

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2023

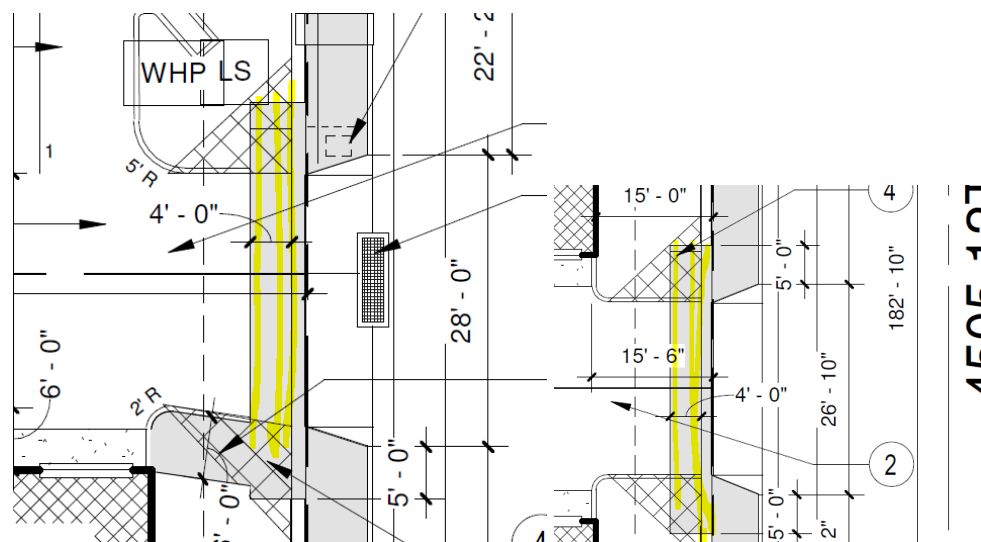
Roger Cinelli, RA
Roger Cinelli & Associates Inc.
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

Re: Duplexes for the Constance LLC
4505 12TH St. NW
Traffic Circulation Layout
 Architect's Stamp 03-15-23 (G14-D080A)

Dear Mr. Cinelli,

Based upon the information provided in your submittal received 04-28-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify all existing access easements and rights of way width dimensions.
2. Please show on the site plan the throat length for the north site access. Per the DPM the minimum throat length should be 25 ft.
3. Please explain how the motorcycle could park in the proposed MC parking. Please provide internal circulation that the driver can easily follow.
4. Provide sidewalk easement for the proposed 4 ft. wide sidewalk at both accesses (see the highlighted area). For sidewalk easement, please contact Carrie Mouck at (505)924-3996 camouck@cabq.gov



5. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

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6. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
7. Work within the public right of way requires a work order with DRC approved plans.
8. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
9. Please provide a letter of response for all comments given.
10. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

PO Box 1293

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

Albuquerque

for log in and evaluation by Transportation.

NM 87103

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

www.cabq.gov

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: APARTMENTS FOR THE CONSTANCE L.L.C. **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: 2021-006571 **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 58A, ROSSITER ADDITION
City Address: 4505 12TH ST.N.W.

Applicant: ROGER CINELLI AND ASSOCIATES INC ARCHITECTS **Contact:** ROGER
Address: 2418 MANUEL TORRES LN N.W. ALBUQ., N.M. 87107
Phone#: 505-243-8211 **Fax#:** 505-243-8196 **E-mail:** rcinelli@q.com
Owner: THE CONSTANCE L.L.C. **Contact:** BRADY LOVELADY
Address: 3508 SEQUOIA CT N.W.
Phone#: 505-379-2552 **Fax#:** _____ **E-mail:** theconstancellc@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
☒ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 4/24/23 **By:** ROGER CINELLI

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

DUPLEXES FOR
THE CONSTANC LLC
4505 12TH ST N.W.

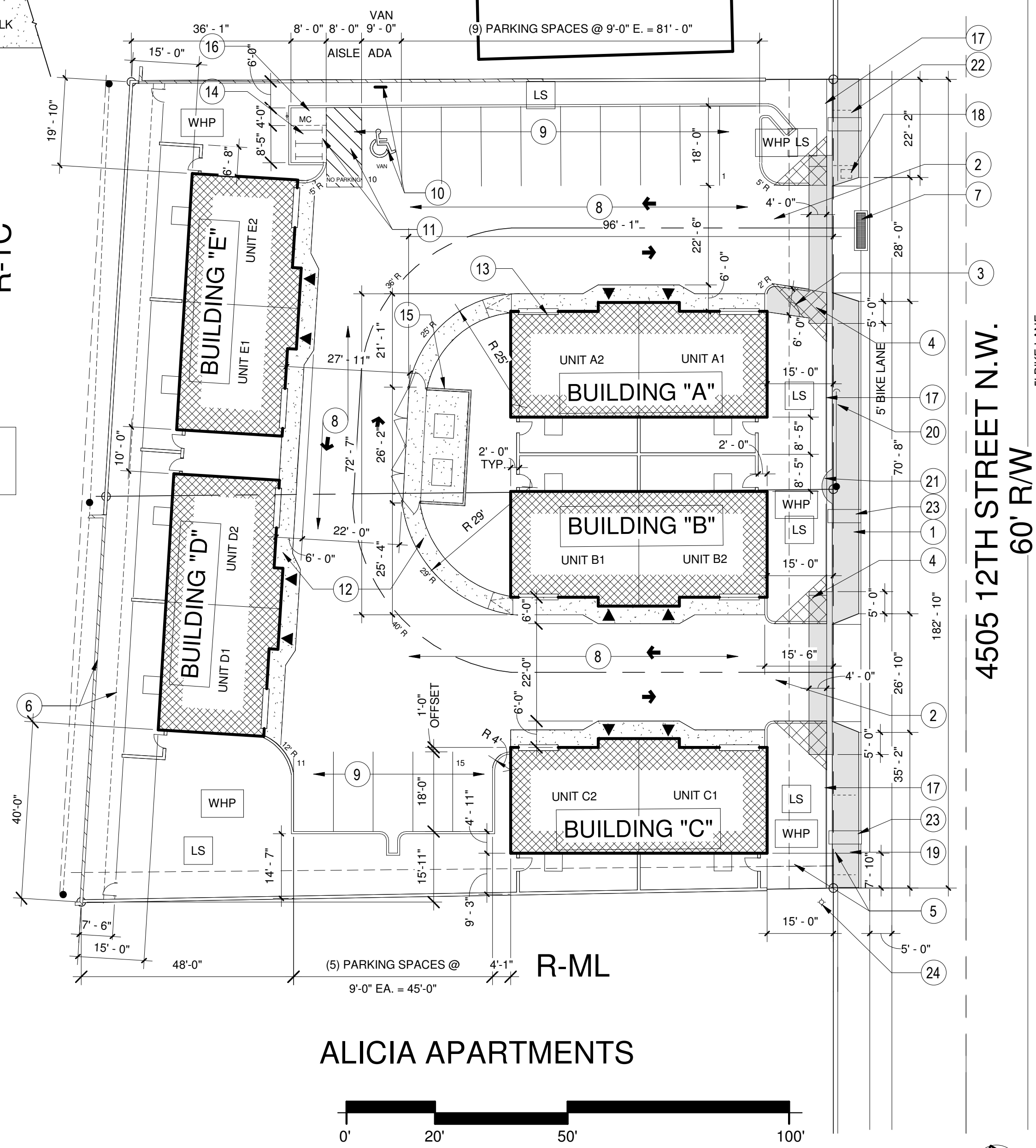


VICINITY MAP - ZA MAP F-14-Z

1" = 500'

SHEET KEYNOTES CIVIL101

- 1 REMOVE EXISTING 4' SIDEWALK - INSTALL NEW 6' SIDEWALK
- 2 WATER BLOCK DRIVEPAD AND ADA SIDEWALKS
- 3 6' PEDESTRIAN ACCESS SIDEWALK - CONNECT TO PUBLIC SIDEWALK
- 4 MINI CLEAR SIGHT TRIANGLE - BOTH SIDES OF DRIVEPAD - SEE TRAFFIC CIRCULATION LEGEND
- 5 10' WATER LINE EASEMENT FILED MARCH 3, 2015 DOC # 2015017766
- 6 5' DITCH & UTILITY EASEMENT FILED MAY 11, 1945 PLAT BOOK D, PAGE 20
- 7 EXISTING DROP INLET - CONVERT TO TRAFFIC READY - SEE SITE UTILITY PLAN
- 8 22' MINIMUM WIDE REINFORCED CONCRETE DRIVE AISLE - 4" BASE COURSE @ ACCESS DRIVE - SUITABLE FOR 75,000 WEIGHT LB RATING
- 9 REINFORCED CONCRETE PARKING SPACES - 4" BASE COURSE
- 10 ADA VAN PARKING SPACE W/ WALL MOUNTED SIGNAGE - SEE 4/CIVIL101
- 11 ADA ACCESS AISLE WITH BLUE TRAFFIC PAINT - "NO PARKING" ON CONCRETE - 12" LETTERS W/ 2" STROKE
- 12 TYPICAL UNIT SIDEWALK - 48" WIDE
- 13 TYPICAL UNIT ONE CAR GARAGE W/ OVER HEAD DOOR
- 14 BICYCLE PARKING (3) - SEE 3/CIVIL101
- 15 REFUSE & RECYCLE ENCLOSURE - SEE 1/SITE102
- 16 MOTORCYCLE (4' X 8') SPACE W/ SIGNAGE- SEE 2/CIVIL101
- 17 3' WROUGHT IRON FENCE AT BACK OF SIDEWALK
- 18 EXISTING WATER METER AT SIDEWALK
- 19 DEMO EXISTING 20' DRIVEPAD - CONSTRUCT MATCHING SIDEWALK, CURB & GUTTER PER ABQ STD DTL DWG 2515A & 2430
- 20 RELOCATE GUY AND GUY ANCHOR TO PROVIDE 80" MIN. OVERHEAD CLEARANCE AT SIDEWALK
- 21 PROVIDE 4' MIN. SIDEWALK AROUND LIGHT POLE
- 22 DEMO EXISTING 13' DRIVEPAD - CONSTRUCT NEW SIDEWALK, CURB AND GUTTER PER ABQ STD DWG 2515A & 2430
- 23 SIDEWALK CULVERT - SEE CIVIL102 G & D PLAN
- 24 EXISTING FIRE HYDRANT



ALICIA APARTMENTS

1 TRAFFIC CIRCULATION LAYOUT - TCL - 4505 12th St. NW

Scale: 1" = 20'-0"

SUMMARY

THE GENERAL PROJECT LOCATION IS IN THE NW QUADRANT OF ALBUQUERQUE NEAR THE INTERSECTION OF BELLROSE AND 12TH ST. NW.

THE APARTMENT DEVELOPMENT CONTINUES THE PRECEDENT SET BY THE ALICIA APARTMENTS ON 4421 12TH ST. N.W. TWO STORY DUPLEX APARTMENTS IN 5 BUILDINGS.

A REPLAT THE TRAFFIC CIRCULATION CONCEPT WAS GUIDED BY PROVIDES GOOD TWO-WAY VEHICULAR ACCESS TO ALL UNIT GARAGES AS WELL AS STANDARD, ADA, BIKE AND MOTORCYCLE PARKING.

LOOP ROAD WITH TWO DRIVEPADS OFF OF 12TH STREET WILL NOT IMPACT ADJACENT PROPERTIES. NO TRAFFIC IMPACT STUDIES OR VARIANCES HAVE BEEN CONDUCTED OR EVEN REQUIRED.

TRAFFIC CIRCULATION LAYOUT DESIGN CRITERIA

CODES: 2015IBC, 2015IRC, 2021UMC, 2015UPC, 2017NEC, 2018IECC

PROJECT LOCATION:
4505 12TH ST. N.W., ALBUQUERQUE, NM
WEST SIDE OF 12TH STREET N.W. BETWEEN BELLROSE AVE N.W. AND LA LUZ DR. N.W.

ZONE ATLAS MAP: F-14-Z

LEGAL DESCRIPTION: LOT 58A ROSSITER ADDITION

TOTAL ACREAGE: 0.69 +/- ACRES

ZONING: R-ML

LAND USE CLASSIFICATION: 3000

PROPOSED USES: RESIDENTIAL DWELLINGS

MAXIMUM HEIGHT: 22'-6" COMPLIES

CONSTRUCTION TYPE: TYPE VB NON SPRINKLERED

SEISMIC ZONE: D

REQUIRED PARKING:
DUPLEX UNITS: 10 UNITS X 1.0 PARKING SPACES = 10 PARKING SPACES

PROPOSED PARKING:
OFF STREET PARKING = 15 PARKING SPACES (INCLUDING 1 ADA SPACE) **COMPLIES**

REQUIRED ADA PARKING:
DUPLEX UNIT PARKING REQUIRED - 10
PARKING SPACES THEREFORE (1) ADA PARKING SPACE

PROPOSED ADA PARKING:
ADA VAN PARKING W/ 8' AISLE = (1) ADA VAN PARKING **COMPLIES**

REQUIRED MOTORCYCLE PARKING:
DUPLEX UNITS - 10 PARKING SPACES - (1) MOTORCYCLE PARKING SPACE

PROPOSED PARKING:
MOTORCYCLE PARKING = (1) MOTORCYCLE PARKING **COMPLIES**

REQUIRED BICYCLE RACKS:
PER TABLE 5-5-5 - BICYCLE PARKING SPACES REQUIRED - (3) PARKING SPACES

PROPOSED BICYCLE RACKS:
BICYCLE PARKING = (3) BICYCLE PARKING SPACES - **COMPLIES**

PROJECT HEATED BUILDING AREAS:

BUILDING "A" =	2304 SF
BUILDING "B" =	2304 SF
BUILDING "C" =	2304 SF
BUILDING "D" =	2304 SF
BUILDING "E" =	2304 SF

TOTAL HEATED AREA = 11,520 SQUARE FEET

BUILDING "A" =	552 SF
BUILDING "B" =	552 SF
BUILDING "C" =	552 SF
BUILDING "D" =	552 SF
BUILDING "E" =	552 SF

TOTAL GARAGE AREA = 2,760 SQUARE FEET

TOTAL PROJECT AREA = 14,280 SQUARE FEET

LARGEST BUILDING HEATED SQUARE FOOTAGE = 2304 SF

Cinelli / Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE:
**DUPLEXES FOR
THE CONSTANCE LLC
4505 12TH ST. N.W.
ALBUQUERQUE, NEW MEXICO**

DRAWING TITLE:
TRAFFIC CIRCULATIONL LAYOUT

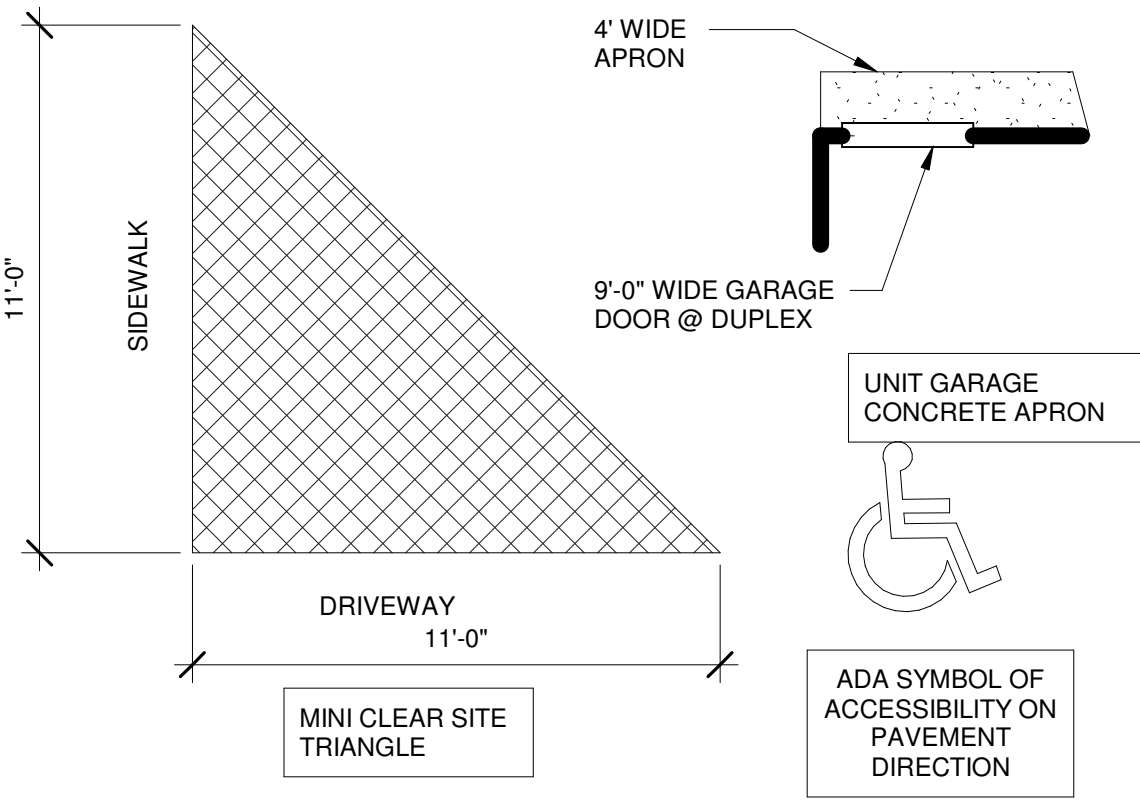
SEAL



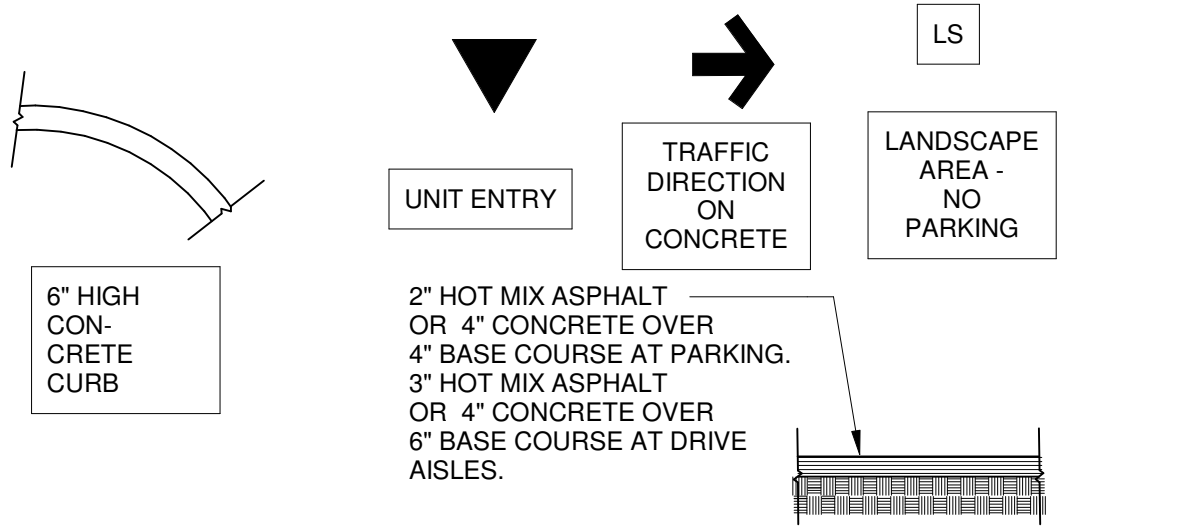
DATE
APR 2022
PROJECT NO.
LOVE
DRAWING NO.

CIVIL101

3/15/2022



NOTE:
CLEAR AND MINI CLEAR SIGHT TRIANGLE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR
SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND
SHRUBBERY BETWEEN 3' AND 8 FEET TALL (MEASURED FROM
THE GUTTER PAN) SHALL NOT BE ACCEPTABLE IN THIS AREA

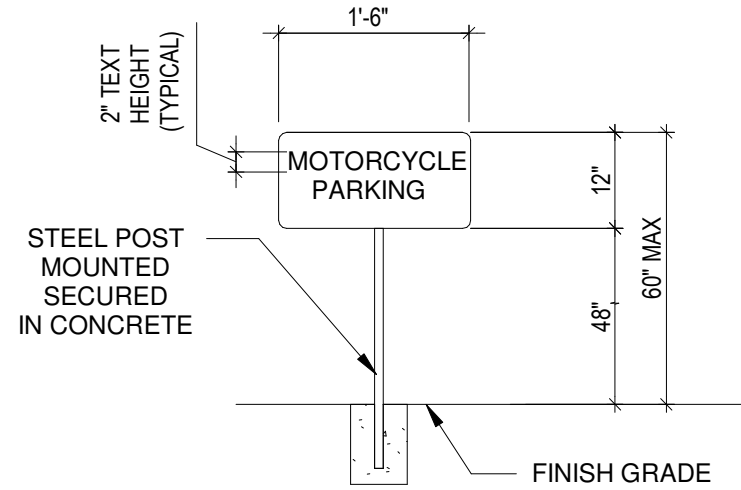


TRAFFIC CIRCULATION PLAN LEGEND

TCL NOTE:

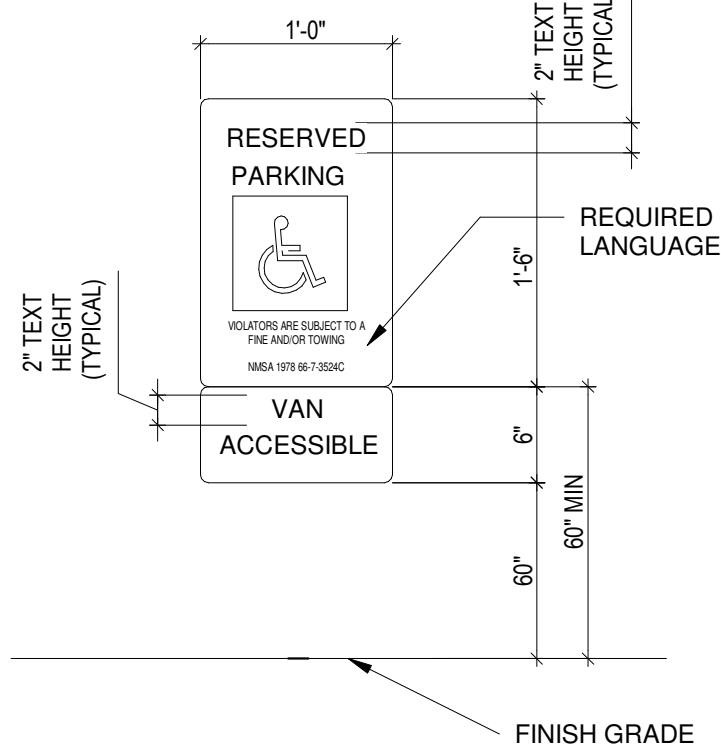
1. ALL NEW SIDEWALK SHALL BE REPLACED WITH SIDEWALK, CURB AND GUTTER AS PER COA STD DWG # 2415A AND 2430
2. SEE **TRAFFIC CIRCULATION LEGEND** THIS SHEET FOR COA STANDARD DRIVEPAD, CURBS, SIDEWALKS, PAVEMENT SECTION DETAIL AND GARAGE DOOR LOCATIONS AND SIZE.

CONDITION OF C.O. FINAL APPROVAL:
SIDEWALK EASEMENT FOR 6' SIDEWALK,
DRIVEPAD 4' SIDEWALKS AND LIGHT POLE
SIDEWALK SHALL BE APPROVED, ACCEPTED
AND IN PLACE.



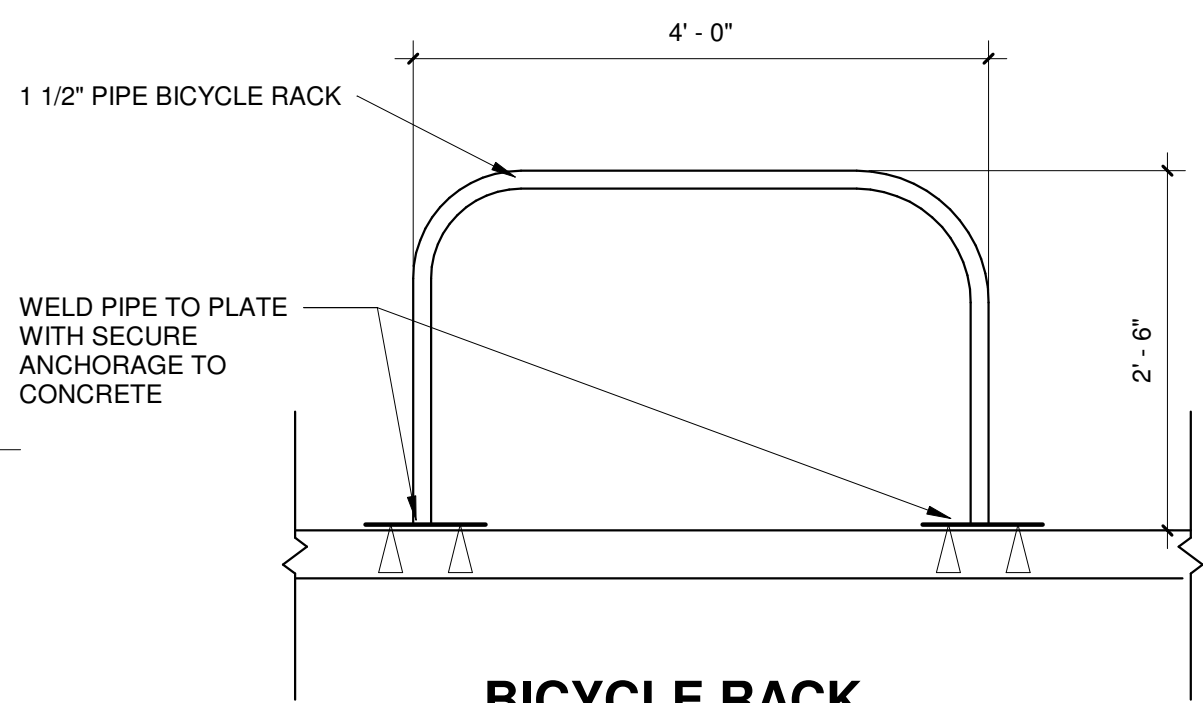
2 MOTO PARKING SIGN

Scale: 1" = 1'-0"



4 ADA PARKING SIGN

Scale: 1" = 1'-0"

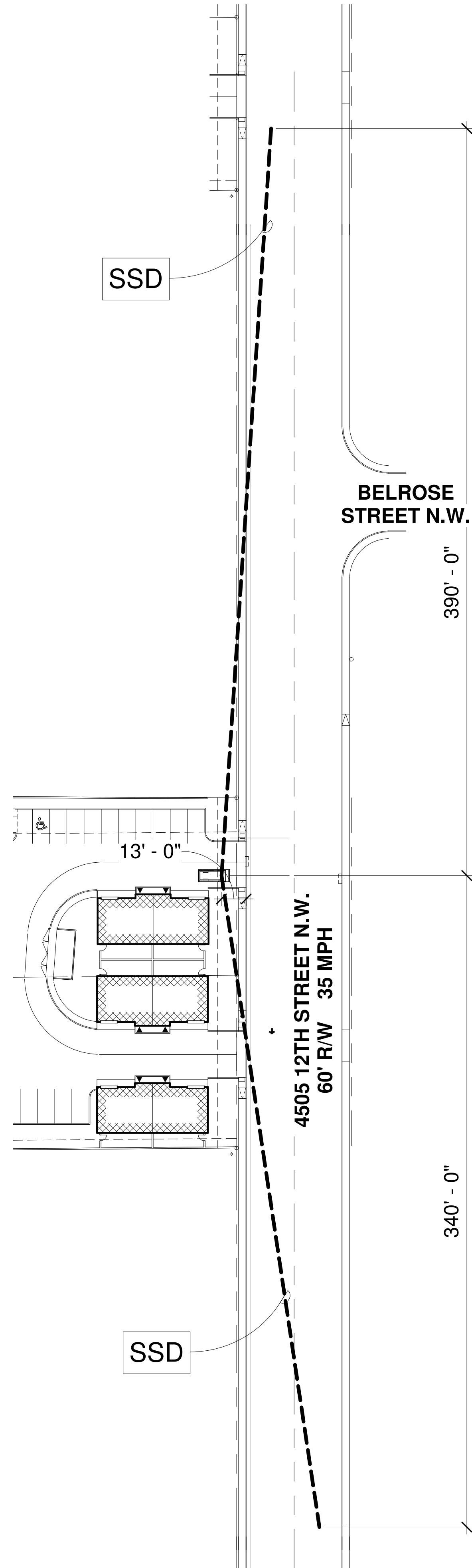


BICYCLE RACK
REQUIREMENTS

1. RACK SHALL BE A MINIMUM 30" TALL AND 18" WIDE
2. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMBTOASTER RACKS ARE NOT ALLOWED
3. BICYCLE RACK SHALL SUPPORT BICYCLE IN A UPRIGHT POSITION
4. BICYCLE RACK SHALL ACCOMMODATE VARIOUS BICYCLE FRAME SIZES AND STYLES
5. EACH BICYCLE PARKING SPACE SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE
6. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO CONCRETE PAD
7. BICYCLE PARKING SPACES SHALL BE 6' X 2' WITH 1 FOOT CLEAR ZONE ALL AROUND

3 1 1/2" DIA. PIPE BIKE RACK

Scale: 3/4" = 1'-0"



1 STOPPING SIGHT DISTANCE
Scale: 1" = 40'-0"

Cinelli / Roger Cinelli & Assoc. ARCHITECTS 2418 Manuel Torres Lane N.W. Albuquerque, New Mexico 87107 (505) 243-8211		
PROJECT TITLE: DUPLEXES FOR THE CONSTANCE LLC 4505 12TH ST. N.W. ALBUQUERQUE, NEW MEXICO		
DRAWING TITLE: STOPPING SIGHT DISTANCE		
SEAL 	DATE JAN 2022	PROJECT NO. LOVE
DRAWING NO. CIVIL101A		
1/27/2022		