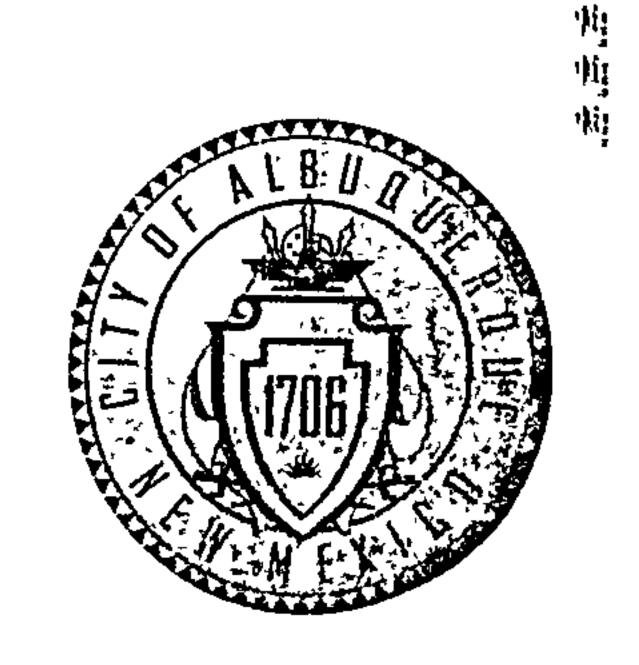
	ORTATION INFORMATION SHEET Rev. 01/06)
PROJECT TITLE: NEW MEXICO BANK + TRU	ST 70NE MADIODG ETTE # G-111- AIO -10
DRB#: EPC#:/A	WORK ORDER#: WORK ORDER#:
LEGAL DESCRIPTION: BLOCK 17, monks 821066	- TRACT A-LOTS 8,9,10 TRACT 8-LOTS 6+7
	' <i>Light In Light                                      </i>
	- <i>////. /</i>
ENGINEERING FIRM: MILLER ENGINEERING Q	ONSULTANTE CONTRACT. VERIVAL A MILLER
ADDITION DE COMPANIE OCUDINA.	BUILD F PHONE: 505 888 - 7500
CITY, STATE: ALBUQUERQUE, NM	ZIP CODE: 87/07
OWNER: NEW MEXICO BANK & TRUST	CONTACT: STEVEN MONTOYA
ADDRESS: 4THSTREET & CANOELAR	17 8CVO. PHONE: 505-831-8100
CITY, STATE: ALBUQUERQUE NM 87	ZIP CODE: 87/03
•	
ARCHITECT: NCA ARCHITECTS	CONTACT: JOHN LAYMAN
ADDRESS: 1306 ROGRANOE BLUD.	$\Delta I_{A}I$ DUONE: $\Delta O = 2 \leq \frac{1}{2} \leq \frac{1}{2$
CITY, STATE: ALBUQUERQUE NM 87	1010E: 87104
SURVEYOR: PRECISION SURVEYS INC.	CONTACT: LARRY MEDRANO
ADDRESS: 8414 JEFFERSON ST N.	E PHONE: 505-992-02
CITY, STATE: ALBUQUERQUE NM 8	7/13 ZIP CODE: 87/02
PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO. DATE
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	
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DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN  ENICIPIED 10 CERT CHERRON -	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER/ARCHITECT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
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	OTHER (SPECIFY) 而同同[
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WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	11111 SEP L D 2000 1191
COPY PROVIDED	LAND DEVELOPMENT SECTION
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SUBMITTED BY:	DATE:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- . 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



September 26, 2008

Verlyn A. Miller, P.E.

Miller Engineering Consultants
3500 Comanche Blvd NE, Building F
Albuquerque, NM 87107

Re: New Mexico Bank and Trust, 3701 4<sup>th</sup> St. NW

Approval of Permanent Certificate of Occupancy (C.O.),

Engineer's Stamp dated 04/16/08 (G-14/D079)

Certification dated 9/23/08

Based upon the information provided in your submittal received 9/26/08, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

Curtis A. Cherne. P.E. NM 87103

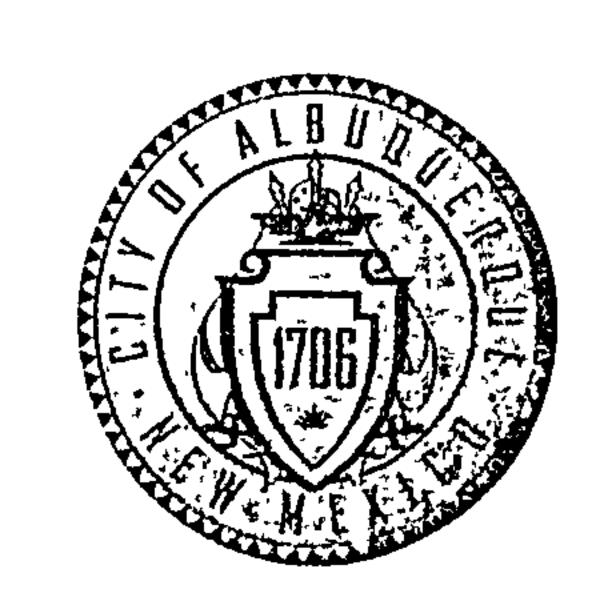
Senior Engineer, Hydrology

Development and Building Services

www.cabq.gov

CO Clerk

File



#### Planning Department Transportation Development Services Section

November 4, 2008

Robert Calvani, Registered Architect, NCA Architects Planners 1306 Rio Grande Blvd NW Albuquerque, NM 87104

Re:

Certification Submittal for Final Building Certification of Occupancy (C.O.) for

New Mexico Bank and Trust, [G-14 / D079]

3701 4th Street NW

Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

The TCL / Letter of Certification submitted on November 4, 2008 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

PO Box 1293

Albuquerque

NM 87103

Nho E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

www.cabq.gov

Engineer C:

Hydrology file

CO Clerk



### Planning Department Transportation Development Services Section

November 3, 2008

Robert Calvani, Registered Architect, NCA Architects Planners 1306 Rio Grande Blvd NW Albuquerque, NM 87104

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

New Mexico Bank and Trust, [G-14 / D079]

3701 4th Street NW

Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 90-day Temporary C.O.

PO Box 1293

A Temporary C.O. has been issued allowing the outstanding infrastructure fronting COA ROW (need to provide a note that specifies who'll build and close existing sidewalk and drivepads fronting Candelaria and 4<sup>th</sup> St.) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by

www.cabq.gov

NM 87103

If you have any questions, please call me at 924-3630.

Sincerely,

Transportation.

Nilo E. Salgado-Fernandez, P.E.

Senior/Traffic Engineer

Development and Building Services

Planning Department

C:

Engineer Hydrology file CO Clerk

(REV 12/2005)

PROJECT TITLE: ////////////////////////////////////	ZONE MAP: 6-14 De
DRB#:	WORK ORDER#:
LEGAL DESCRIPTION:	
CITY ADDRESS: 370 4TF STUEET LIW SI	BD. NM 67104
ENGINEERING FIRM: VENLY WILLER ENGINEERY ADDRESS:	
CITY, STATE:	PHONE: <u>&amp;&amp;&amp;, 756V</u> ZIP CODE:
OWNER: KINB + T	CONTRACT STEVEN MANAGEMA
ADDRESS:	CONTACT: STEVEN MOUTOY PHONE: 830-8100
CITY, STATE:	ZIP CODE:
ARCHITECT: NGA AVEHTEUS	CONTACT: JOHN LAMMAN
ADDRESS: 1306 MIO GUANDE NW	PHONE: 255-6460
CITY, STATE: ABO 2110 67104	ZIP CODE: <u>67104</u>
SURVEYOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CONTRACTOR: WILGER ENTERMISES	CONTACT: DOM 6
ADDRESS:	PHONE: 278.5651
CITY, STATE:	ZIP CODE:
DRAINAGE REPORT  DRAINAGE PLAN 1st SUBMITTAL  DRAINAGE PLAN RESUBMITTAL  CONCEPTUAL G & D PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR  TRAFFIC CIRCULATION LAYOUT  ENGINEER'S CERT (TCL)  ENGINEER'S CERT (DRB SITE PLAN)  GRADIN  GRADIN	F APPROVAL SOUGHT: ANCIAL GUARANTEE RELEASE INARY PLAT APPROVAL PLAN FOR SUB'D APPROVAL FOR BLDG. PERMIT APPROVAL PLAN APPROVAL PLAN APPROVAL ATION PERMIT APPROVAL ICATE OF OCCUPANCY (PERM) ICATE OF OCCUPANCY (TEMP) IG PERMIT APPROVAL PER
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required based on the following:

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Krystal Metro
Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque

September 25, 2008

RE: Approval of Certificate of Occupancy for New Mexico Bank and Trust 3701 4<sup>th</sup> Street NW Albuquerque, NM 87104

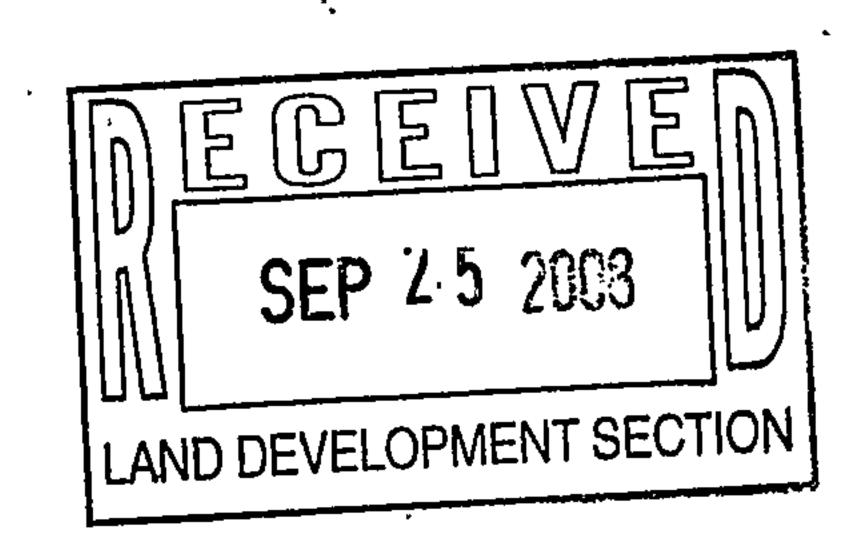
Dear Krystal,

I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, herby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 01-25-08. The record information edited onto the original design document has been obtained by John Layman of the firm NCA Architects. I further certify that I have personally visited the project site on September 23, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

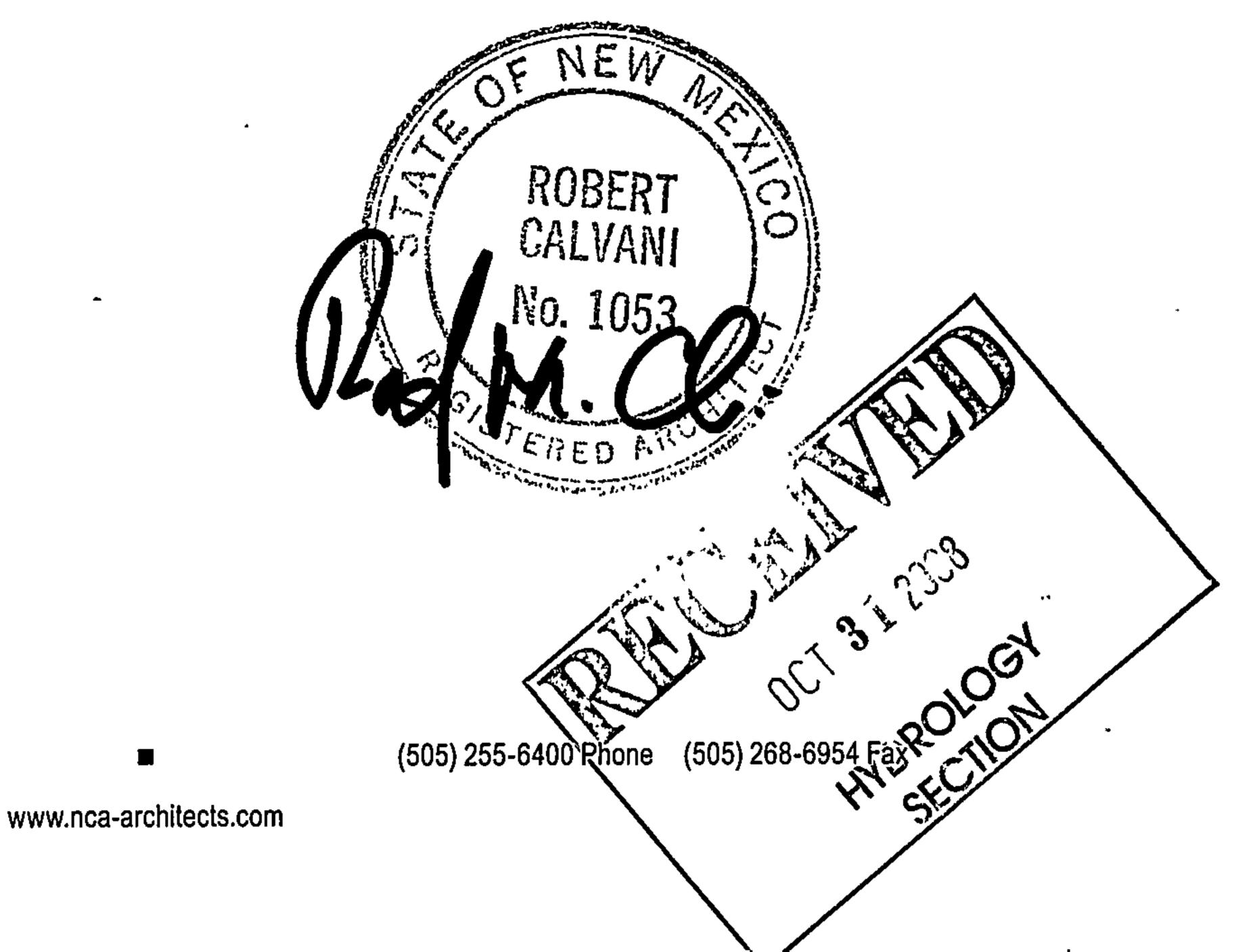
The record information presented heron is not necessarily completed and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of it's accuracy before using it for any other purpose.

Sincerely,

Robert Calvani, Registered Architects NCA Architects, PA



1306 Rio Grande Blvd. NW, Albuquerque, NM 87104





### Planning Department Transportation Development Services Section

September 26, 2008

Robert Calvani, Registered Architect, NCA Architects Planners 1306 Rio Grande Blvd NW Albuquerque, NM 87104

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

New Mexico Bank and Trust, [G-14 / D079]

3701 4th Street NW

Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 30-day Temporary C.O.

PO Box 1293

A Temporary C.O. has been issued allowing the outstanding Approved Site Plan (need to provided the approved site plan dated 01/25/08) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

NM 87103

If you have any questions, please call me at 924-3630.

Sincere

Nilo E. Salgado-Fernandez, P.E.

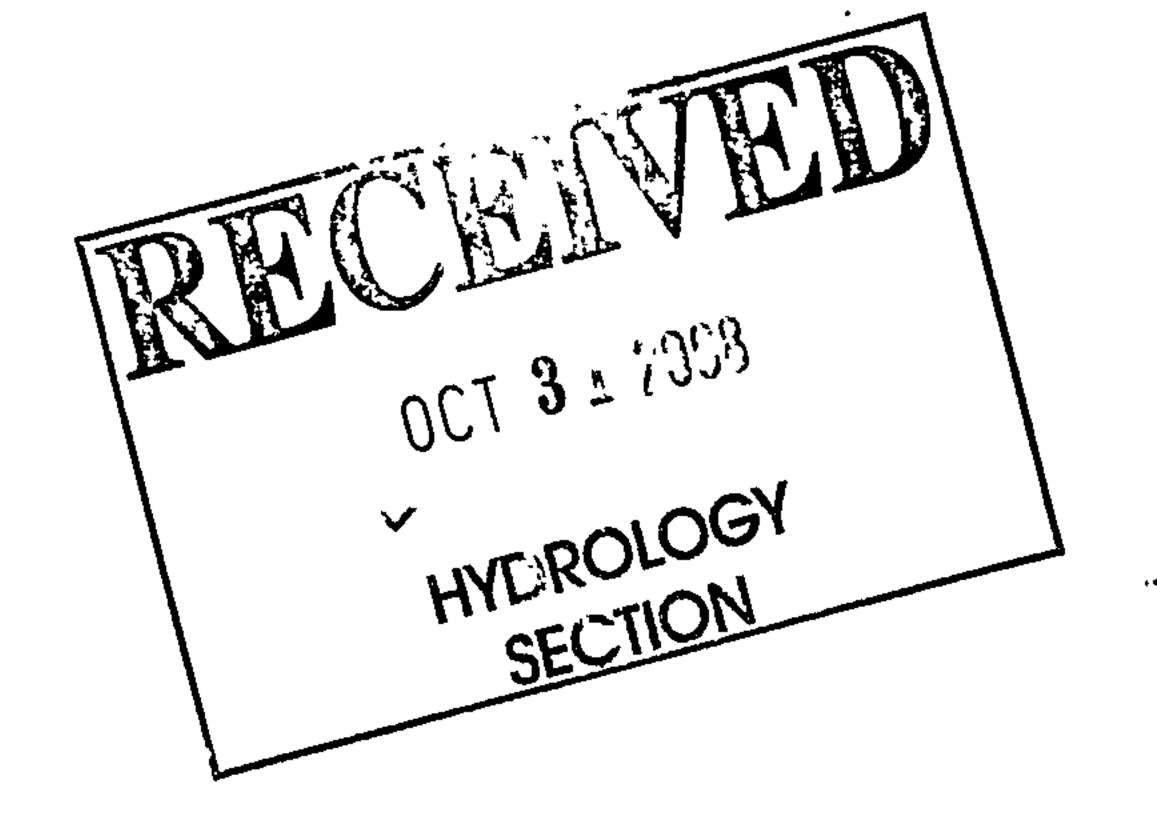
Senior Traffic Engineer

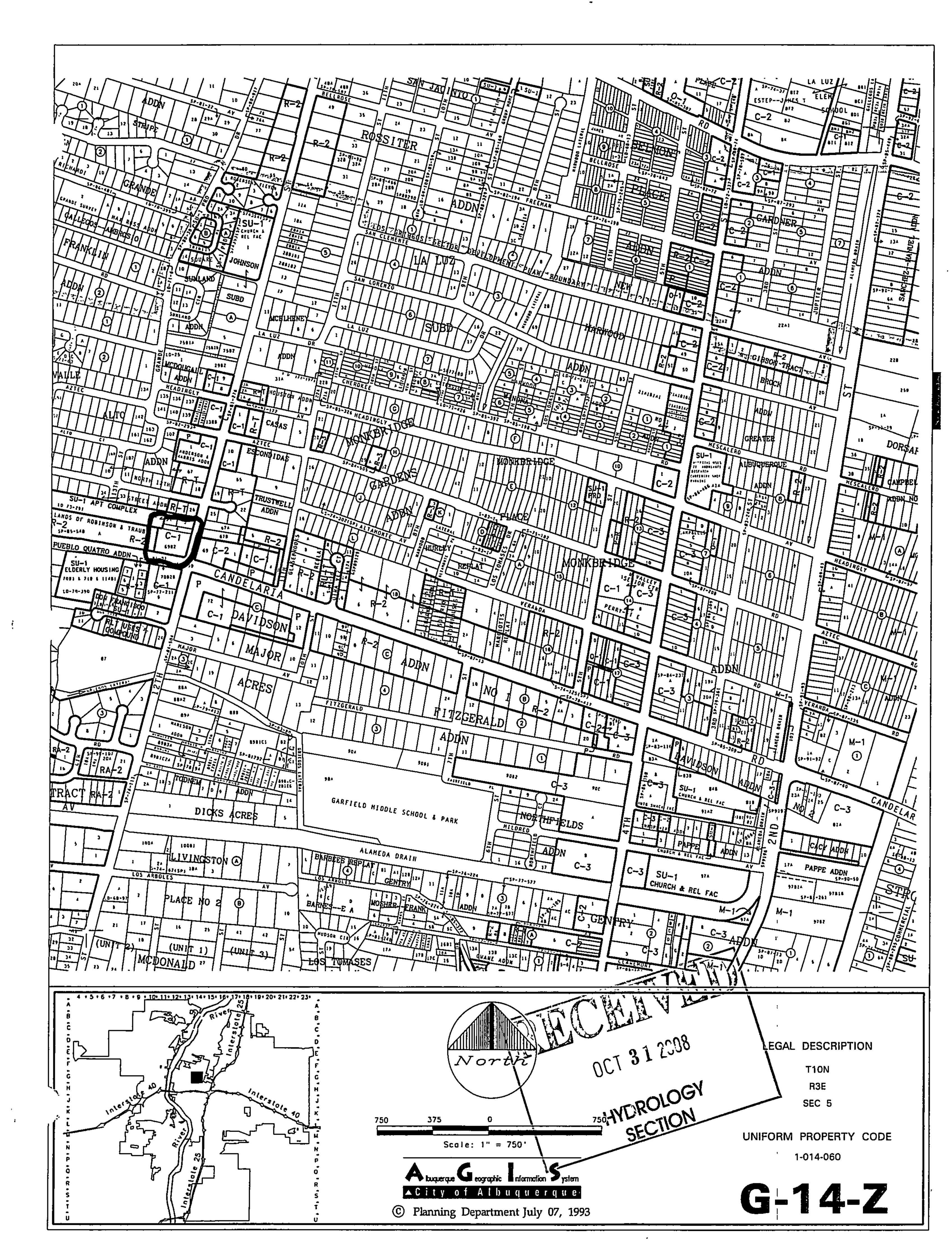
Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk





(REV 12/2005)

PROJECT TITLE: DRB#:	1/11/13 -17 EPC#	4.	Condela	<del> </del>	ZONE MA	IP: 6-14/DO
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	MB+T		<u> </u>	CON	NTACT: 578	-ELOO
ADDRESS: _	<del></del>			PHC	ONE: <u>830</u>	-e100
CITY, STAT	E:	<u> </u>			CODE:	
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ADDRESS:		GUBNIDE L	14)		NTACT: 10H	U WYWWW
CITY, STATI	E: ABO RIM	87104			NE: <u>255-6</u> CODE: E71	<u> </u>
•			<u> </u>	ZIF	CODE: OTE	74
SURVEYOR:				CON	TACT:	
ADDRESS: _				PHO		
CITY, STATI	∃:				CODE:	
CONTRACTOR:	WILGER E	ATEVILLES		CON	TACT: _D04	6
ADDRESS:				PHO		.5651
CITY, STATE	ਹੈ: 	· · · · · · · · · · · · · · · · · · ·	<u> </u>	· <del>-</del>	CODE:	* 503 1
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location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

See vote on plans belouse COA Archite that Meendering



### Planning Department Transportation Development Services Section

September 26, 2008

Robert Calvani, Registered Architect, NCA Architects Planners 1306 Rio Grande Blvd NW Albuquerque, NM 87104

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

New Mexico Bank and Trust, [G-14 / D079]

3701 4th Street NW

Architect's Stamp Dated 09/25/08

Dear Mr. Calvani:

Based on the information provided on your submittal dated September 25, 2008, the above referenced project is approved for a 30-day Temporary C.O.

PO Box 1293

A Temporary C.O. has been issued allowing the outstanding Approved Site Plan (need to provided the approved site plan dated 01/25/08) issues to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

www.cabq.gov

If you have any questions, please call me at 924-3630.

Nilo E. Salgado-Fernandez, P.E. Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Sincerel

Engineer
Hydrology file
CO Clerk

£,



Krystal Metro
Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque

September 25, 2008

RE: Approval of Certificate of Occupancy for New Mexico Bank and Trust 3701 4<sup>th</sup> Street NW Albuquerque, NM 87104

Dear Krystal,

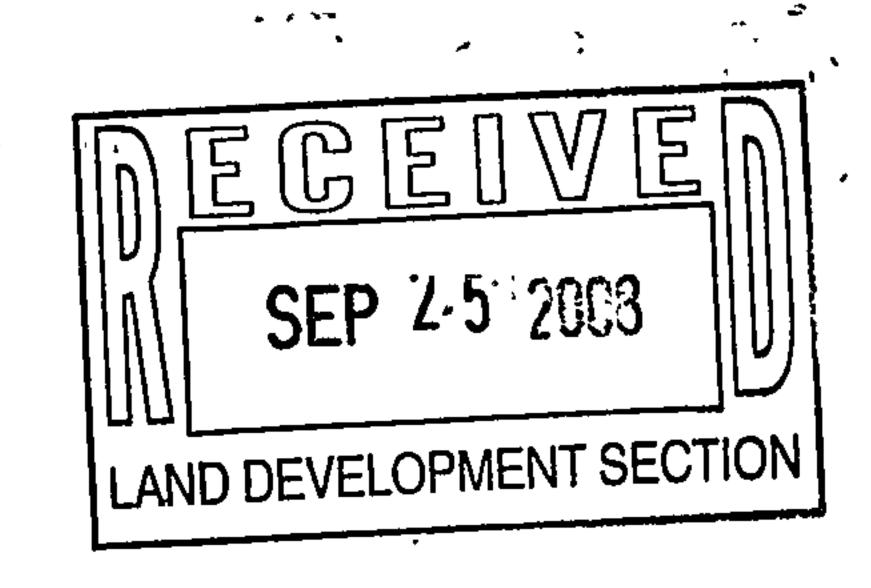
I Robert Calvani, a registered Architect in the State of New Mexico of the firm NCA Architects, herby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 01-25-08. The record information edited onto the original design document has been obtained by John Layman of the firm NCA Architects. I further certify that I have personally visited the project site on September 23, 2008 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

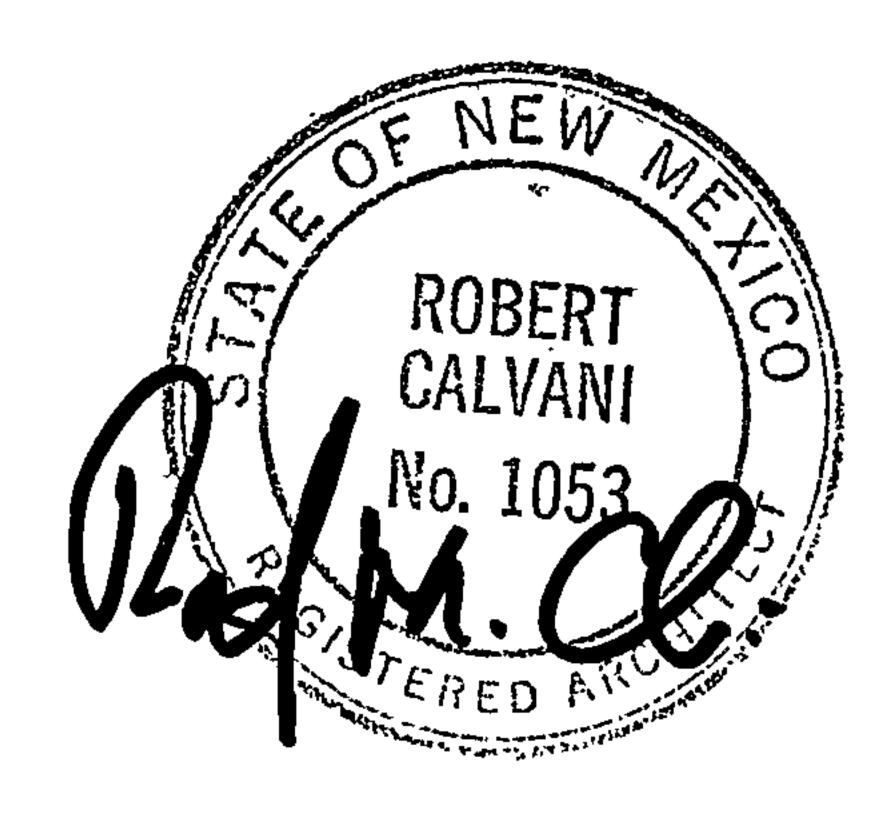
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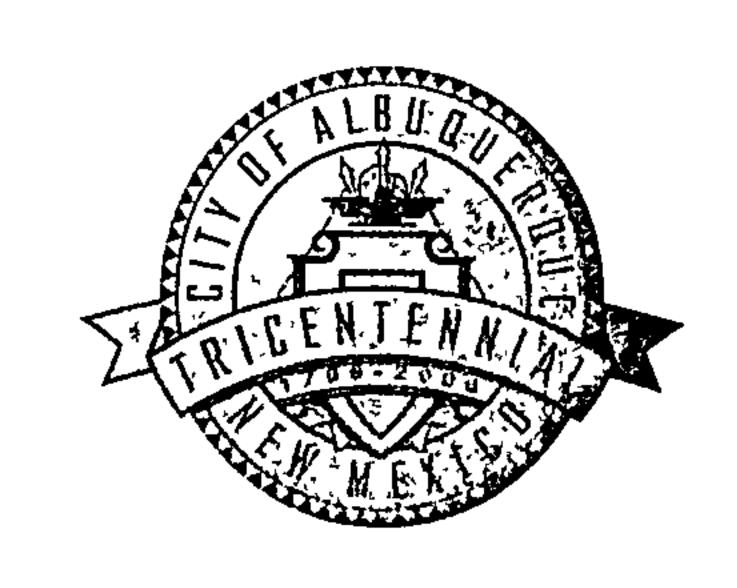
Sincerely,

Robert Calvani Registered Archit

Robert Calvani, Registered Architects NCA Architects, PA







March 4, 2008

Verlyn A. Miller, P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

Re: NMB&T, 4th and Candelaria Grading and Drainage Plan Engineer's Stamp dated 10-11-07 (G14/D079)

Dear Mr. Miller,

Based upon the information provided in your submittal dated 1-25-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Albuquerque

Department of Municipal Development, Storm Drainage Division, P.O. Box 1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

New Mexico 87103

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: file

Kathy Verhage, DMD

Albuquerque - Making Flistory 1706-2006

(REV 12/2005)

PROJECT TITLE: NMB++ 4th STREET BRANCH	ZONE MAP: 6-14
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: MONKBRUGGE ADDITION THAC	or A Block 17
CITY ADDRESS: 3701 4th street	
ENGINEERING FIRM: MILLER ENGINEERING	CONTACT: VERY MILLER
ADDRESS: 95 Highway 344 H	PHONE: 268.7771
CITY, STATE: Ebgzwudd IIM	ZIP CODE: 67015
OWNER: NMB 17	CONTACT: STEPHEN MONTOY
ADDRESS: 320 GOLD SW	CONTACT: STEPHEN MONTOY PHONE: 520.EU0
CITY, STATE: MBHQUELQUE, HM	ZIP CODE: 87(02
ARCHITECT: MCA Anufriects	CONTACT: John LAM MAN
ADDRESS: 1306 RIO GUANDE NIW	CONTACT: John Men PHONE: ZSS'64W
CITY, STATE: ALBUQUERQUE, NIM	ZIP CODE: <u>87(04</u>
SURVEYOR: PREUSION SURVEYS, INC	CONTACT: LAKING WEDNANO
ADDRESS: 8500-A JEFFERLAN IT. HE	PHONE: 856-5700
CITY, STATE: ALBUQUELQUE, NM	ZIP CODE: 871(3
CONTRACTOR: WILGER EUTERPHISE!	CONTACT: DON GWALEAT!
ADDRESS: 425 EDMON ROAD HE	PHONE: 345.2854
CITY, STATE: ACBUQUEUQUE, NUM	ZIP CODE: <u>81101</u>
TYPE OF SUBMITTAL: CHECK TYPE OF	F APPROVAL SOUGHT:
	NANCIAL GUARANTEE RELEASE
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location, and scope to the proposed development defines the degree of drainage detail. On required based on the following:	THE OF THOSE OF THE TOHOWING ICACIS OF SUBINITIES INSTANCE.

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
 Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
 Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



April 17, 2008

Verlyn A. Miller, P.E.

Miller Engineering Consultants, Inc.

3500 Comanche NE, Bldg F

Albuquerque, NM 87107

Re: NM Bank & Trust, 4th and Candelaria Grading and Drainage Plan Engineer's Stamp dated 04-16-08 (G14/D079)

Dear Mr. Miller,

Based upon the information provided in your submittal dated 4-17-08, the above referenced plants approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDE) permit. You are required to send a copy of your SWPPP on a CD to the following address:

Department of Municipal Development, Storm Drainage Division, P.O. Box-1293, One Civic Plaza, Rm. 301, Albuquerque, NM 87103

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services.

C· file

Kathy Verhage, DMD

PO Box 1293

NM 87103

Albuqueraú

www.cabq.go

	(Rev. 12/05	5)	G-1410079	}
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PROJECT TITLE: NEW MEXICO BANK	9 1 KU 57	ZONE MAP/DRG. FIL	上# ~ ~ ~	<b></b>
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ENGINEERING FIRM: MILLER ENGINE ADDRESS: 3500 COMANCH	E PINO NE	TO CONTACT: V	CHOIN INTICCEL	<del>_</del>
ADDRESS: SOU COMANDA	VELS MENOR	PHONE: (20	197100-1900	
CITY, STATE: ALBUQUE AVE	NEW MEXICO	ZIP CODE:	81101	<del></del>
OWNER: NEW MEXICO BANK &	TRINGT	CONTURA CUTA	STEVEN MONTOY	2
ADDRESS: 4th & CANDELARI	1 E/V (2) N/V	DIIONE SA	5-831-8100	<u>'</u>
CITY, STATE: AUSUAVERQUE	NA BOIL	ZIP CODE:	87107	<del></del>
CITT, STATE: //DISTURBLE	14/4 0 //0/	ZIP CODE:		
ARCHITECT: N.C.A. AFCHITECT	-5	CONTRACT	IDHAC CAVMANI	
ADDRESS: 1306 Flo GR	and NE W. W	DEIONIE: 50	104N CAYMAN 5-255-6400	
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SURVEYOR: PRECISION SURVEY	15 10C.	CONTACT. L	ARRY MEDRAND	
ADDRESS: 8414 SEFFERS	ON BLVD NE	PHONE: 5	AFRY MEDRAND 05-998-0303	<del></del>
CITY, STATE: ALBUQ. N	. M.	ZIP CODE:		
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CONTRACTOR: WILGER ENTERPH	21555	CONTACT:	DON GUARIENTI 05-345-2854	
ADDRESS: 425 EDMON R	DNE	PHONE: 5	05-345-2854	
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans. .
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

#### LETTER OF TRANSMITTAL

TO CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT PO Box 1293, Albuq. NM 87103 505-924-3695

DATE 4/17/08	JOB NO. E- 07-050
ATTENTION: HYDROLOGY	DEPARTMENT
NEW MEXICO BANK & 1 (4 <sup>TH</sup> STREET & CANDEL	

Transmitted herein are the attached documents (noted below):

COPIES	DATE	NO.	DESCRIPTION
1	04-08	1	Grading and Drainage Plan – original (re-submittal)
1	04-08	1	Drainage & Transportation Information Sheet
XX			
			•

THESE ARE TRANSMITTED	as checked below:
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☐ For Approval	☐For Your Use	As Requested	For Review & Commen
			♥

#### **REMARKS:**

The NMB&T project is being re-submitted for Hydrology review. Our clients, NCA Architects made changes to the parking area, which required some grading changes in the East & North portion of the parking area, along with the North driveway.

COPY TO: NCA Architects / NMBT project file

A. SAIZ APR 177003

HYDROLOGY
SECTION

SIGNED:



January 25, 2008

Robert Calvani, R.A. NCA Architects 1306 Rio Grande Blvd. NW Albuquerque, NM 87104

Re: New Mexico Bank & Trust, 3701 4<sup>th</sup> Street, Traffic Circulation Layout

Architect's Stamp dated 1-22-08 (G14-D079)

Dear Mr. Calvani,

The TCL submittal received 1-25-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

P.O. Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

New Mexico 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C:

File

(REV 12/2005)

PROJECT TITLE: NMB - + 4th STREET B	RANCH ZONE MAP: 6.14
DRB#: EPC#:	
LEGAL DESCRIPTION: MONKBYOGE AUDITO CITY ADDRESS: 3701 415 STREET	M, the Tract A, Block 17
ENGINEERING FIRM: MUEK EHGINEENING ADDRESS: 75 HIGHWAY 344 N CITY, STATE: ENGEWOOD NM	CONTACT: VERYN MILLEN PHONE: Z68.7771 ZIP CODE: 527015
OWNER: JMB !T  ADDRESS: 320 GOLD JW  CITY, STATE: ALBRONERQUE HU	CONTACT: STEPHEN MONTO PHONE: 830.8110
ARCHITECT: UCA ANCHITECT J  ADDRESS: 1306 RIO GUANDE UW  CITY, STATE: LAURA QUENQUE HM	CONTACT: JOHN LAYMAN
SURVEYOR: PRECISION SURVEYS INC ADDRESS: 8500-A JEFFERSON STRE CITY, STATE: ALBUQUERQUE, NM	
CONTRACTOR: WILGER ENTERPRISES  ADDRESS: 425 EDMON ROAD HE  CITY, STATE: AUGUSKQUE UM	CONTACT: DON GUAR [ENTI PHONE: 345.2854. ZIP CODE: 81107
TYPE OF SUBMITTAL:  DRAINAGE REPORT  DRAINAGE PLAN 1st SUBMITTAL  DRAINAGE PLAN RESUBMITTAL  CONCEPTUAL G & D PLAN  GRADING PLAN  EROSION CONTROL PLAN  ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR  X  TRAFFIC CIRCULATION LAYOUT  ENGINEER'S CERT (DRB SITE PLAN)  OTHER (SPECIFY)	TYPE OF APPROVAL SOUGHT: SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM) CERTIFICATE OF OCCUPANCY (TEMP) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
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- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

October 17, 2007

Robert Calvani, R.A.
NCA Architects
1306 Rio Grande Blvd. NW
Albuquerque, NM 87104

TENTEN SERVICE STATES OF THE PARTY OF THE PA

Re: New Mexico Bank & Trust, No Address Provided,

Traffic Circulation Layout

Architect's Stamp dated 9-24-07 (G-14/D079)

Dear Mr. Calvani,

Based upon the information provided in your submittal received 10-09-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. For passenger vehicles, the minimum end island radius is 15 feet.
- 2. Please refer to all applicable city standards, by City Standard number, on the plan.
- 3. Provide a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
- 4. If the site has left turn access, the drivepad has a 36-foot minimum width. Provide the widths of all drives and driveways.
- 5. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
- 6. Show the queuing length for all drive through windows. Per the *Development Process Manual*, Chapter 23, Section 7, Part E, the queuing length that must be provided for a bank drive-through facility is 6 vehicles per window (120 feet).
- 7. I understand that a replat of this site is currently in process with the Development Review Board. Therefore, any comments regarding required easements will be postponed until the proposed plat has been approved. Include a copy of the recorded re-plat with the next submittal.
- 8. Show a 6' pedestrian path from the street to the building. This path will need to be ADA accessible.
- 9. Indicate all wheelchair ramps on the plan. All ramps located in the Right-of-Way are required to have truncated domes.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

THE HITE

October 8, 2007

Verlyn A. Miller, P.E. Miller Engineering Consultants 3500 Comanche NE, Bldg. F Albuquerque, NM 87107

Re: New Mexico Bank & Trust, Engineer's Stamp dated 10-3-07, (G14/D79)

Dear Mr. Miller,

Based on the information contained in your submittal received on October 4, 2007, the above referenced plan is approved for Grading Permit. However, additional information must be included on the plan drawings prior to Building Permit approval. That information is as follows.

- Please cite and / or include the appropriate F.I.R.M. panel and state whether or not the subject site is located within a designated flood plain.
- Include the site's legal description on the plan drawing.

• Please revise the title block to "Grading and Drainage Plan" (not Civil Site Plan) as it will appear in the Building Permit plan set. Also include your company information on the plans since architects are prohibited from generating grading plans unless under the direct supervision of a P.E.

Albuquerque

P.O. Box 1293

If you have any questions or need additional information, feel free to contact me at 924-3990.

New Mexico 87103

Sincerely,

www.cabq.gov

eremy Hooyey, H.E., C.F.M.

Senior Engineer
Hydrology Section

Development and Building Services

cc:

file

G14/D79

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