

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: NEW MEXICO BANK + TRUST ZONE MAP/DRG. FILE # G-14-217519  
 DRB#: N/A EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: BLOCK 17, MONKBRIDGE, TRACT A-LOTS 8, 9, 10 TRACT B-LOTS 6 + 7  
 CITY ADDRESS: N.M BANK & TRUST, 4TH & CANDELARIA NW ABQ NM 87107  
TRACT E-LOTS 3701 4TH ST NW

ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTS CONTACT: VERLYN A. MILLER  
 ADDRESS: 3500 COMANCHE BLVD N.E BUILD F PHONE: 505 888-7500  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

OWNER: NEW MEXICO BANK & TRUST CONTACT: STEVEN MONTOLYA  
 ADDRESS: 4TH STREET & CANDELARIA BLVD. PHONE: 505-831-8100  
 CITY, STATE: ALBUQUERQUE NM 87 ZIP CODE: 87103

ARCHITECT: NC9 ARCHITECTS CONTACT: JOHN LAYMAN  
 ADDRESS: 1306 RIO GRANDE BLVD. NW PHONE: 505-255-6408  
 CITY, STATE: ALBUQUERQUE NM 87104 ZIP CODE: 87104

SURVEYOR: PRECISION SURVEYS INC. CONTACT: LARRY MEDRANO  
 ADDRESS: 8414 JEFFERSON ST N.E PHONE: 505-998-03-03  
 CITY, STATE: ALBUQUERQUE NM 87113 ZIP CODE: 87102

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
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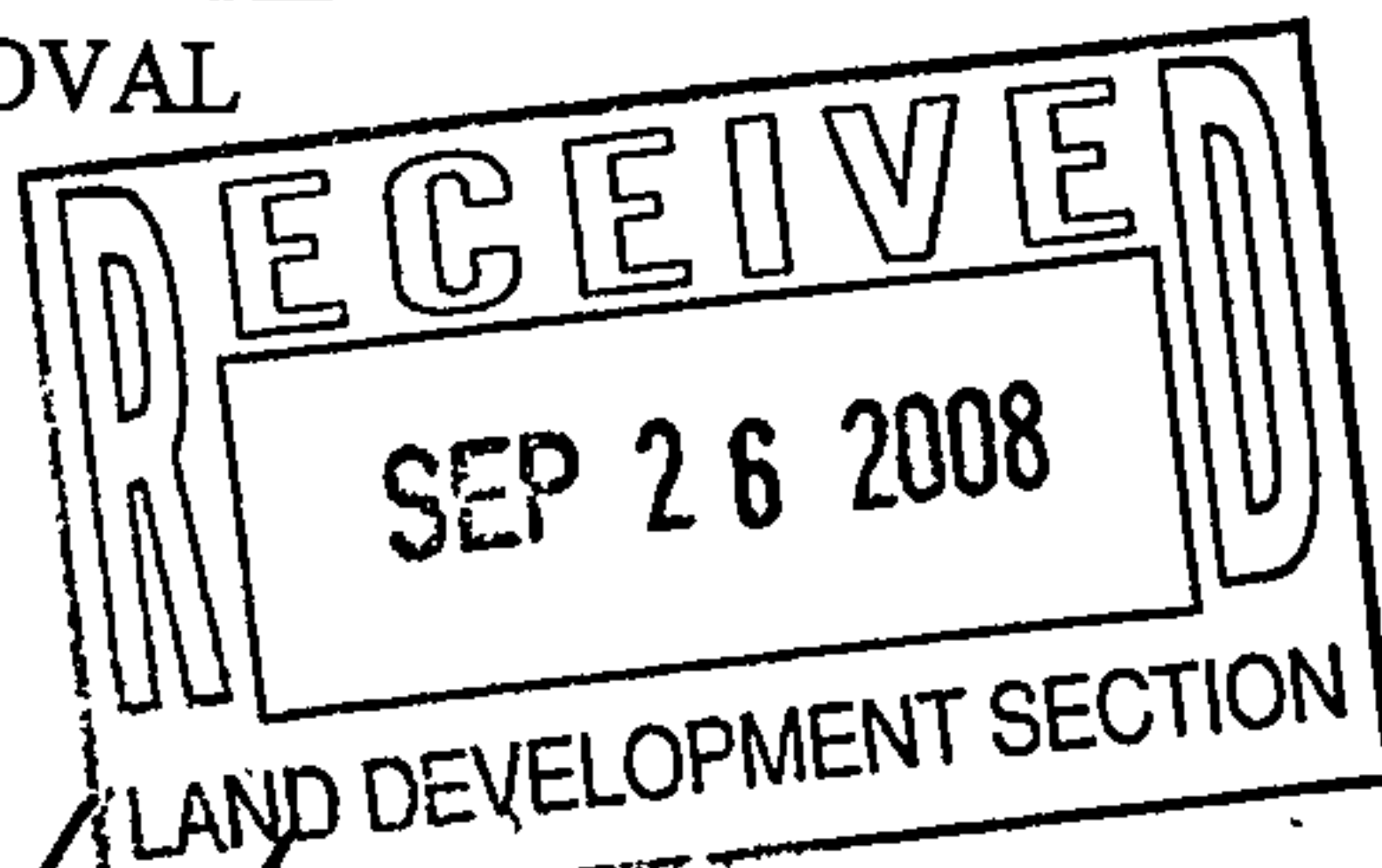
CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:**
- ☐ DRAINAGE REPORT
  - ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - ☐ DRAINAGE PLAN RESUBMITTAL
  - ☐ CONCEPTUAL G & D PLAN
  - ☐ GRADING PLAN
  - ☐ EROSION CONTROL PLAN
  - ☒ ENGINEER'S CERT (HYDROLOGY)
  - ☐ CLOMR/LOMR
  - ☐ TRAFFIC CIRCULATION LAYOUT
  - ☐ ENGINEER/ARCHITECT CERT (TCL)
  - ☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
  - ☐ OTHER

- CHECK TYPE OF APPROVAL SOUGHT:**
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
  - ☐ PRELIMINARY PLAT APPROVAL
  - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
  - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
  - ☐ SECTOR PLAN APPROVAL
  - ☐ FINAL PLAT APPROVAL
  - ☐ FOUNDATION PERMIT APPROVAL
  - ☐ BUILDING PERMIT APPROVAL
  - ☒ CERTIFICATE OF OCCUPANCY (PERM)
  - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
  - ☐ GRADING PERMIT APPROVAL
  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: *[Signature]* DATE: 9/26/08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



September 26, 2008

Verlyn A. Miller, P.E.  
**Miller Engineering Consultants**  
3500 Comanche Blvd NE, Building F  
Albuquerque, NM 87107

**Re: New Mexico Bank and Trust, 3701 4<sup>th</sup> St. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.),**  
**Engineer's Stamp dated 04/16/08 (G-14/D079)**  
**Certification dated 9/23/08**

Based upon the information provided in your submittal received 9/26/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

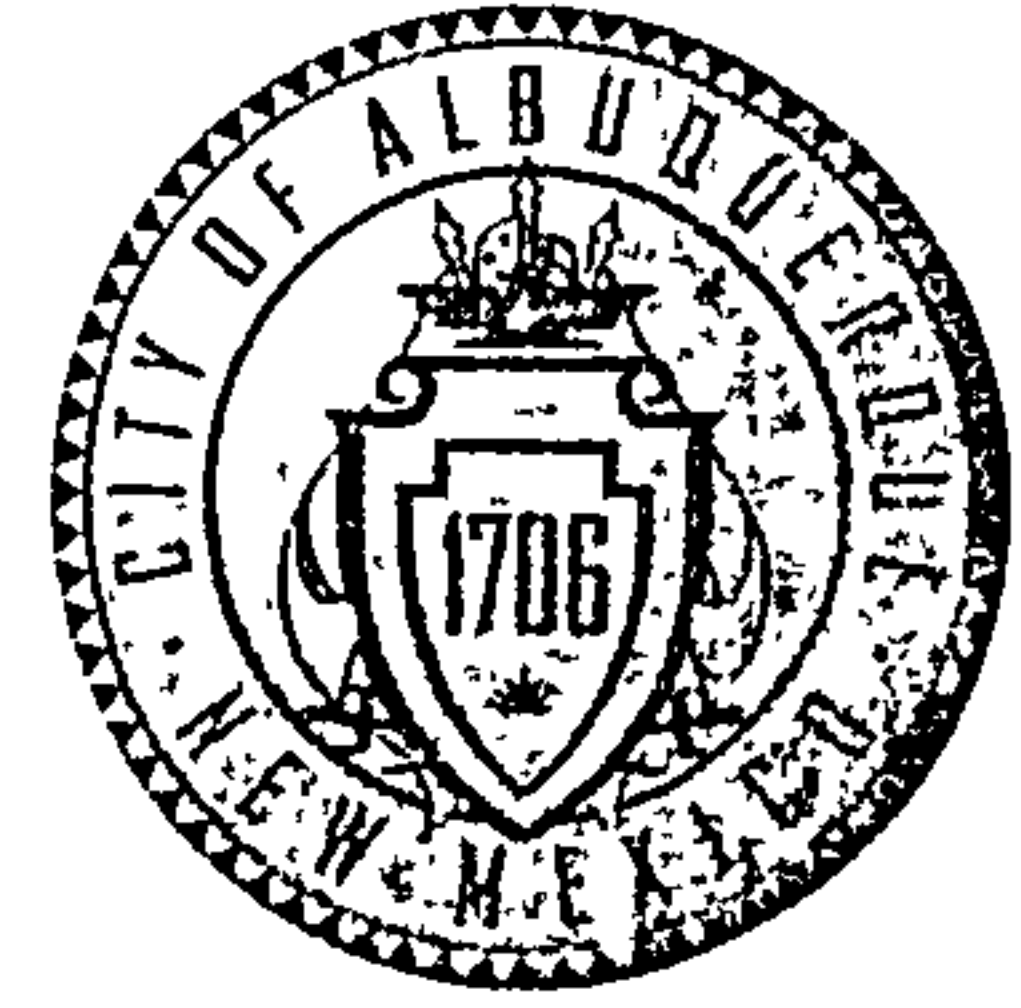
NM 87103

Curtis A. Cherne, P.E.  
Senior Engineer, Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 4, 2008

Robert Calvani, Registered Architect,  
NCA Architects Planners  
1306 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Certification Submittal for Final Building Certification of Occupancy (C.O.) for  
New Mexico Bank and Trust, [G-14 / D079]  
3701 4th Street NW  
Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

The TCL / Letter of Certification submitted on November 4, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

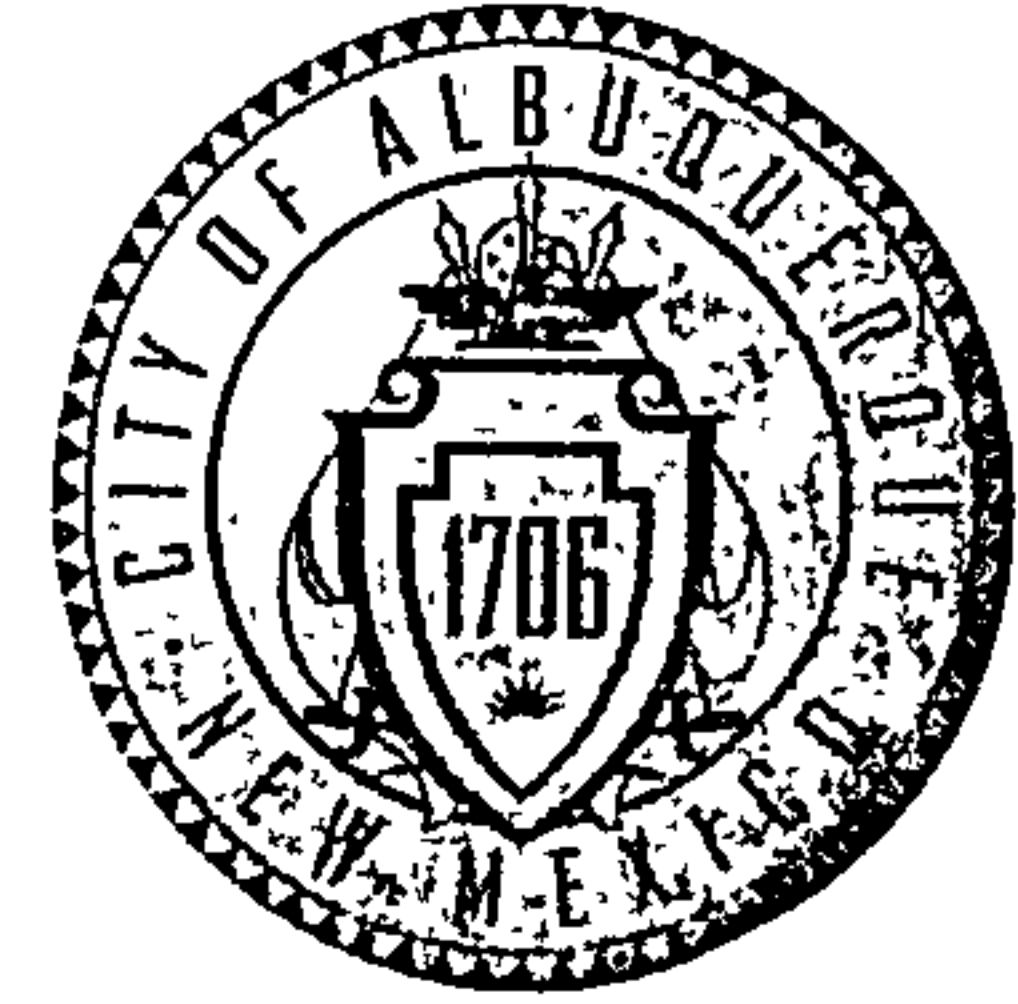
Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 3, 2008

Robert Calvani, Registered Architect,  
NCA Architects Planners  
1306 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
New Mexico Bank and Trust, [G-14 / D079]  
3701 4th Street NW  
Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 90-day Temporary C.O.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

A Temporary C.O. has been issued allowing the outstanding infrastructure fronting COA ROW (need to provide a note that specifies who'll build and close existing sidewalk and driveways fronting Candelaria and 4<sup>th</sup> St.) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: NMB + T ZONE MAP: 6-14/D079  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION:

CITY ADDRESS: 3701 4TH STREET NW APT. NM 87104

ENGINEERING FIRM: VERLYN MILLER ENGINEERING CONTACT: VERLYN MILLER  
ADDRESS: \_\_\_\_\_ PHONE: 888-7562  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: NMB + T CONTACT: STEVEN MONTROYA  
ADDRESS: \_\_\_\_\_ PHONE: 830-8100  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: NGA ARCHITECTS CONTACT: JOHN LYMAN  
ADDRESS: 1306 RIO GRANDE NW PHONE: 255-6400  
CITY, STATE: APT NM 87104 ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: WILGER ENTERPRISES CONTACT: DOH G  
ADDRESS: \_\_\_\_\_ PHONE: 228-5651  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ ~~TRAFFIC CIRCULATION LAYOUT~~
- ☒ ~~ENGINEER'S CERT (TCL)~~
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ ~~CERTIFICATE OF OCCUPANCY (PERM)~~
- ☒ ~~CERTIFICATE OF OCCUPANCY (TEMP)~~
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 9.25.08 BY: John Lyman

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





Robert M. Calvani  
John C. Layman  
Myron A. Saldyt  
Thomas Wilber

Krystal Metro  
Traffic Engineer  
Development and Building Services  
Planning Department  
City of Albuquerque

September 25, 2008

RE: Approval of Certificate of Occupancy for  
New Mexico Bank and Trust  
3701 4<sup>th</sup> Street NW  
Albuquerque, NM 87104

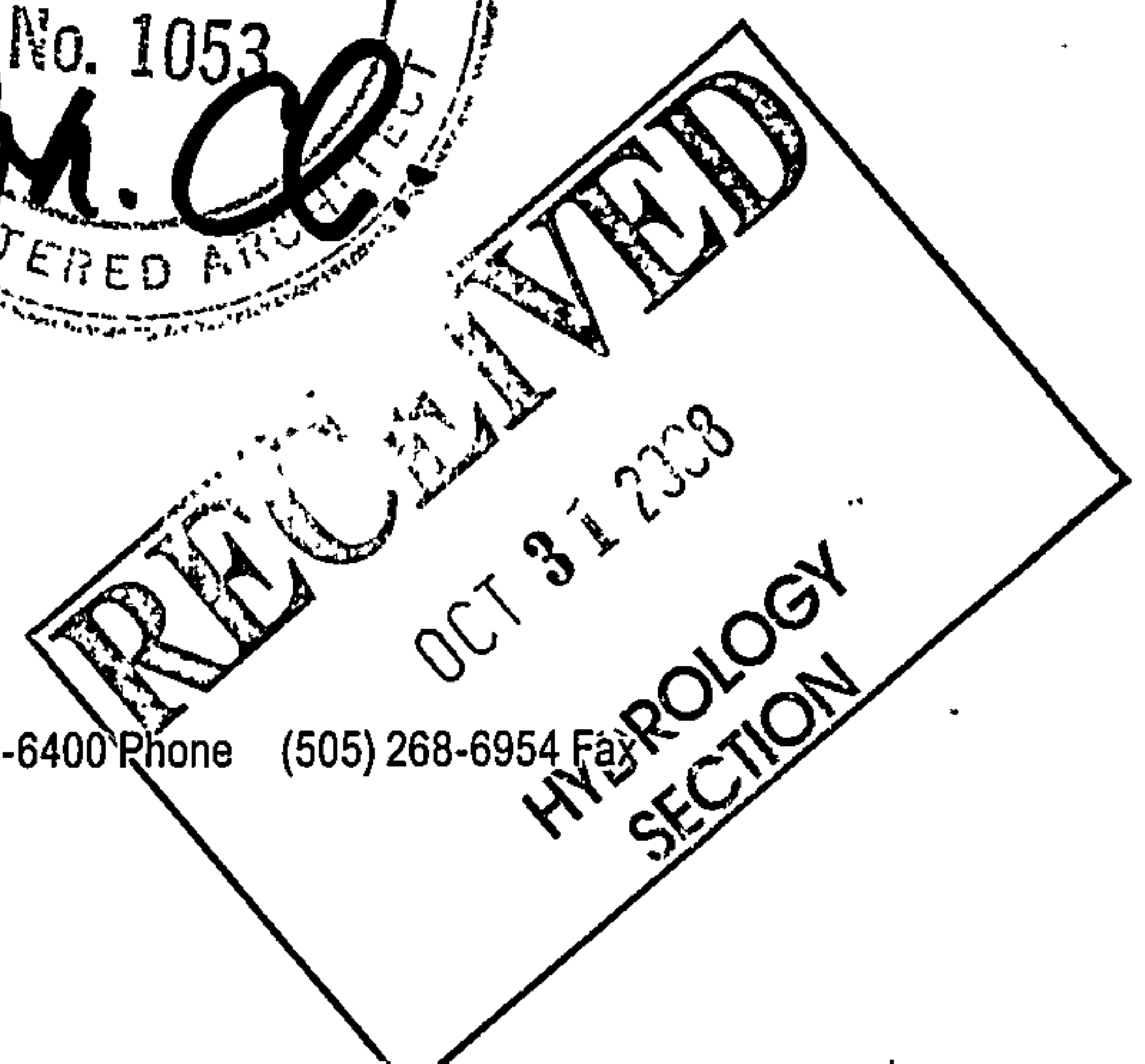
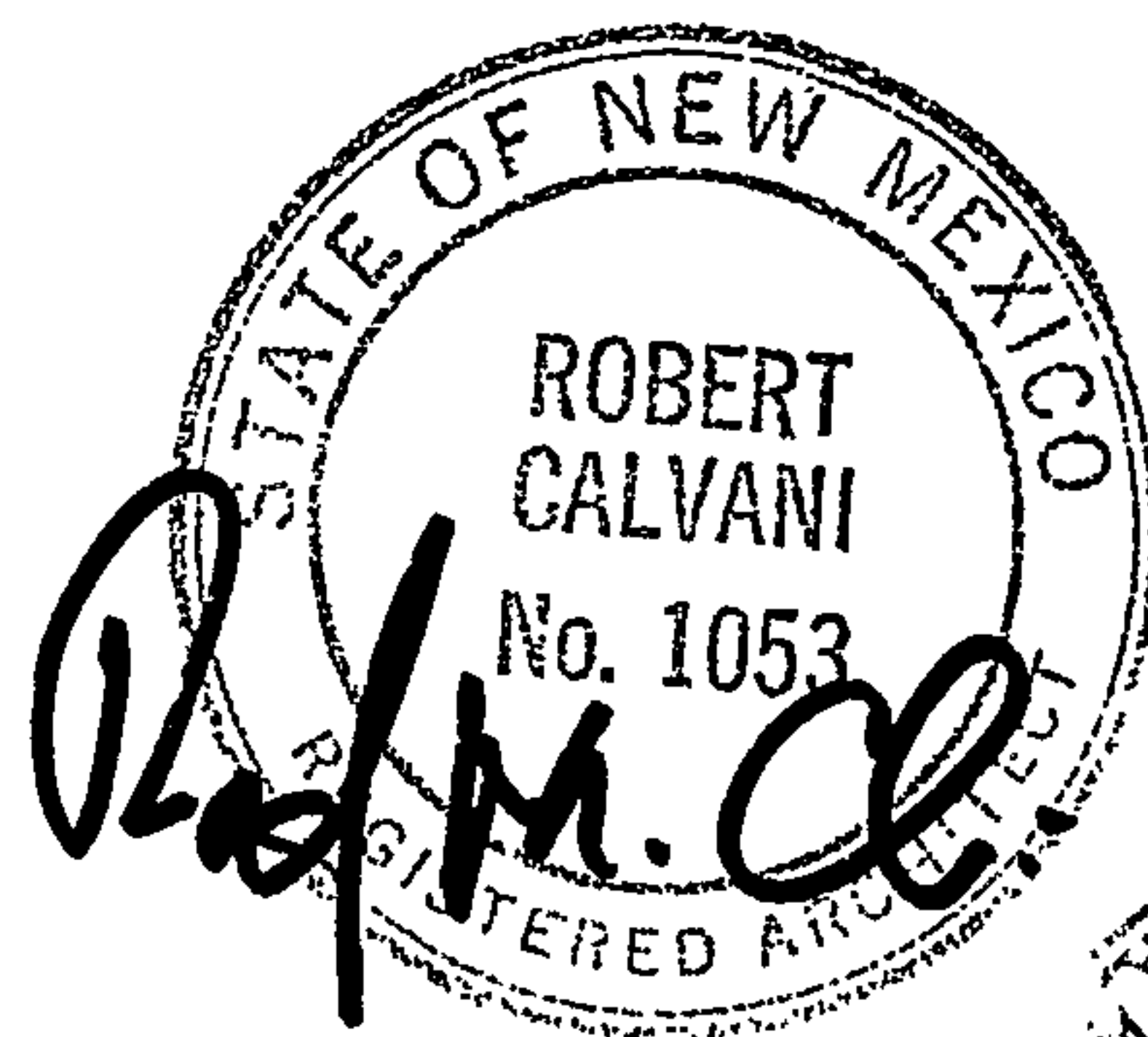
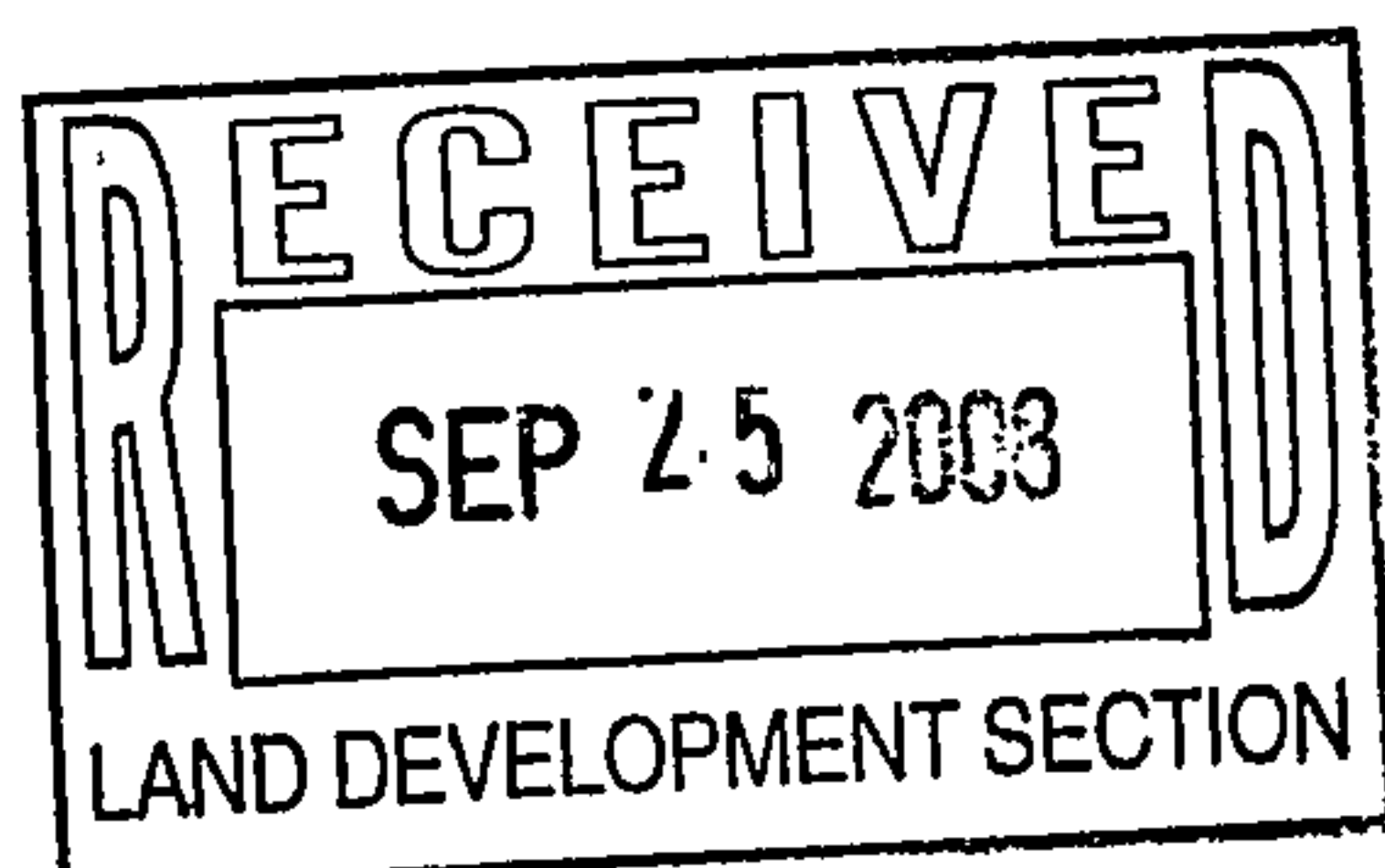
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 01-25-08. The record information edited onto the original design document has been obtained by John Layman of the firm NCA Architects. I further certify that I have personally visited the project site on September 23, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of it's accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, Registered Architects  
NCA Architects, PA



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 26, 2008

Robert Calvani, Registered Architect,  
NCA Architects Planners  
1306 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
New Mexico Bank and Trust, [G-14 / D079]  
3701 4th Street NW  
Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 30-day Temporary C.O.

PO Box 1293

Albuquerque

A Temporary C.O. has been issued allowing the outstanding Approved Site Plan (need to provided the approved site plan dated 01/25/08) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

NM 87103

www.cabq.gov

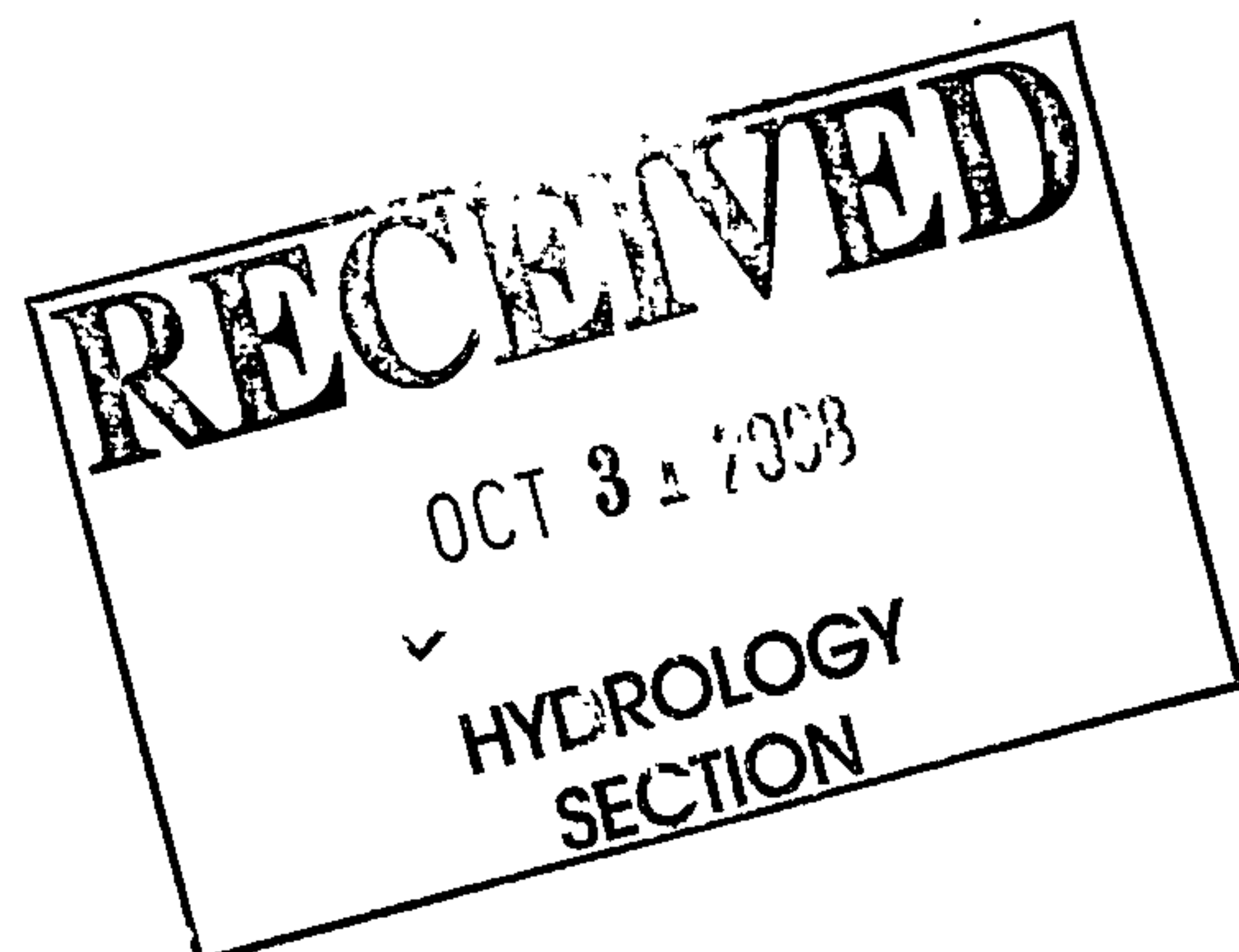
The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk









# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NMB + T LPA & Candelaria ZONE MAP: 6-14/D079  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

**LEGAL DESCRIPTION:**

CITY ADDRESS: 3701 4TH STREET NW APO. NM 87104

ENGINEERING FIRM: VERLYN MILLER ENGINEERING CONTACT: VERLYN MILLER  
 ADDRESS: \_\_\_\_\_ PHONE: 888-7560  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: NMB + T CONTACT: STEVEN MONTOYA  
 ADDRESS: \_\_\_\_\_ PHONE: 830-8100  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: NCA ARCHITECTS CONTACT: JOHN LYMAN  
 ADDRESS: 1306 RIO GRANDE NW PHONE: 255-6400  
 CITY, STATE: ABQ NM 87104 ZIP CODE: 87104

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: WILGER ENTERPRISES CONTACT: DAK G  
 ADDRESS: \_\_\_\_\_ PHONE: 228-5651  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

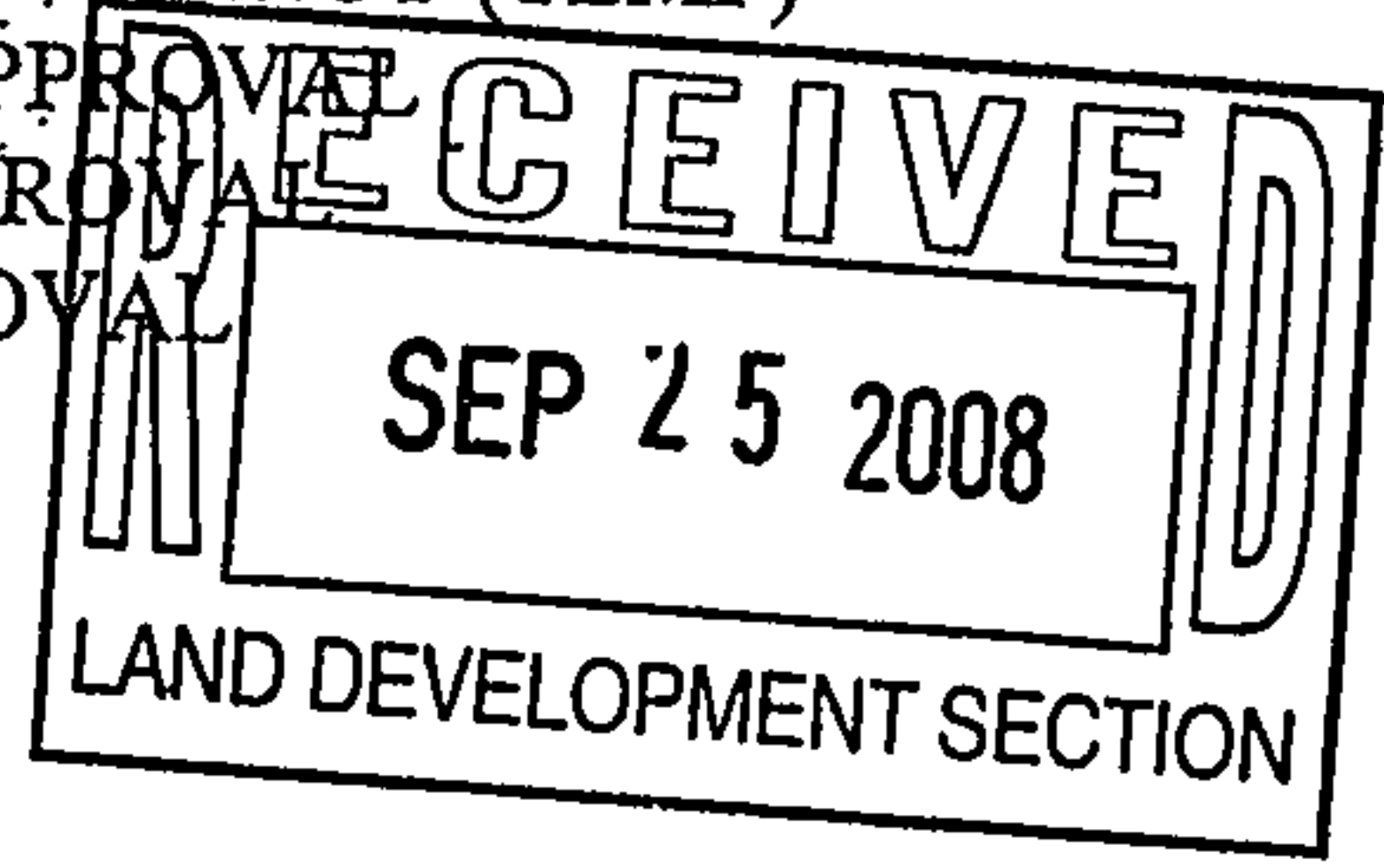
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 9.25.08 BY: John Lyman

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

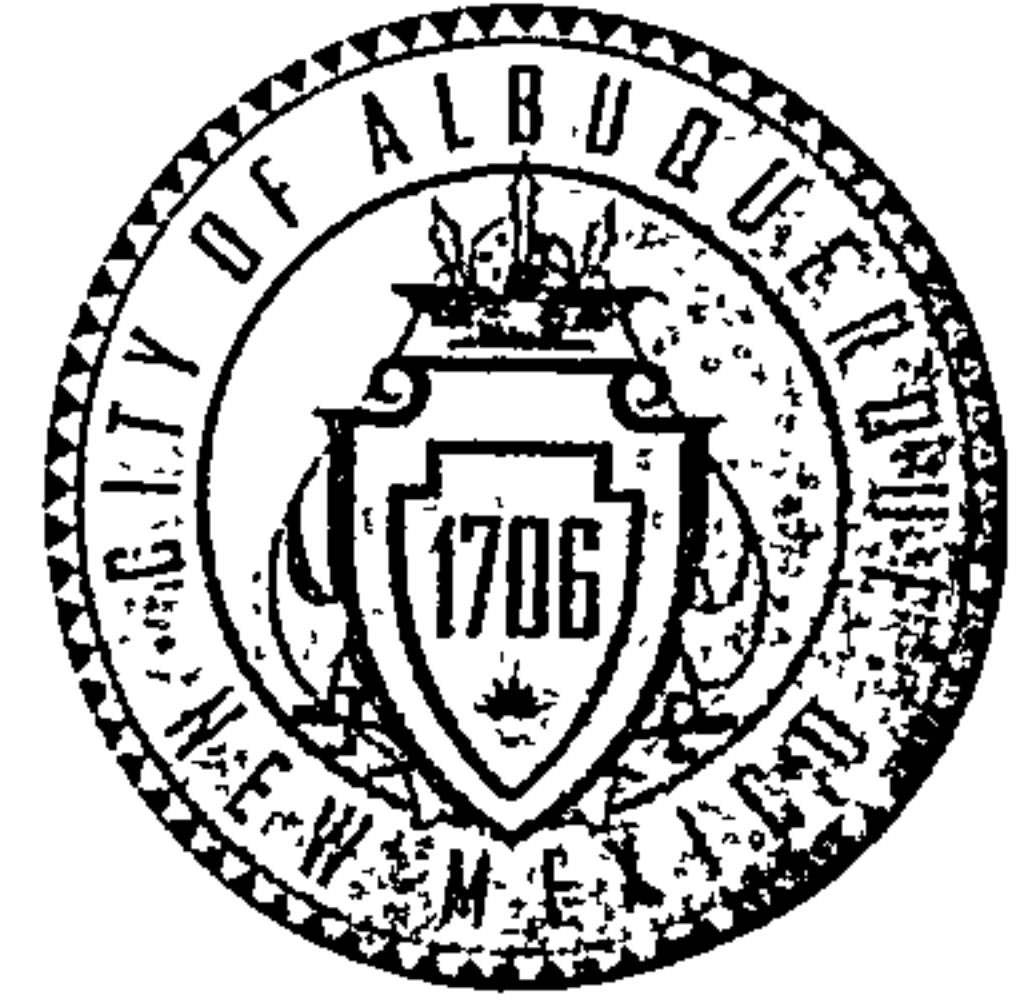
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3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



(red) See note on plans  
because COA Architect  
will - install ~~long~~ Meandering  
sewer & well so / specifying  
CA/AN: needs to provide (work  
note on approved Site Plan ~~self~~ ~~this~~)



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 26, 2008

Robert Calvani, Registered Architect,  
NCA Architects Planners  
1306 Rio Grande Blvd NW  
Albuquerque, NM 87104

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
New Mexico Bank and Trust, [G-14 / D079]  
3701 4th Street NW  
Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Approved Site Plan (need to provided the approved site plan dated 01/25/08) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



Robert M. Calvani  
John C. Layman  
Myron A. Saldyt  
Thomas Wilber

Krystal Metro  
Traffic Engineer  
Development and Building Services  
Planning Department  
City of Albuquerque

September 25, 2008

RE: Approval of Certificate of Occupancy for  
New Mexico Bank and Trust  
3701 4<sup>th</sup> Street NW  
Albuquerque, NM 87104

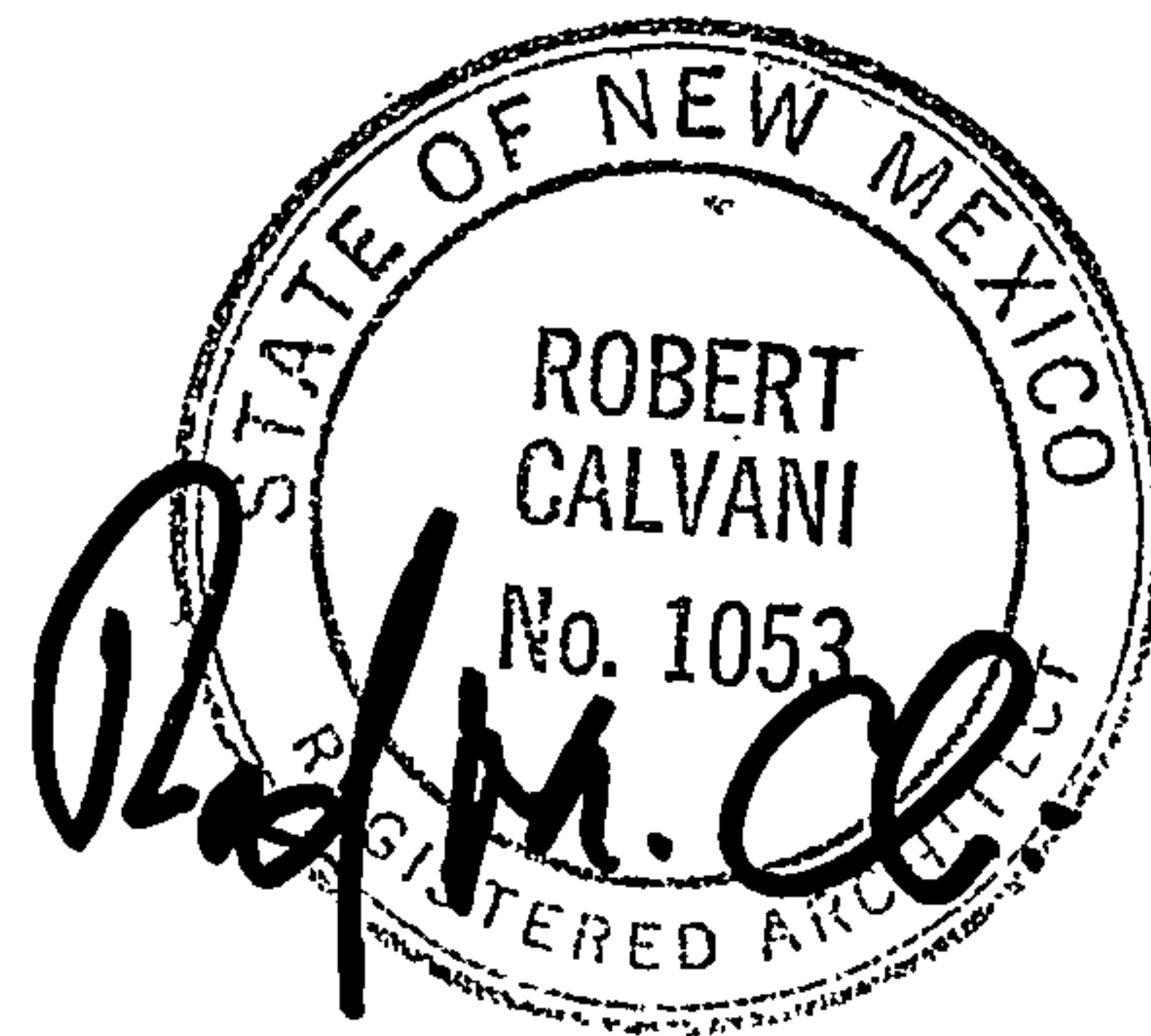
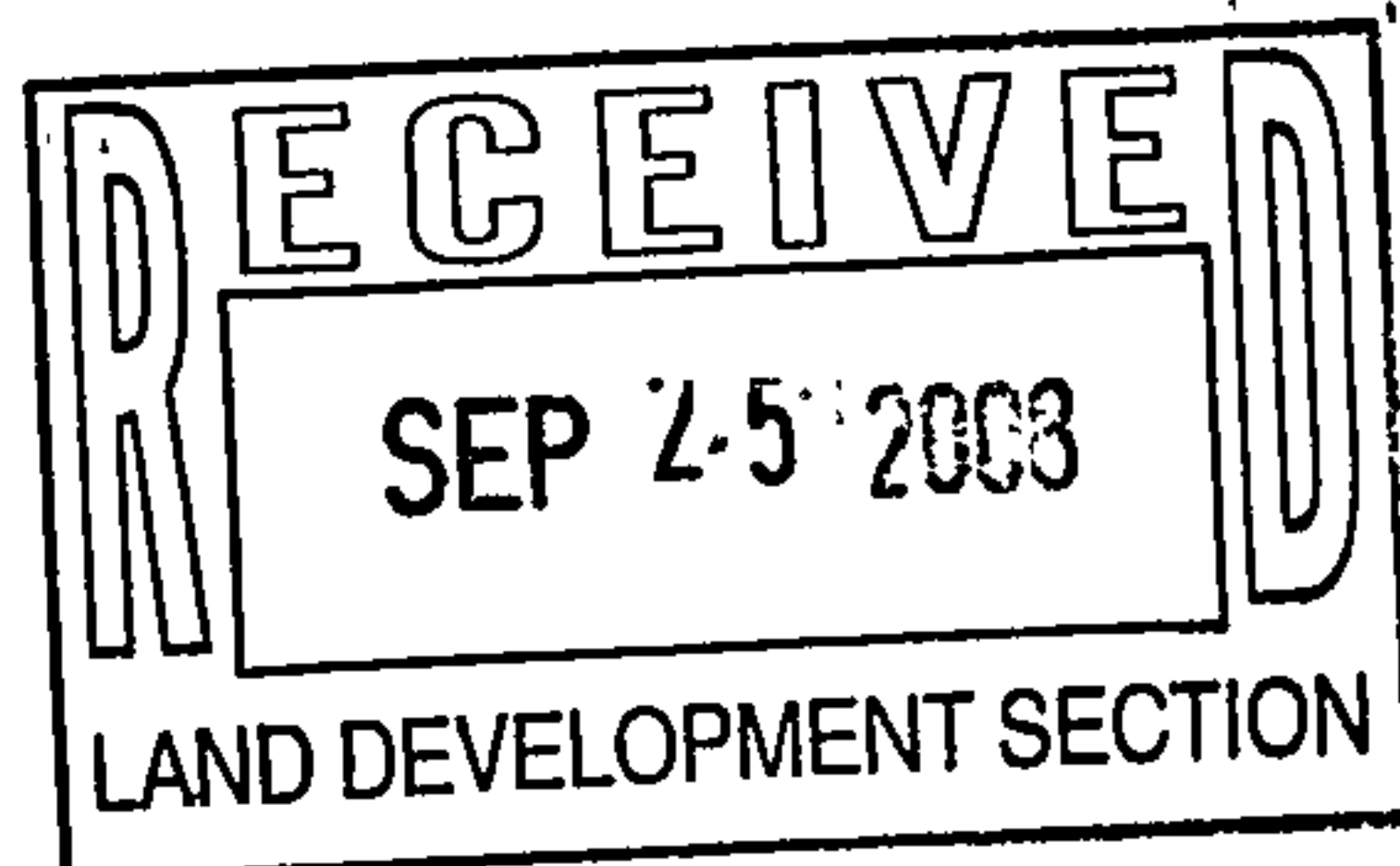
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 01-25-08. The record information edited onto the original design document has been obtained by John Layman of the firm NCA Architects. I further certify that I have personally visited the project site on September 23, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of it's accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, Registered Architects  
NCA Architects, PA





# CITY OF ALBUQUERQUE



March 4, 2008

Verlyn A. Miller, P.E.  
Miller Engineering Consultants, Inc.  
3500 Comanche NE, Bldg F  
Albuquerque, NM 87107

**Re: NMB&T, 4th and Candelaria Grading and Drainage Plan**  
**Engineer's Stamp dated 10-11-07 (G14/D079)**

Dear Mr. Miller,

Based upon the information provided in your submittal dated 1-25-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Albuquerque

Department of Municipal Development, Storm Drainage Division, P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

New Mexico 87103

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Kathy Verhage, DMD

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

G-14/D079

PROJECT TITLE: NMB-IT 4<sup>th</sup> STREET BRANCH ZONE MAP: G-14  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: MONKBRIDGE ADDITION, TRACT A, BLOCK 17  
 CITY ADDRESS: 3701 4<sup>th</sup> STREET

ENGINEERING FIRM: MILLER ENGINEERING CONTACT: VERLYN MILLER  
 ADDRESS: 95 HIGHWAY 344 N PHONE: 268-7771  
 CITY, STATE: EDGEMOND, NM ZIP CODE: 87015

OWNER: NMB-IT CONTACT: STEPHEN MONTOYA  
 ADDRESS: 320 GOLD SW PHONE: 830-8110  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

ARCHITECT: NICA ARCHITECTS CONTACT: JOHN LYMAN  
 ADDRESS: 1306 RIO GRANDE NW PHONE: 255-6401  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87104

SURVEYOR: PRECISION SURVEYS, INC CONTACT: LARRY MEDRANO  
 ADDRESS: 8500-A JEFFERSON ST. NE PHONE: 856-5700  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

CONTRACTOR: WILGER ENTERPRISES CONTACT: DON GUANIENTI  
 ADDRESS: 425 EDMON ROAD NE PHONE: 345-2854  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

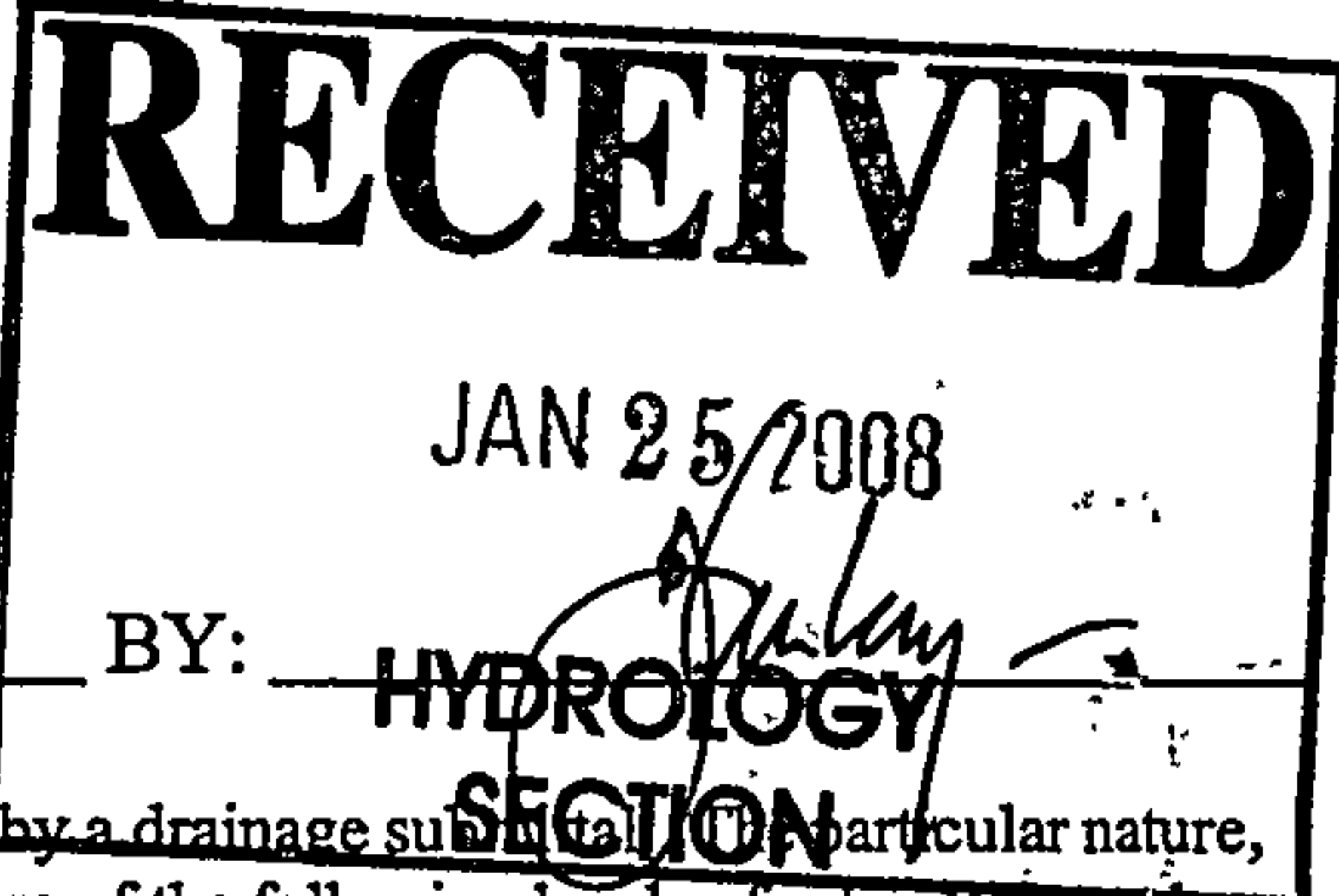
**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1.25.08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal of a particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



April 17, 2008

Verlyn A. Miller, P.E.  
Miller Engineering Consultants, Inc.  
3500 Comanche NE, Bldg F  
Albuquerque, NM 87107

**Re: NM Bank & Trust, 4th and Candelaria Grading and Drainage Plan**  
**Engineer's Stamp dated 04-16-08 (G14/D079)**

Dear Mr. Miller,

Based upon the information provided in your submittal dated 4-17-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Department of Municipal Development, Storm Drainage Division, P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Kathy Verhage, DMD



## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: NEW MEXICO BANK & TRUST ZONE MAP/DRG. FILE # G-14-2  
 DRB#: N/A EPC#: N/A WORK ORDER#: N/A

LEGAL DESCRIPTION: BLOCK 17 MONKBRIDGE TRACT A-LOTS 8,9,10, TRACT E-LOTS 6 & 7  
 CITY ADDRESS: 4TH & CANDELARIA NW. ALBUQ. NM 87107

ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTS CONTACT: VERLYN A. MILLER  
 ADDRESS: 3500 COMANCHE BLVD NE BLDG. F. PHONE: (505) 888-7500  
 CITY, STATE: ALBUQUERQUE NEW MEXICO ZIP CODE: 87107

OWNER: NEW MEXICO BANK & TRUST CONTACT: STEVEN MONTOLYA  
 ADDRESS: 4th & CANDELARIA BLVD N.W. PHONE: 505-831-8100  
 CITY, STATE: ALBUQUERQUE NM 87107 ZIP CODE: 87103

ARCHITECT: N. C. A. ARCHITECTS CONTACT: JOHN LAYMAN  
 ADDRESS: 1306 RIO GRANDE N.W. PHONE: 505-255-6400  
 CITY, STATE: ALBUA NM 87104 ZIP CODE: 87104

SURVEYOR: PRECISION SURVEYS INC. CONTACT: LARRY MEDRANO  
 ADDRESS: 8414 JEFFERSON BLVD NE PHONE: 505-998-0303  
 CITY, STATE: ALBUQ. N.M. ZIP CODE: 87113

CONTRACTOR: WILGER ENTERPRISES CONTACT: DON GUARIENTI  
 ADDRESS: 425 EDMON RD NE PHONE: 505-345-2854  
 CITY, STATE: ALBUQ. NM ZIP CODE: 87107

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY)

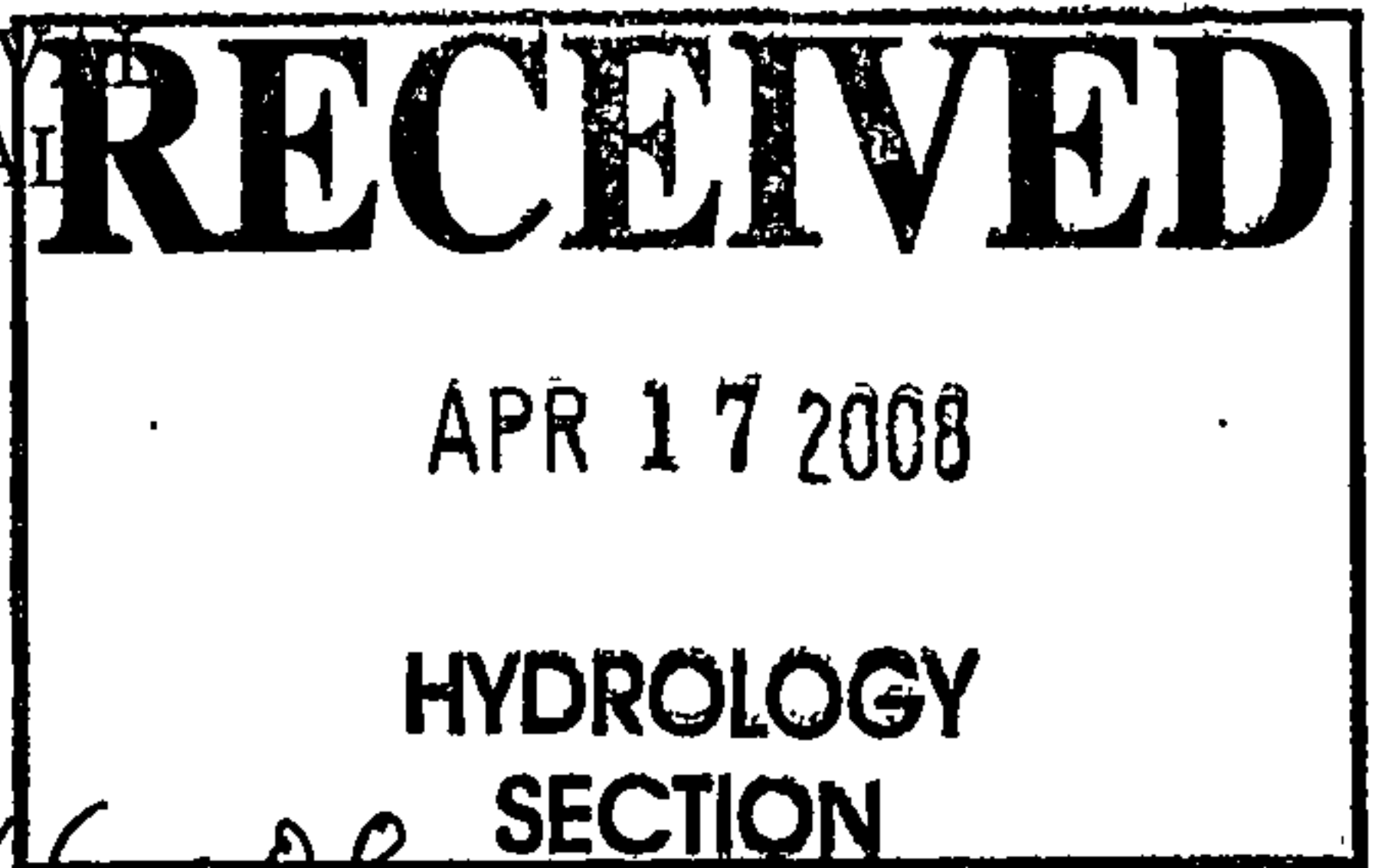
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

SUBMITTED BY: Am A. Saif DATE: 4-16-08



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





MILLER ENGINEERING CONSULTANTS

Engineers • Planners

LETTER OF TRANSMITTAL

TO CITY OF ALBUQUERQUE  
HYDROLOGY DEPARTMENT  
PO Box 1293, Albuquerque, NM 87103  
505-924-3695

DATE 4/17/08	JOB NO. E- 07-050
ATTENTION: HYDROLOGY DEPARTMENT	
RE: NEW MEXICO BANK & TRUST (4 <sup>TH</sup> STREET & CANDELARIA BLVD NW)	

Transmitted herein are the attached documents (noted below):

COPIES	DATE	NO.	DESCRIPTION
1	04-08	1	Grading and Drainage Plan – original (re-submittal)
1	04-08	1	Drainage & Transportation Information Sheet
XX			

THESE ARE TRANSMITTED as checked below:

☐ For Approval

☐ For Your Use

☒ As Requested

☒ For Review & Comment

☐ Other:

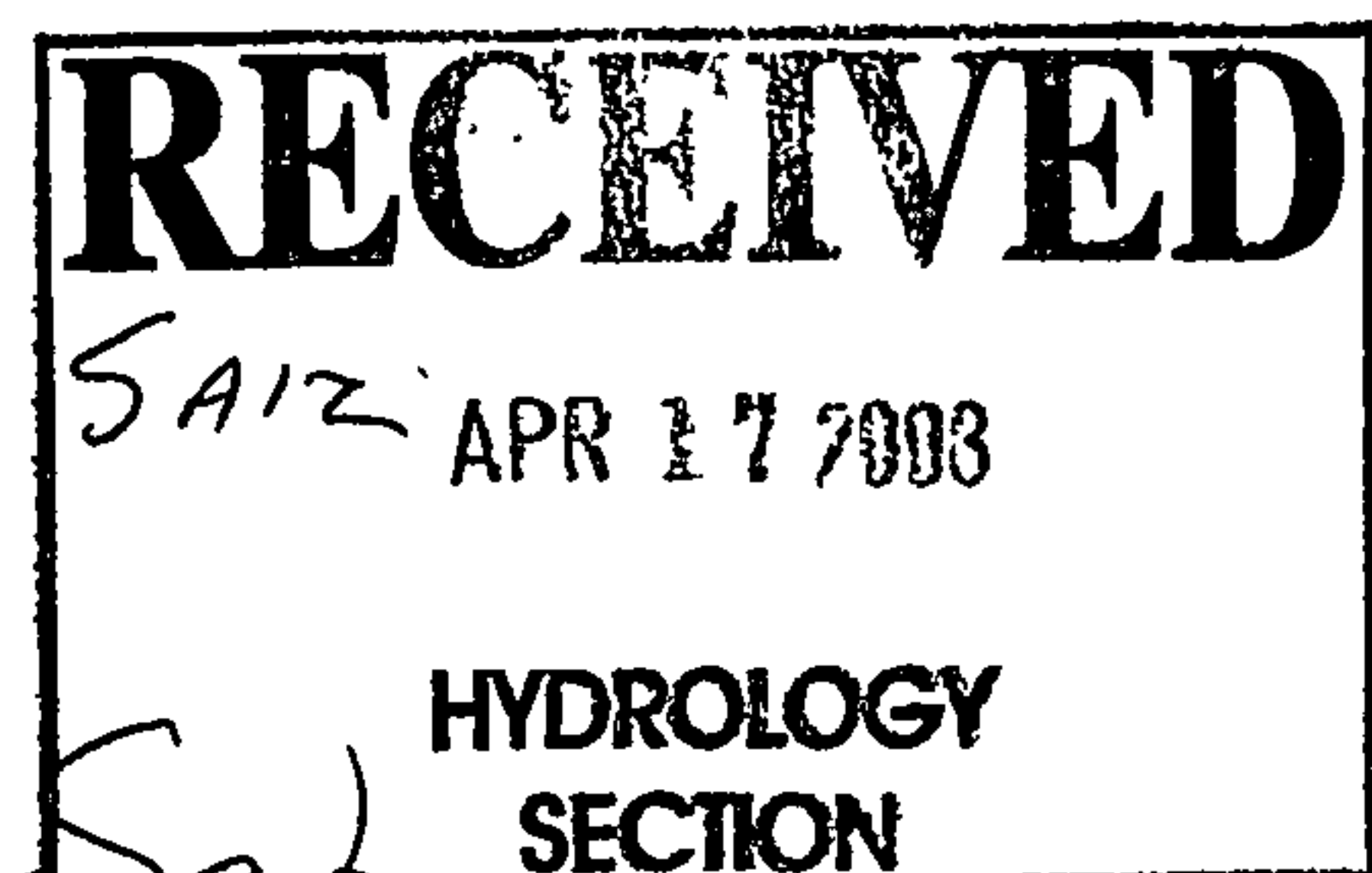
**REMARKS:**

The NMB&T project is being re-submitted for Hydrology review.  
Our clients, NCA Architects made changes to the parking area, which required some grading changes in the East & North portion of the parking area, along with the North driveway.

COPY TO: *NCA Architects / NMBT project file*

SIGNED: \_\_\_\_\_

*TIM A. SAIZ* APR 17 2008



# CITY OF ALBUQUERQUE



January 25, 2008

Robert Calvani, R.A.  
NCA Architects  
1306 Rio Grande Blvd. NW  
Albuquerque, NM 87104

Re: New Mexico Bank & Trust, 3701 4<sup>th</sup> Street, Traffic Circulation Layout  
Architect's Stamp dated 1-22-08 (G14-D079)

Dear Mr. Calvani,

The TCL submittal received 1-25-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NMB ÷ T 4<sup>TH</sup> STREET BRANCH ZONE MAP: 6.14  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: MONK BRIDGE ADDITION, TRACT A, BLOCK 17  
 CITY ADDRESS: 3701 4<sup>TH</sup> STREET

ENGINEERING FIRM: MILLER ENGINEERING CONTACT: VERLYN MILLER  
 ADDRESS: 95 HIGHWAY 344 N. PHONE: 268.7771  
 CITY, STATE: EDGEWOOD, NM ZIP CODE: 87015

OWNER: NMB ÷ T CONTACT: STEPHEN MONTOYA  
 ADDRESS: 320 GOLD SW PHONE: 830.8110  
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

ARCHITECT: HCA ARCHITECTS CONTACT: JOHN LAYMAN  
 ADDRESS: 1306 RIO GRANDE NW PHONE: 255.6400  
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87104

SURVEYOR: PRECISION SURVEYS, INC. CONTACT: LARRY MEPRANO  
 ADDRESS: 8500-A JEFFERSON STREET, NE PHONE: 856.5700  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87113

CONTRACTOR: WILGER ENTERPRISES CONTACT: DON GUARIENTI  
 ADDRESS: 425 EDMON ROAD NE PHONE: 345.2854  
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87107

<p><u>TYPE OF SUBMITTAL:</u></p> <p><input type="checkbox"/> DRAINAGE REPORT</p> <p><input type="checkbox"/> DRAINAGE PLAN 1<sup>ST</sup> SUBMITTAL</p> <p><input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL</p> <p><input type="checkbox"/> CONCEPTUAL G &amp; D PLAN</p> <p><input type="checkbox"/> GRADING PLAN</p> <p><input type="checkbox"/> EROSION CONTROL PLAN</p> <p><input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)</p> <p><input type="checkbox"/> CLOMR/LOMR</p> <p><input checked="" type="checkbox"/> <b>TRAFFIC CIRCULATION LAYOUT</b></p> <p><input type="checkbox"/> ENGINEER'S CERT (TCL)</p> <p><input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)</p> <p><input type="checkbox"/> OTHER (SPECIFY) _____</p>	<p><u>CHECK TYPE OF APPROVAL SOUGHT:</u></p> <p><input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE</p> <p><input type="checkbox"/> PRELIMINARY PLAT APPROVAL</p> <p><input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL</p> <p><input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL</p> <p><input type="checkbox"/> SECTOR PLAN APPROVAL</p> <p><input type="checkbox"/> FINAL PLAT APPROVAL</p> <p><input type="checkbox"/> FOUNDATION PERMIT APPROVAL</p> <p><input checked="" type="checkbox"/> <b>BUILDING PERMIT APPROVAL</b></p> <p><input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)</p> <p><input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)</p> <p><input type="checkbox"/> GRADING PERMIT APPROVAL</p> <p><input type="checkbox"/> PAVING PERMIT APPROVAL</p> <p><input type="checkbox"/> WORK ORDER APPROVAL</p> <p><input type="checkbox"/> OTHER (SPECIFY) _____</p>
---	--

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ **NO**  
☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



October 17, 2007

Robert Calvani, R.A.  
NCA Architects  
1306 Rio Grande Blvd. NW  
Albuquerque, NM 87104

**Re: New Mexico Bank & Trust, No Address Provided,  
Traffic Circulation Layout  
Architect's Stamp dated 9-24-07 (G-14/D079)**

Dear Mr. Calvani,

Based upon the information provided in your submittal received 10-09-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. For passenger vehicles, the minimum end island radius is 15 feet.
2. Please refer to all applicable city standards, by City Standard number, on the plan.
3. Provide a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
4. If the site has left turn access, the drivepad has a 36-foot minimum width. Provide the widths of all drives and driveways.
5. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
6. Show the queuing length for all drive through windows. Per the *Development Process Manual*, Chapter 23, Section 7, Part E, the queuing length that must be provided for a bank drive-through facility is 6 vehicles per window (120 feet).
7. I understand that a replat of this site is currently in process with the Development Review Board. Therefore, any comments regarding required easements will be postponed until the proposed plat has been approved. Include a copy of the recorded re-plat with the next submittal.
8. Show a 6' pedestrian path from the street to the building. This path will need to be ADA accessible.
9. Indicate all wheelchair ramps on the plan. All ramps located in the Right-of-Way are required to have truncated domes.

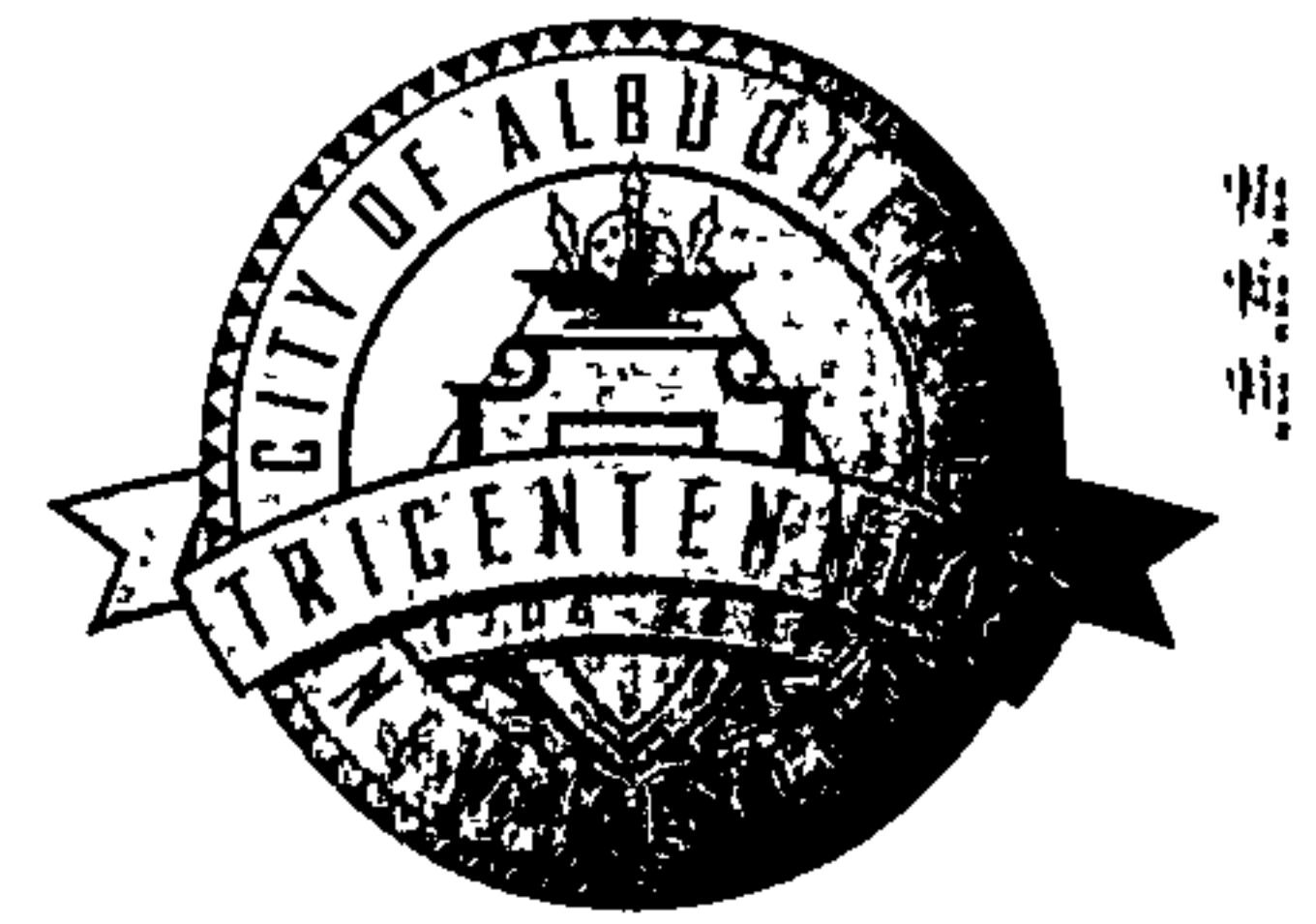
If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services  
C: File



# CITY OF ALBUQUERQUE



October 8, 2007

Verlyn A. Miller, P.E.  
Miller Engineering Consultants  
3500 Comanche NE, Bldg. F  
Albuquerque, NM 87107

Re: New Mexico Bank & Trust, Engineer's Stamp dated 10-3-07, (G14/D79)

Dear Mr. Miller,

Based on the information contained in your submittal received on October 4, 2007, the above referenced plan is approved for Grading Permit. However, additional information must be included on the plan drawings prior to Building Permit approval. That information is as follows.

- Please cite and / or include the appropriate F.I.R.M. panel and state whether or not the subject site is located within a designated flood plain.
- Include the site's legal description on the plan drawing.
- Please revise the title block to "Grading and Drainage Plan" (not Civil Site Plan) as it will appear in the Building Permit plan set. Also include your company information on the plans since architects are prohibited from generating grading plans unless under the direct supervision of a P.E.

P.O. Box 1293

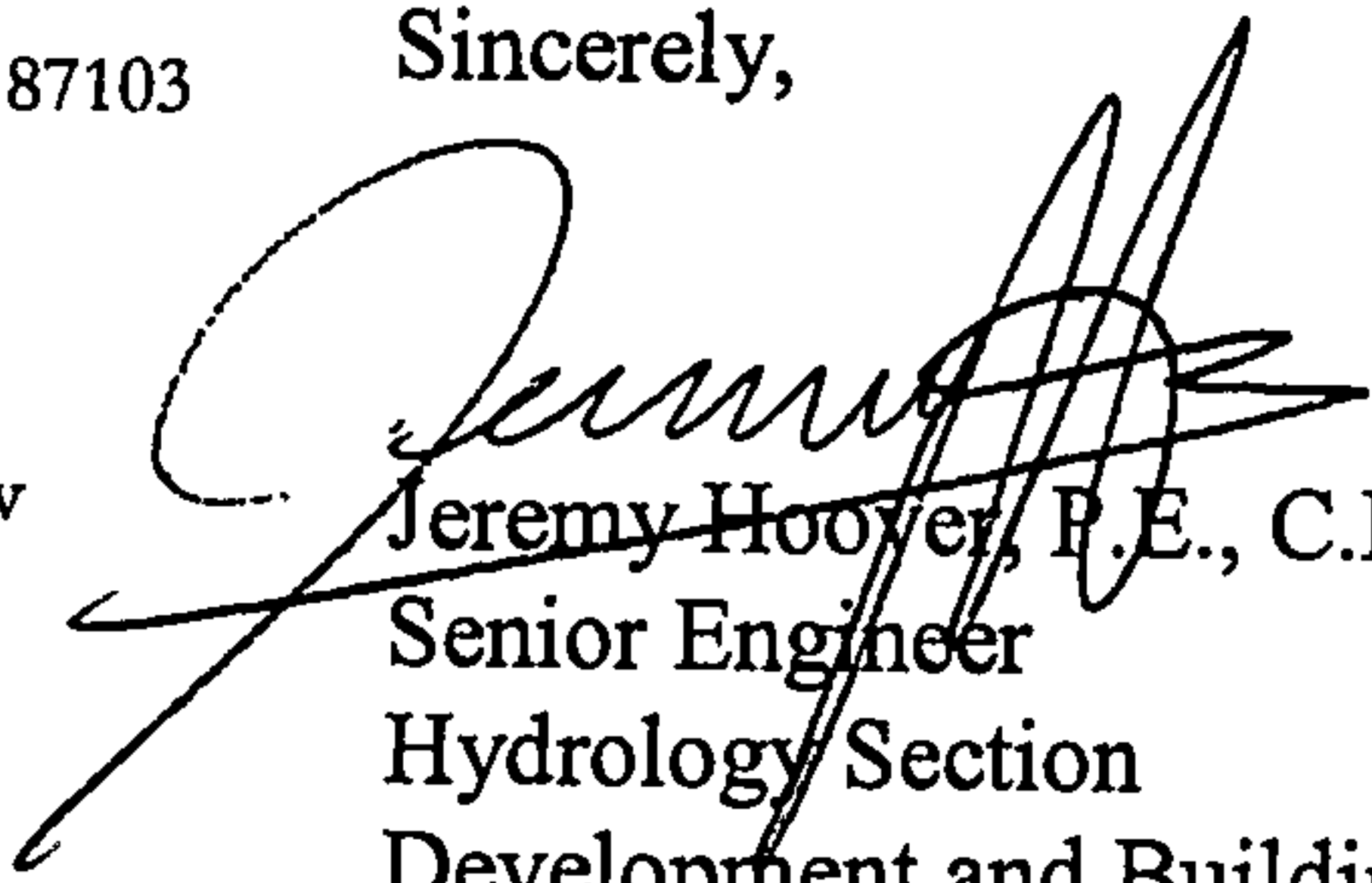
Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

  
Jeremy Hoover, P.E., C.F.M.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file G14/D79

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: NEW MEXICO BANK & TRUSTDRB#: N/AEPC#: N/A

ZONE MAP/DRG. FILE #

G-14-7 DB 79WORK ORDER#: N/ALEGAL DESCRIPTION: BLOCK 17, MONKBRIDGE, TRACT A-LOTS 8, 9, 10 TRACT B-LOTS 6 & 7  
CITY ADDRESS: N.M. BANK & TRUST, 4TH & CANDELARIA NW ALBUQ. N.M. 87107  
TRACT E-LOT 5ENGINEERING FIRM: MILLER ENGINEERING CONSULTANTSADDRESS: 3500 COMANCHE BLVD N.E. BULD. FCITY, STATE: ALBUQUERQUE, NMCONTACT: VERLYN A. MILLERPHONE: (505) 888-7500ZIP CODE: 87107OWNER: NEW MEXICO BANK & TRUSTADDRESS: 4TH STREET & CANDELARIA BLVD.CITY, STATE: ALBUQ. NM 8710CONTACT: STEVEN MONTROYAPHONE: 505-831-8100ZIP CODE: 87103ARCHITECT: N. C. A. ARCHITECTSADDRESS: 1306 RIO GRANDE BLVD NWCITY, STATE: ALBUQUERQUE NM 87104CONTACT: JOHN LAYMANPHONE: 505-255-6400ZIP CODE: 87104SURVEYOR: PRECISION SURVEYS INC.8414 ADDRESS: 8500 JEFFERSON ST. N.E.CITY, STATE: ALBUQUERQUE NM-87113CONTACT: LARRY MEDRANOPHONE: 505-998-0303ZIP CODE: 87102

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
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☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☐ NO☐ COPY PROVIDED

SUBMITTED BY:

Kim Saff

DATE:

10/03/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivision containing more than 5 acres.

