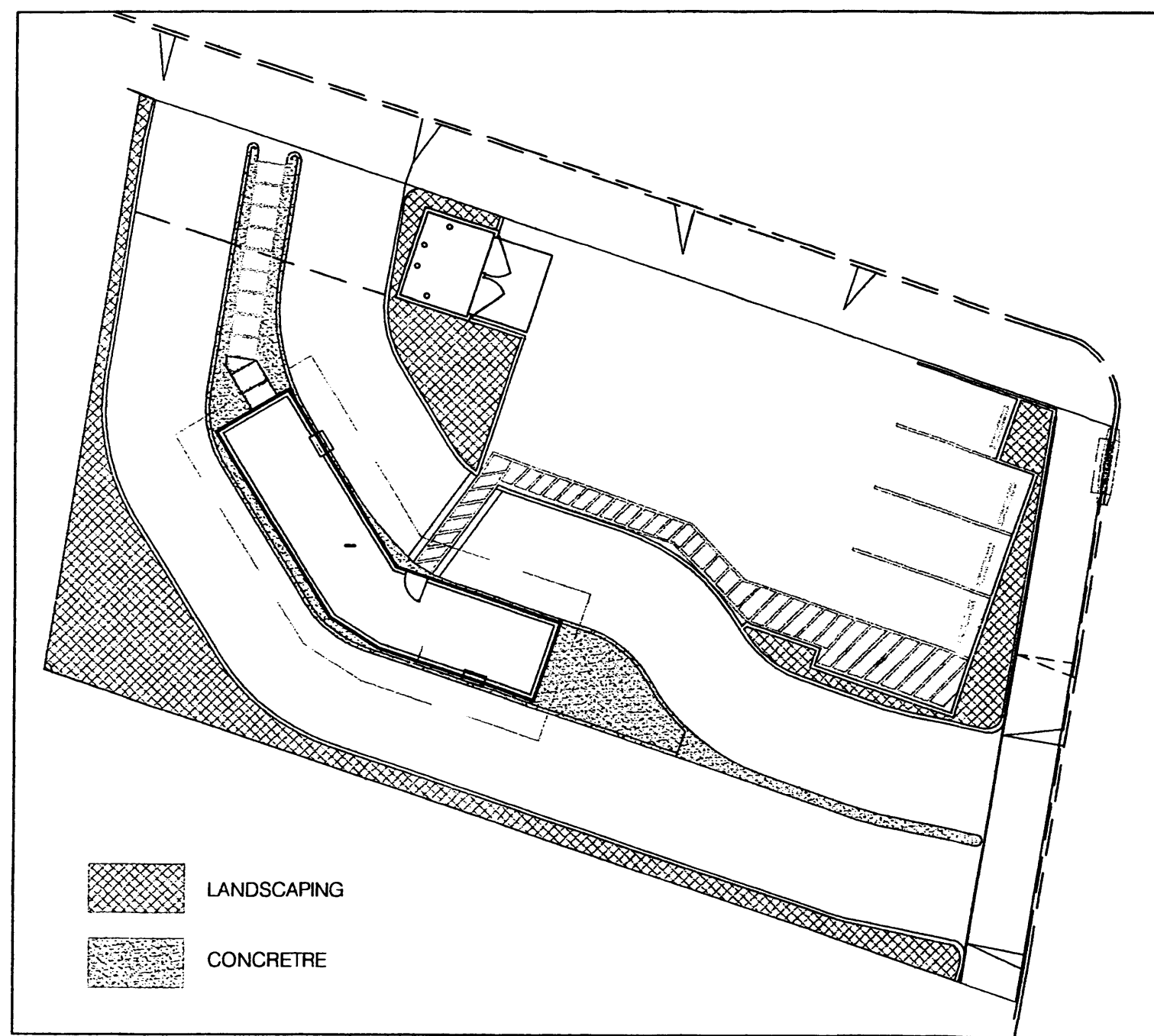
Site Plan



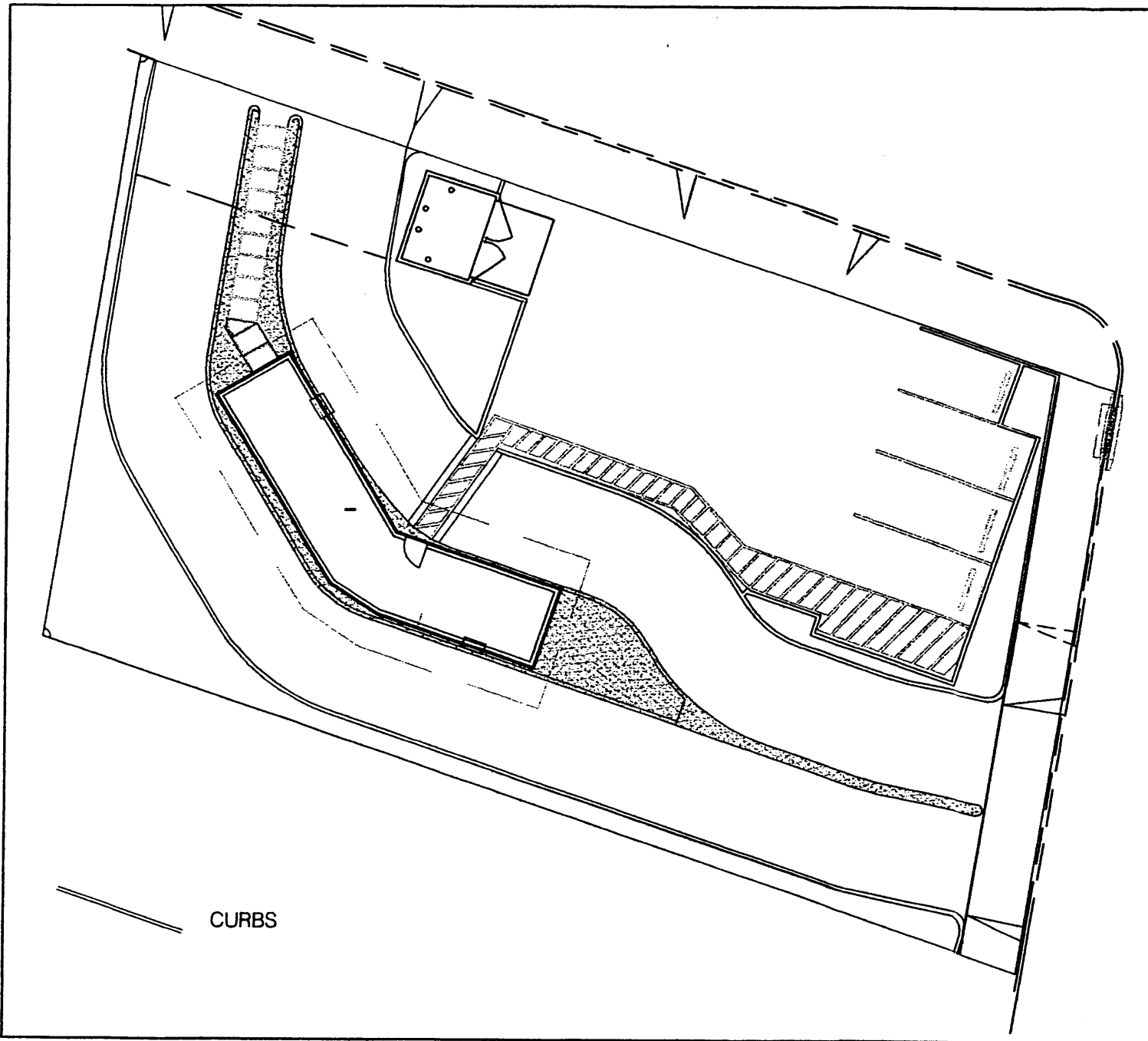
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A001  
x of x





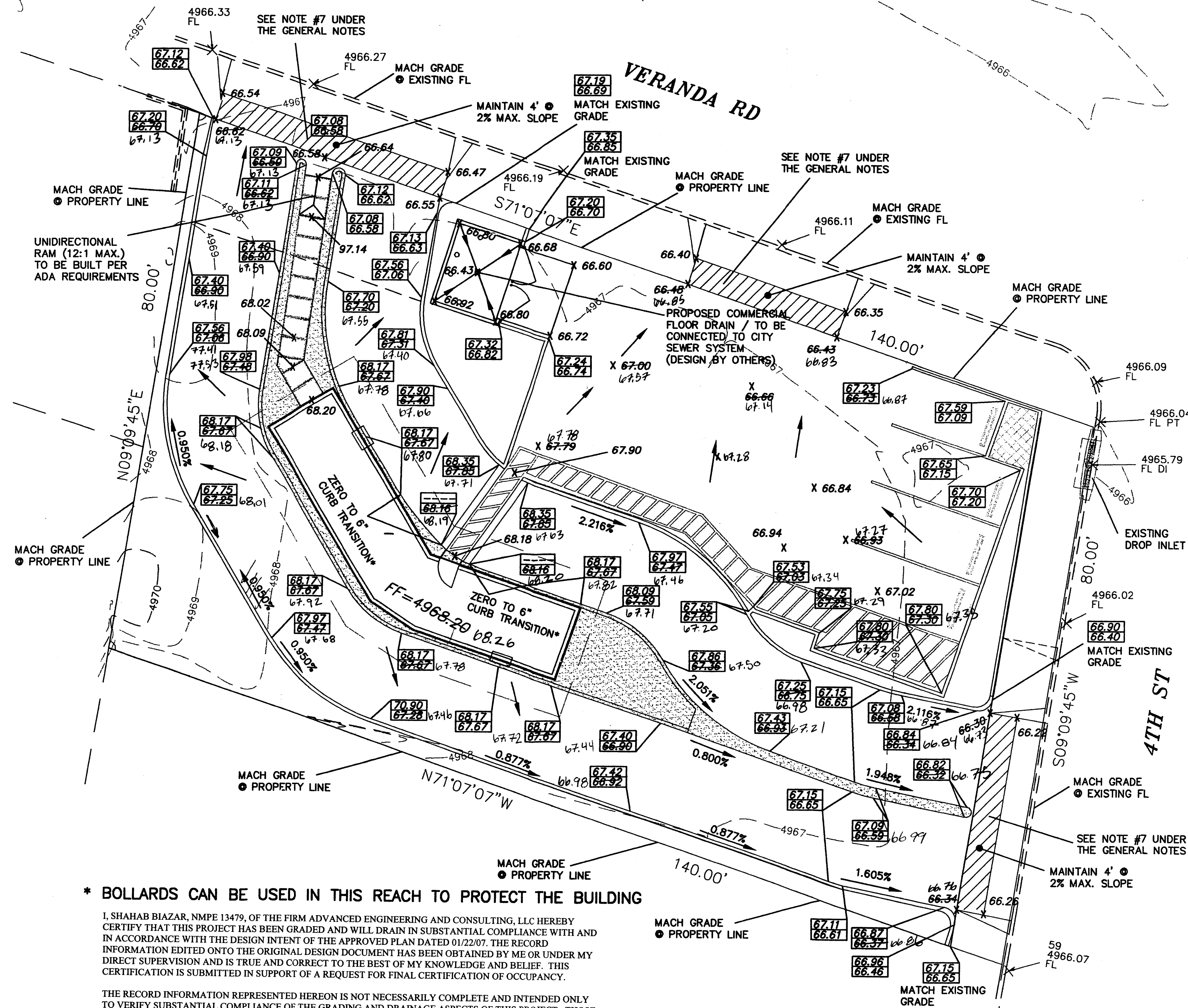
SCALE 1"=20'



SCALE 1"=20'

#### GENERAL NOTES:

1. ADD 4900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-21-G14 HAVING AN ELEVATION OF 4966.431 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.
7. THE NEW DRIVEWAY / RECONSTRUCTION OF THE EXISTING DRIVEWAYS MUST CONFORM TO STANDARD DRAWING #2425.



#### \* BOLLARDS CAN BE USED IN THIS REACH TO PROTECT THE BUILDING

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/22/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479  
DATE 3/5/08

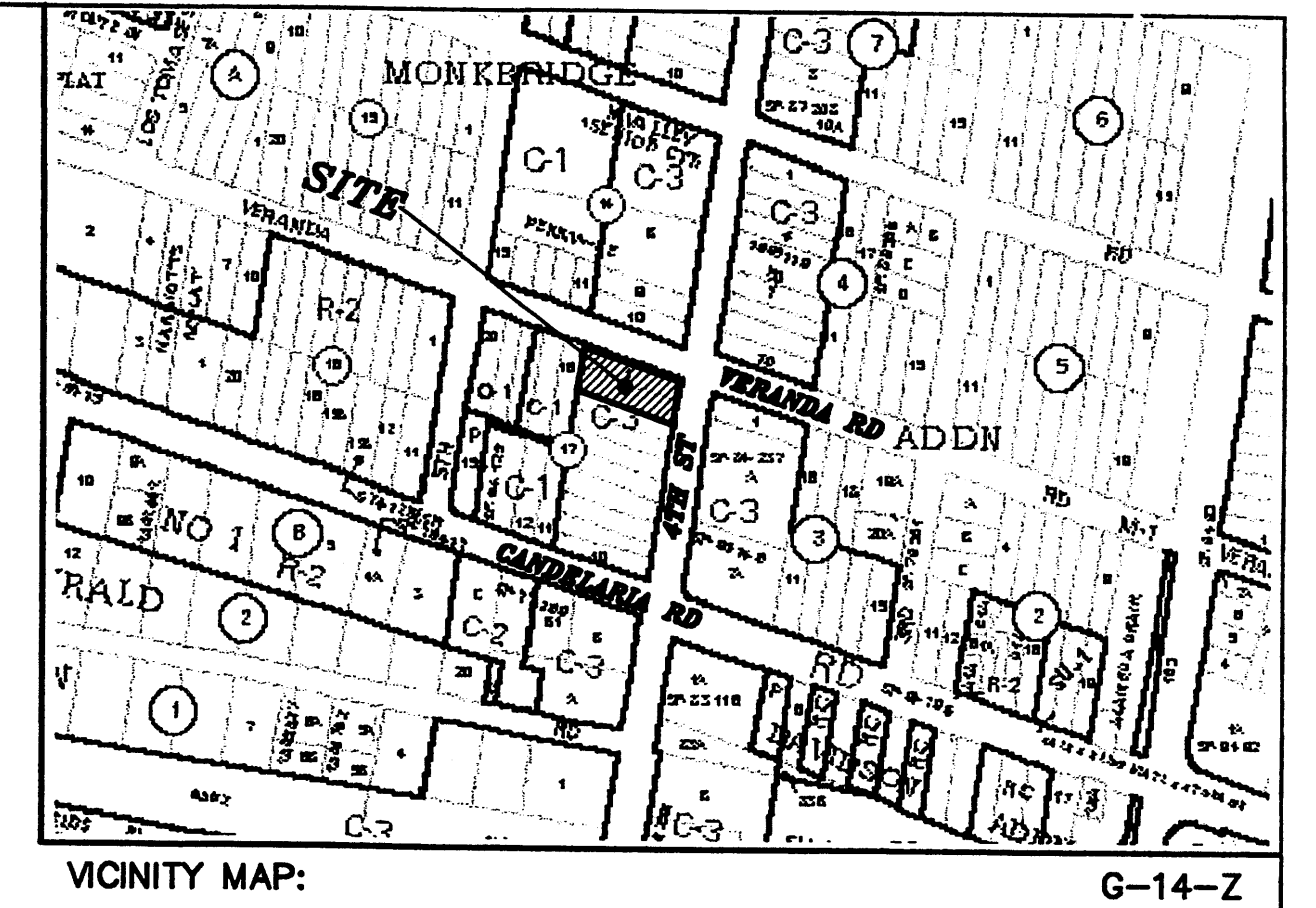
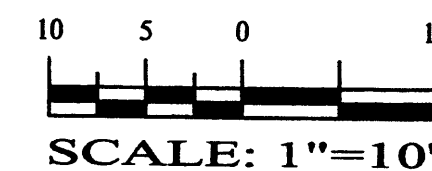
#### NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO 1-CALL AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
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4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

GRAPHIC SCALE



#### LEGAL DESCRIPTION:

PORTIONS OF LOTS 1 & 2, BLOCK 17, MONKBRIDGE ADDITION CONTAINING 11,039.26 SQUARE FEET (0.2534 ACRES) MORE OR LESS.

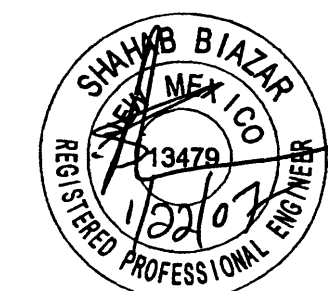
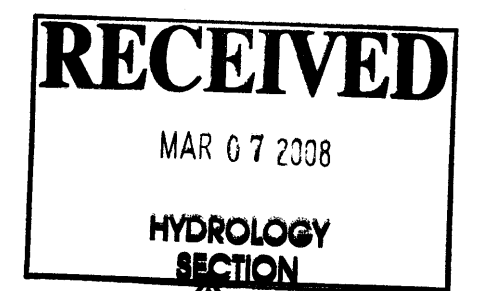
#### SITE ADDRESS:

3723 4TH STREET NW

#### LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- ⊗ EXISTING VALVE W/BOX
- ⊕ EXISTING FIRE HYDRANT
- ⊖ EXISTING AIR RELEASE VALVE
- △ EXISTING REDUCER
- EX. 8" SAS --- EXISTING SANITARY SEWER LINE
- EX. 16" WL --- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE

ROUGH GRADING APPROVAL DATE



SHAHAB BIAZAR  
P.E. #13479

4416 ANAHEIM AVE. NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)899-5570

#### Loveland Farms - 4th St GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200657-GR.DWG	SBB	11-10-2006	1 OF 1



project data

use:  
bldg sf:  
construction type:

drive thorough retail  
540 net sf (627 gross sf)  
V-B

occupancy:  
accessor's parcel no.:  
existing zone:  
land use:  
parcel area:

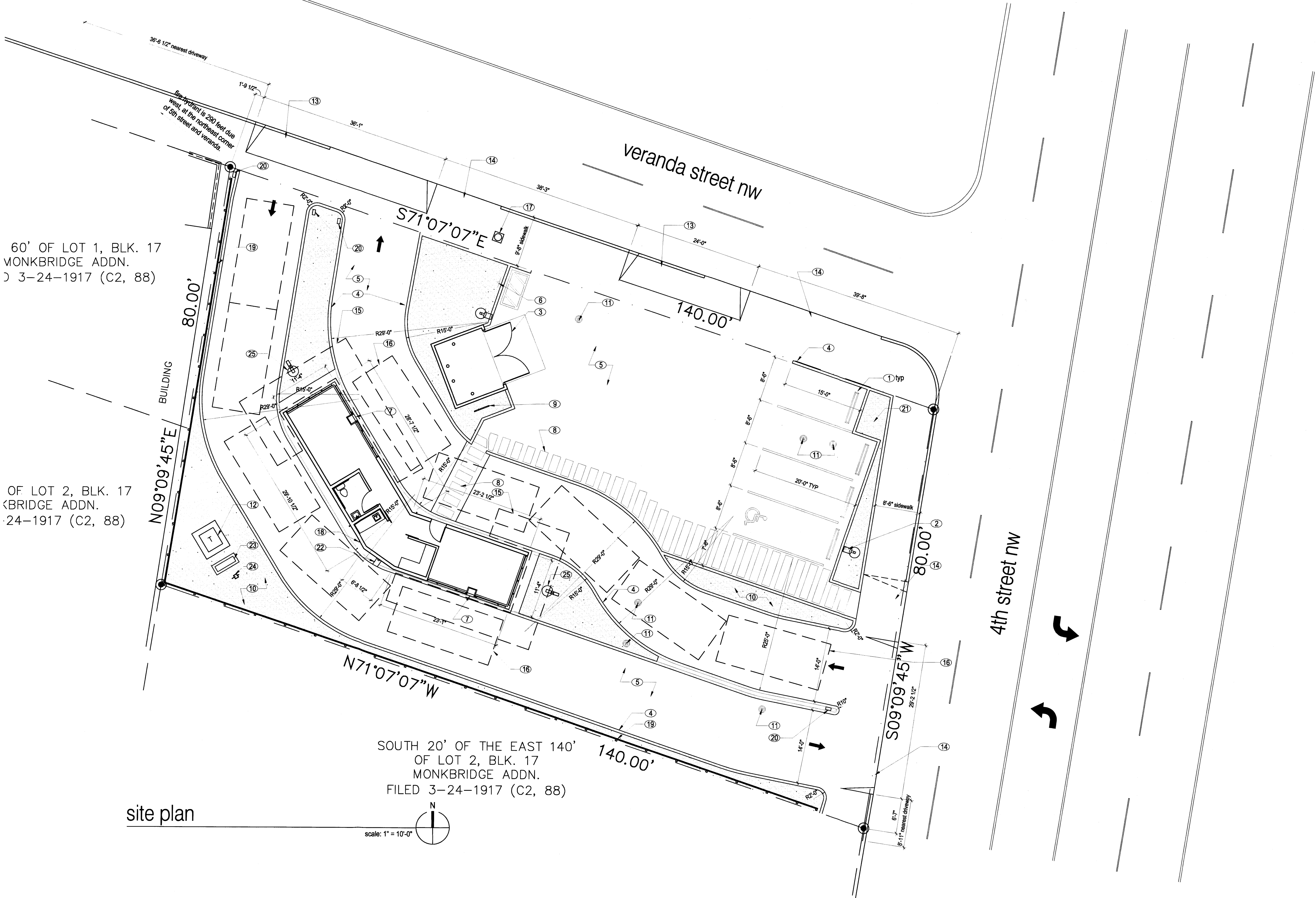
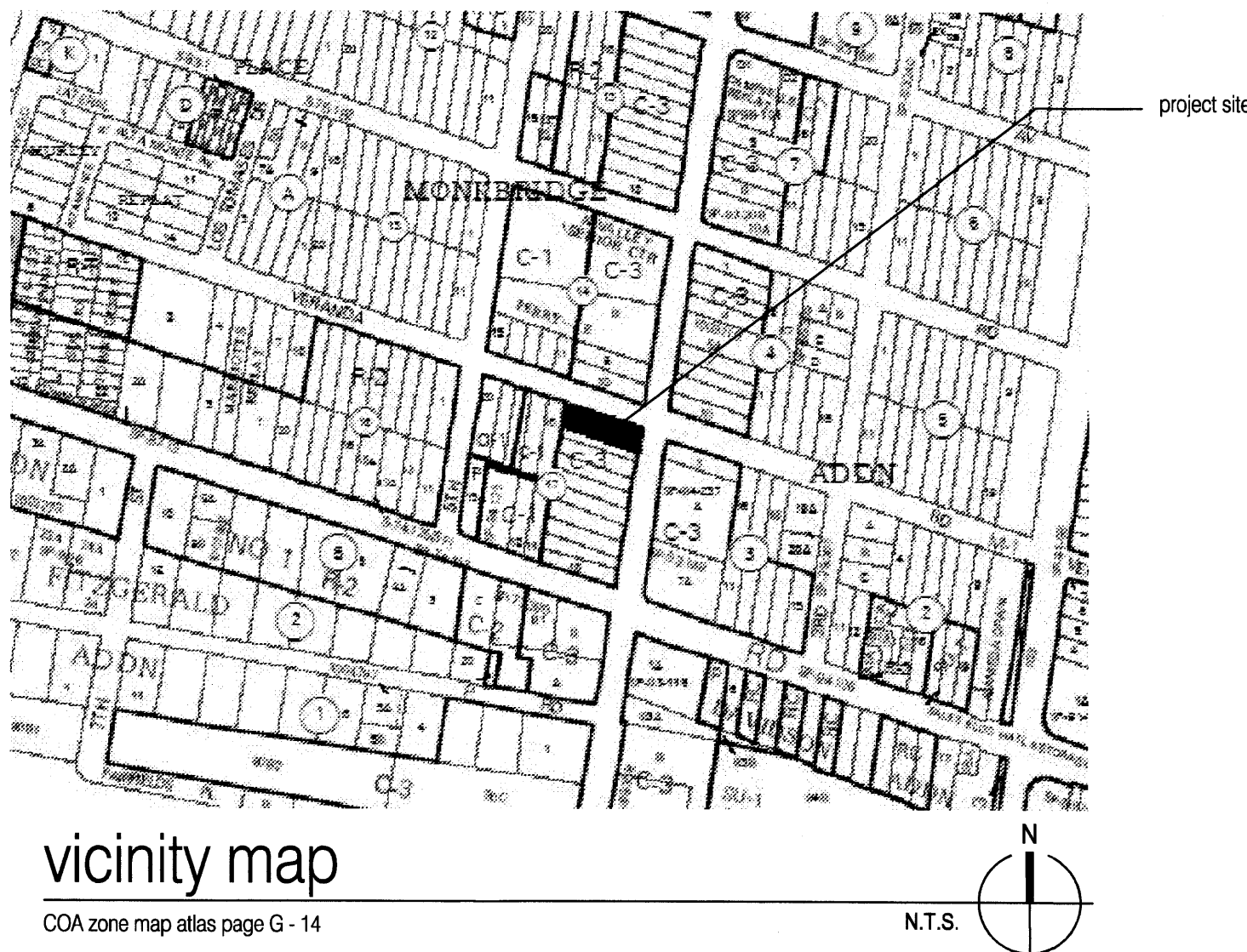
group M  
1 014 060 358 164 40908  
C-3  
commercial zone  
3.659 ac

parking summary

parking at 1/200 net  
540sf / 200 = 2.7, therefore 3

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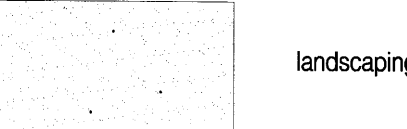
Legal Description: Portions of lots 1 & 2, block 17 monkbridge addition section 5, T 10 N., R 3 E



keynotes

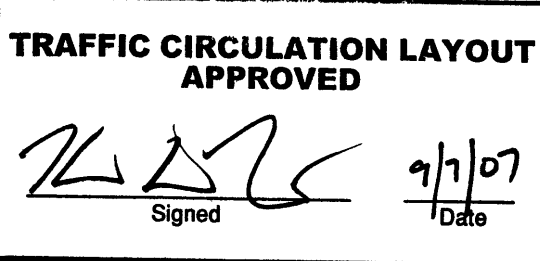
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legend



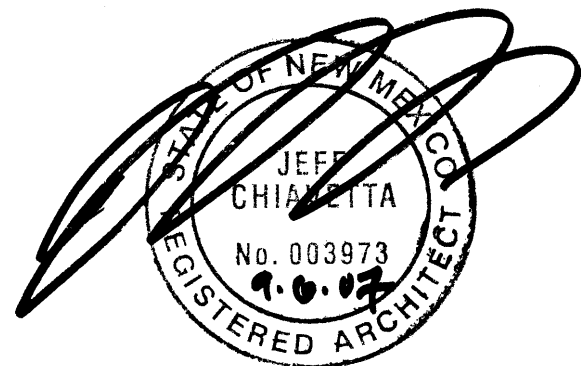
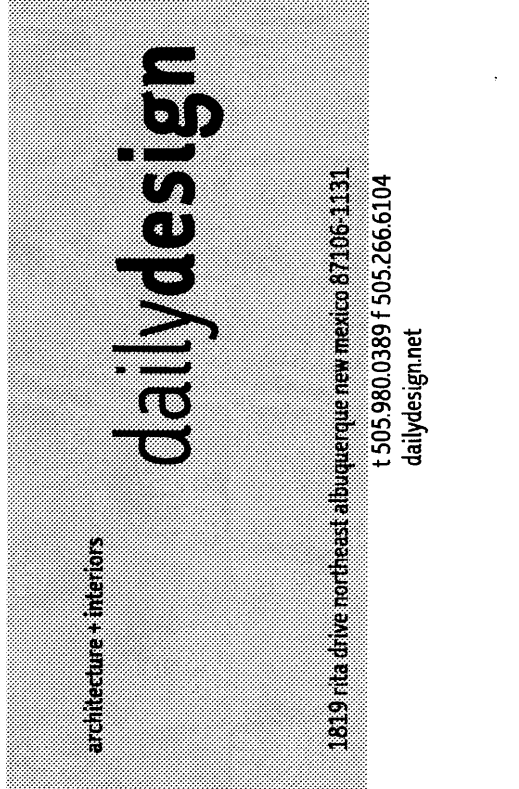
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valley gutter per COA std dwg #2420  
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mountable curb & gutter per COA std dwg #2415



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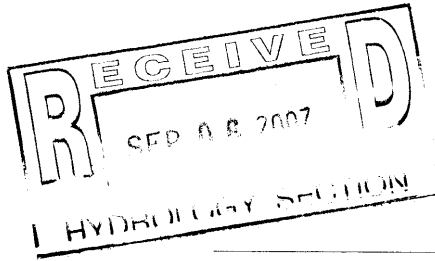


Loveland Farms - 4th St  
Drive-Thru Convenience Store  
3723 4th Street NW  
Albuquerque NM 87107

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△	
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△	
1	070823
issuance / revisions	
TCL correction	

drawn by	JCC
reviewed by	JCC
date	070810
project #	0601
drawing name	

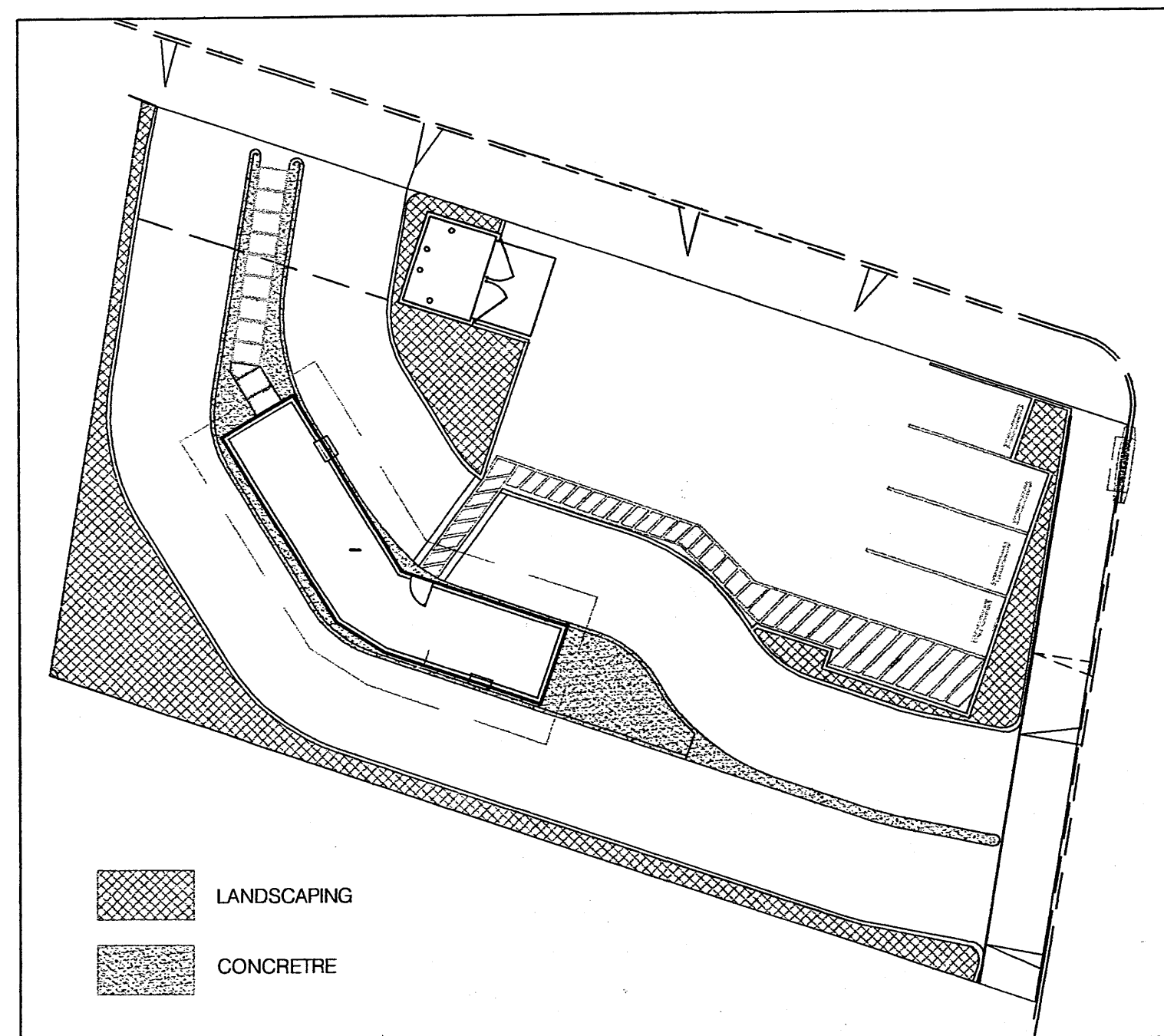
Site Plan



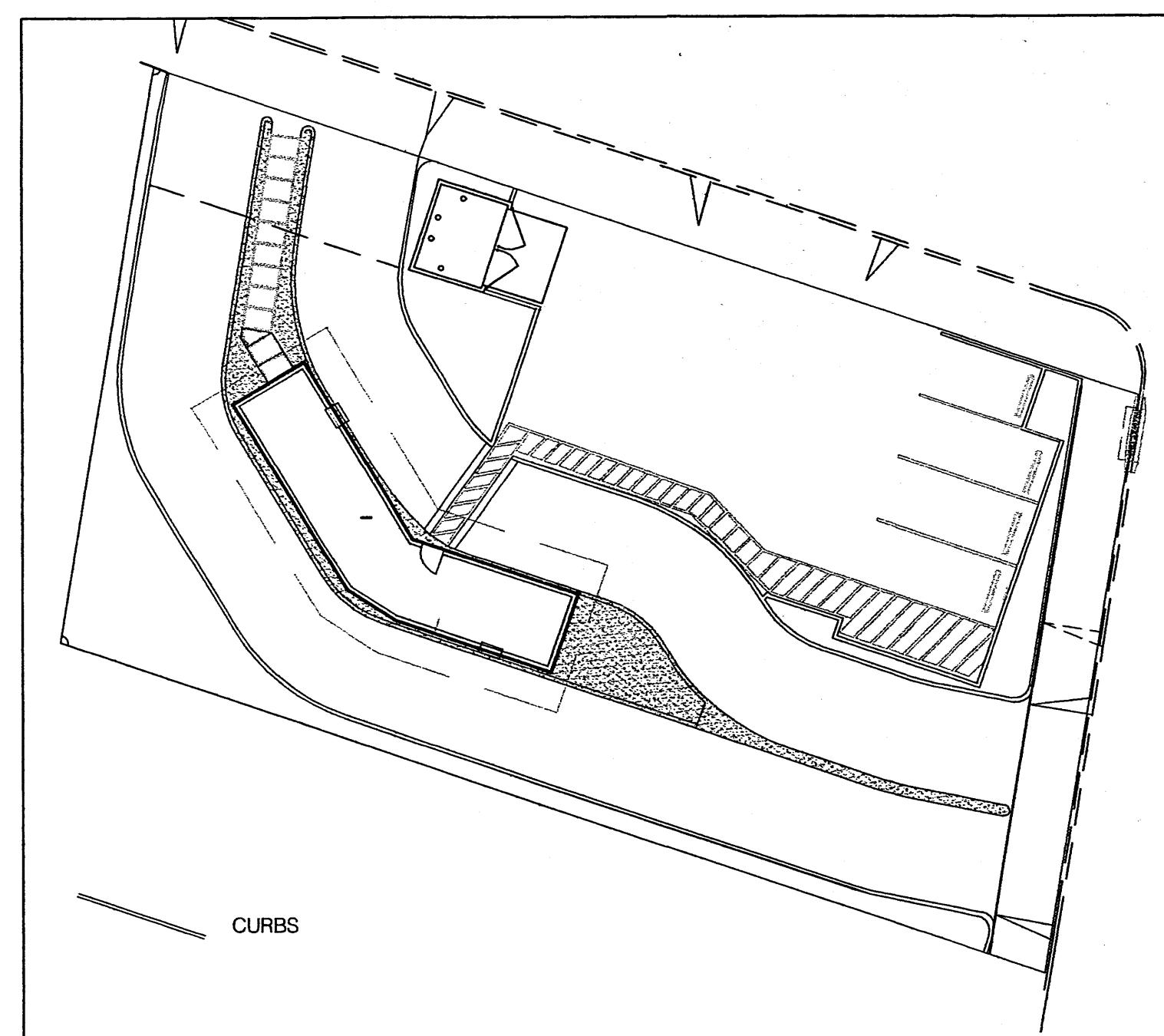
sheet number

A001  
x of x





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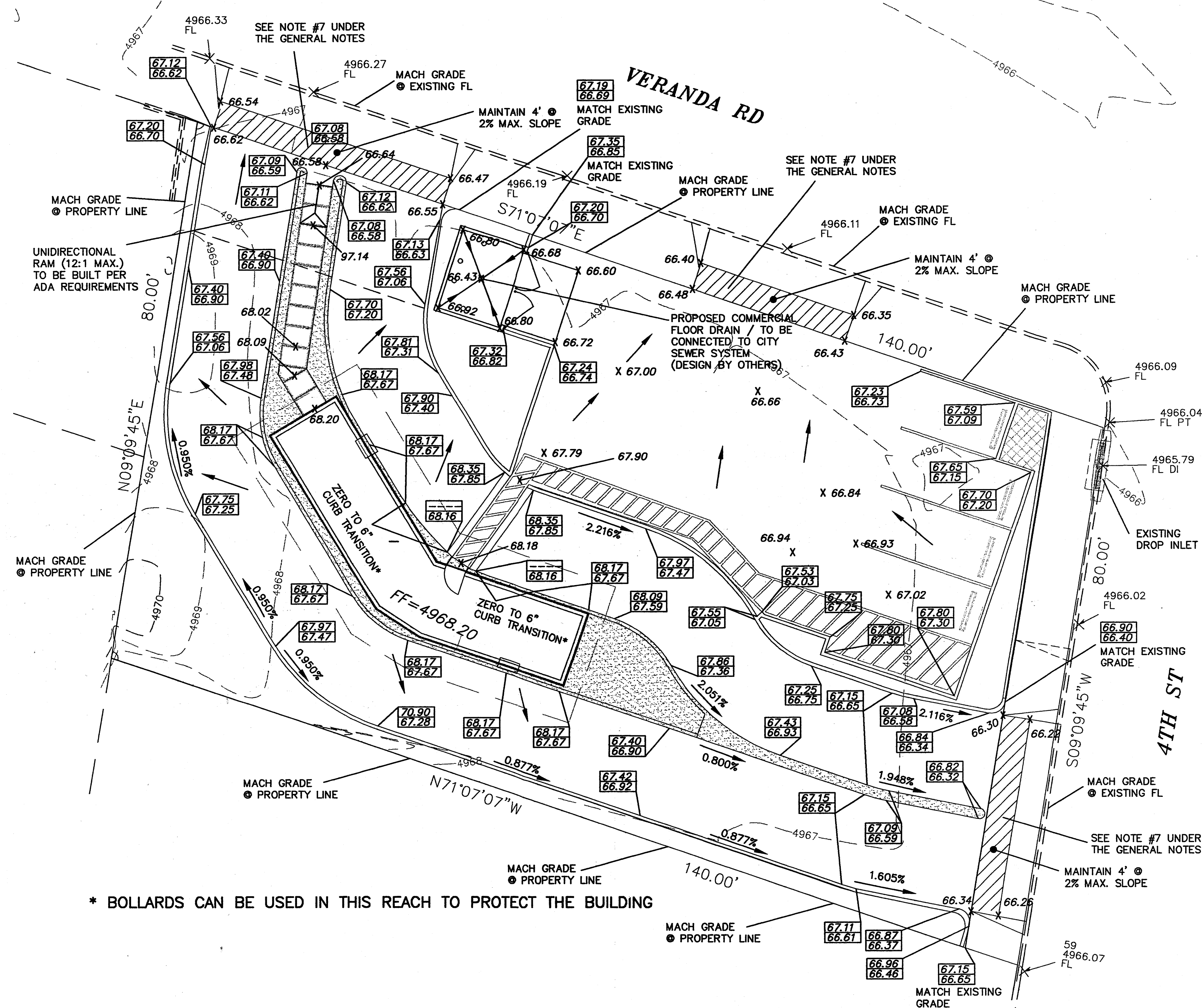
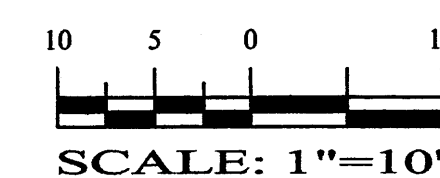
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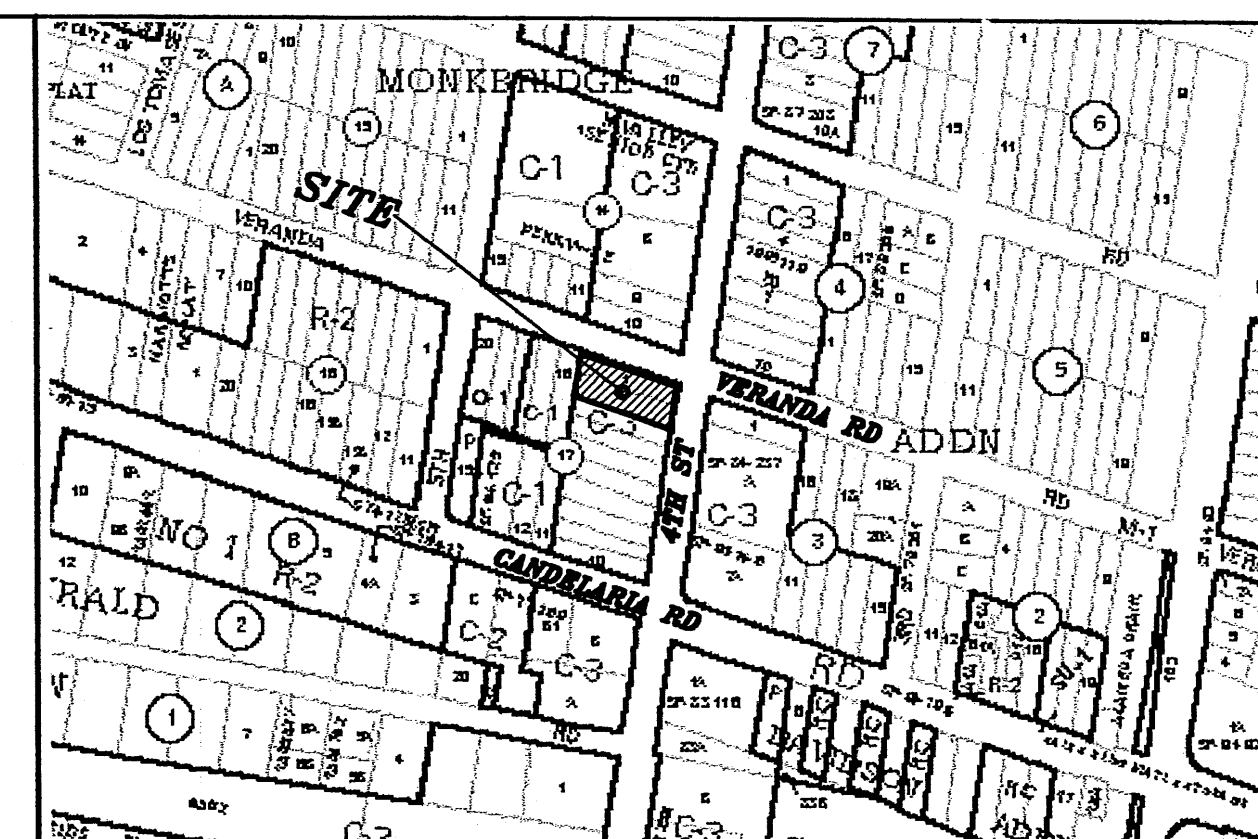
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GRAPHIC SCALE



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VICINITY MAP:

#### LEGAL DESCRIPTION:

PORTIONS OF LOTS 1 & 2, BLOCK 17, MONKBRIDGE ADDITION CONTAINING 11,039.26 SQUARE FEET (0.2534 ACRES) MORE OR LESS.

#### SITE ADDRESS:

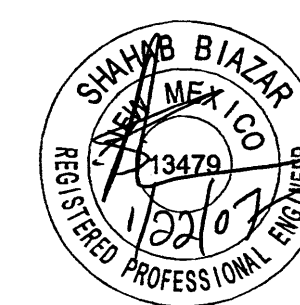
3723 4TH STREET NW

#### LEGEND

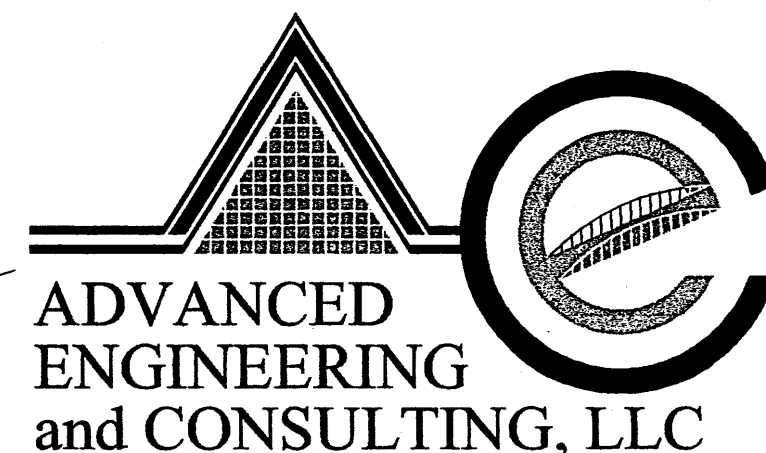
- |  |                                 |
|--|---------------------------------|
|  | EXISTING SAS MANHOLE            |
|  | EXISTING METER                  |
|  | EXISTING VALVE W/BOX            |
|  | EXISTING FIRE HYDRANT           |
|  | EXISTING AIR RELEASE VALVE      |
|  | EXISTING REDUCER                |
|  | EXISTING SANITARY SEWER LINE    |
|  | EXISTING WATER LINE             |
|  | EXISTING CURB & GUTTER          |
|  | PROPOSED CURB & GUTTER          |
|  | EXISTING CONTOUR (MAJOR)        |
|  | EXISTING CONTOUR (MINOR)        |
|  | BOUNDARY LINE                   |
|  | EASEMENT                        |
|  | LIMITS OF TOP OF EXISTING SLOPE |
|  | PROPOSED SIDEWALK               |
|  | PROPOSED GRADE                  |
|  | PROPOSED SPOT ELEVATION         |
|  | EXISTING GRADE                  |

ROUGH GRADING APPROVAL

DATE



SHAHAB BIAZAR  
P.E. #13479



ADVANCED  
ENGINEERING  
and CONSULTING, LLC

4416 ANAHEIM AVE., NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505) 899-5570

### Loveland Farms - 4th St GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
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