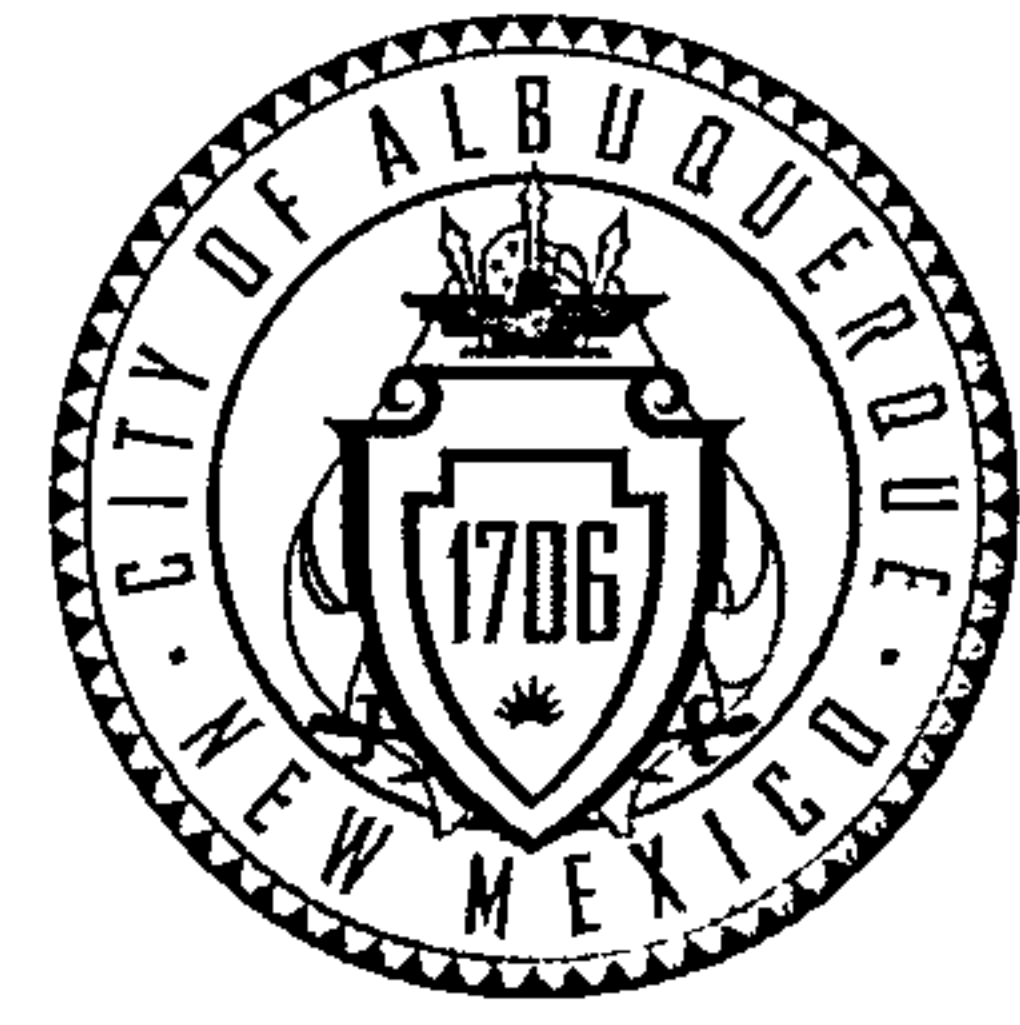


CITY OF ALBUQUERQUE



October 15, 2014

Jackie McDowell, PE
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87121

Re: Philip Lovato & Sons
4101 4th St NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 7-6-14 (G14D085)
Certification dated: 9-22-14

Dear Ms. McDowell,

Based on the Certification received 8/13/2014, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: 614D085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTTOYA DESIGNS, INC. Contact: RON MONTTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
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- ☐ ESC CERT. ACCEPTANCE
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WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

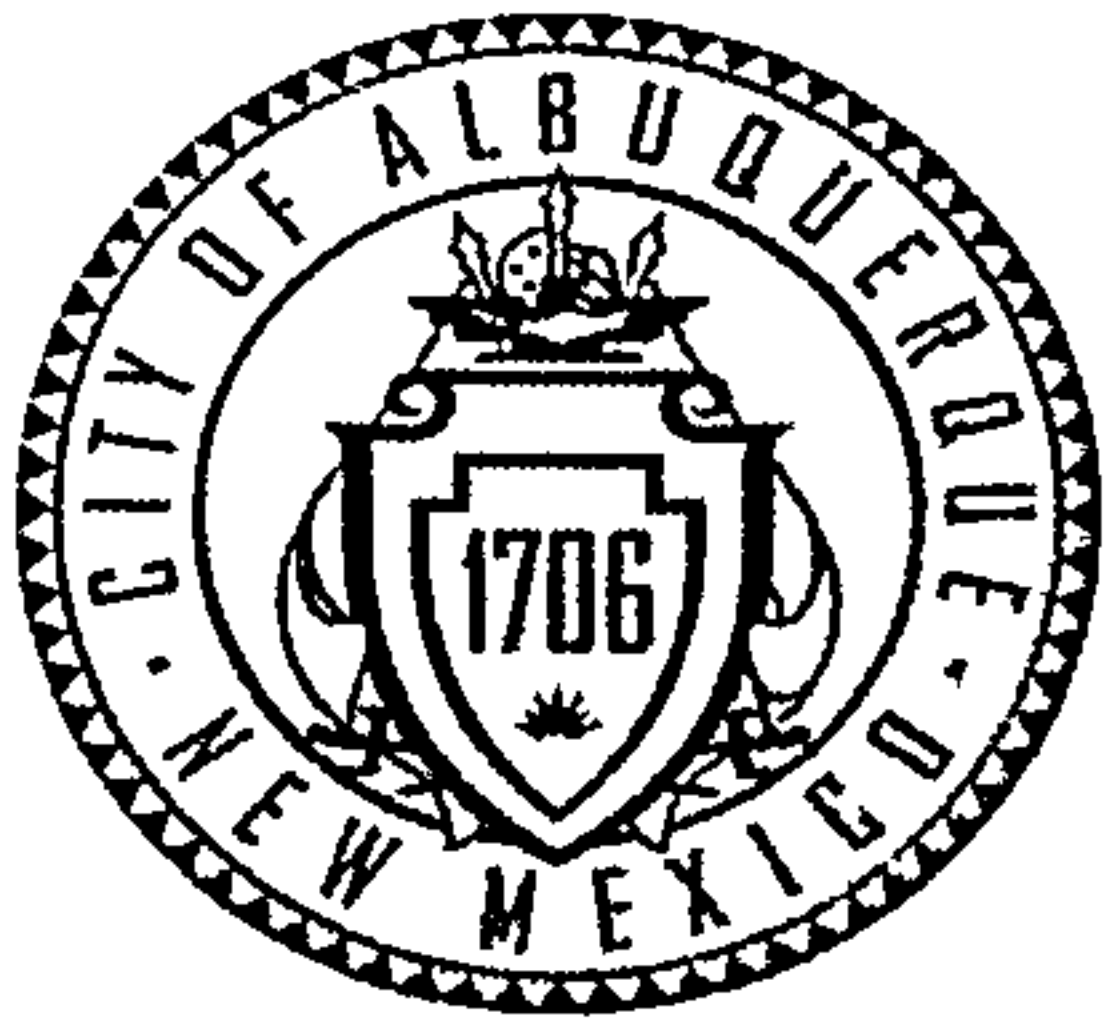
Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 9-19-14

By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Handwritten: Hybrid
N
wrong plan

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: G14 D085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC.

Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430

Fax#: 505-821-4857

E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO

Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720

Fax#: _____

E-mail: _____

Architect: RON MONTOYA DESIGNS, INC.

Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474

Fax#: 505-823-6487

E-mail: _____

Surveyor: MIKE SHOOK

Contact: MIKE SHOOK

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Address: _____

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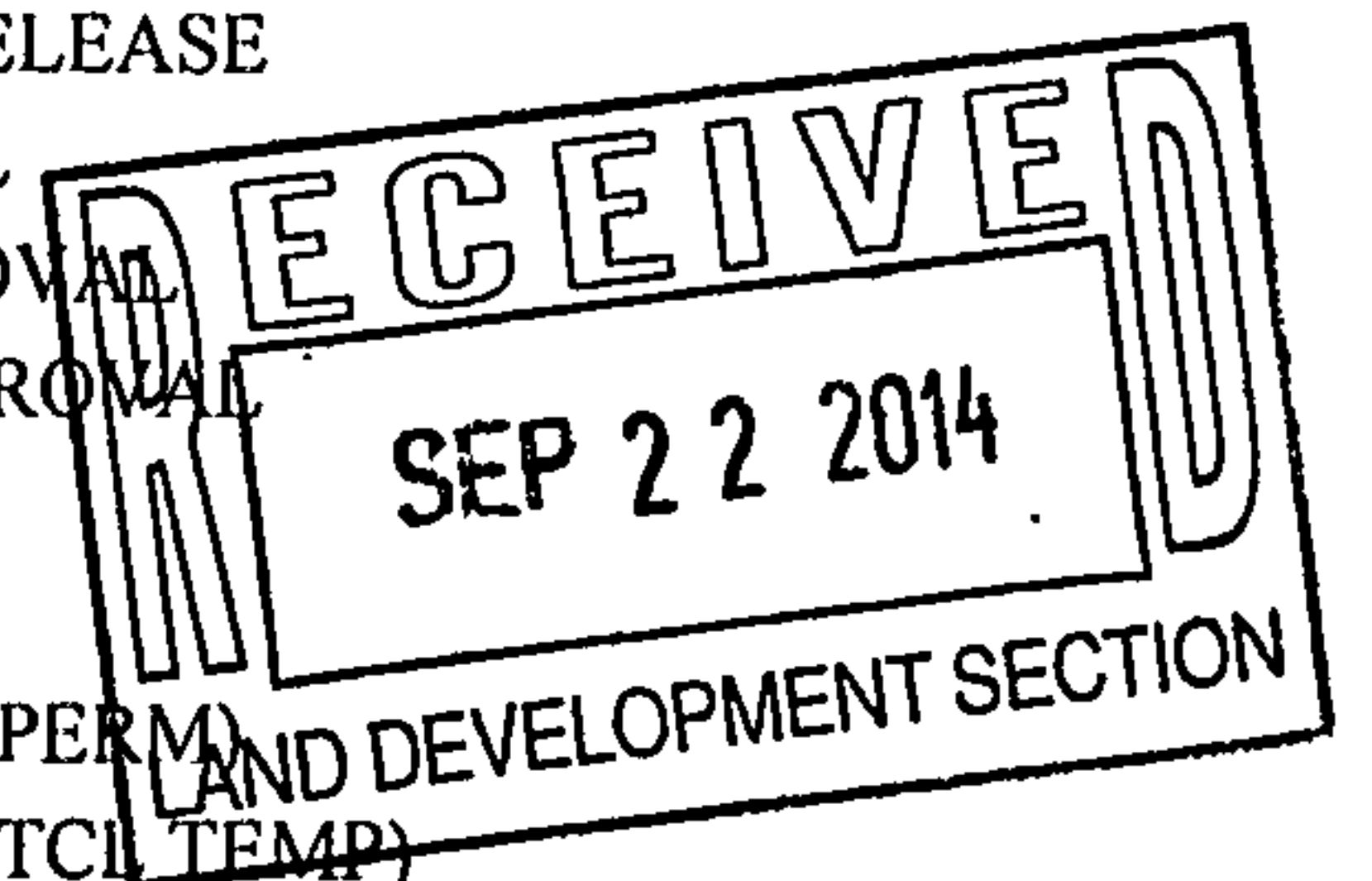
E-mail: _____

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

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- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 9-22-14

By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Rael, Rudy E.

From: Jackie McDowell <JackMcDowell@comcast.net>
Sent: Friday, September 26, 2014 1:27 PM
To: Michel, Racquel M.; Rael, Rudy E.; mjaramillo.2@msn.com
Cc: 'Philip & Sons Mechanic'; jr.nsres@gmail.com
Subject: Site Visit Notes RE: Philip Lovato & Sons, 4101 4th St. SW- TCL (G14-D085)

Site Visit Notes:

On Friday, September 26, 2014, I met Mr. Rudy Rael, Ms. Racquel Michel, and Mr. Archie Jaramillo (contractor and representative for Philip Lovato, Owner).

Items discussed that need to be completed are as follows:

Hydrology:

A swale shall be created along the west side of the buildings to provide for roof drainage to either flow to the north drainage pond or to the south street. A barrier of either an earthen berm or a concrete curb shall be provided along the west property line/fence to eliminate site storm water from flowing to the properties to the west of the site. A concrete or asphalt driveway will be installed at the southwest corner of the building and the dumpster will be located at an angle to allow for easier access by the solid waste department. This driveway elevation shall match the existing back of sidewalk and slope to the street.

Traffic:

The south driveway along Fourth Street shall be replaced with sidewalk and curb & gutter. The existing bollards located at the handicap ramp at the southeast corner of the site shall be removed and truncated domes provided in accordance with city standards.

Jackie S. McDowell, PE
MCDOWELL ENGINEERING, INC.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122
Voice: (505) 828-2430
Fax: (505) 821-4857
email: JackMcDowell@comcast.net

From: Michel, Racquel M. [<mailto:rmichel@cabq.gov>]
Sent: Monday, September 22, 2014 11:41 AM
To: 'Jackie McDowell'
Subject: RE: Philip Lovato & Sons, 4101 4th St. SW- TCL (G14-D085)

Hi Jackie,

The approved and stamped TCL needs to be the copy that is redlined and certified. Please also send in a digital copy of the DTIS submittal form.

Thanks,

Racquel M. Michel, P.E.
City of Albuquerque
Transportation Development
505-924-3630
rmichel@cabq.gov

From: Jackie McDowell [<mailto:JackMcDowell@comcast.net>]
Sent: Monday, September 22, 2014 11:35 AM
To: Michel, Racquel M.

Cc: Biazar, Shahab
Subject: RE: Philip Lovato & Sons, 4101 4th St. SW- TCL (G14-D085)

Hi Racquel,

Attached are the pdf files that I will be submitting today (paper copies) in accordance with current city policy. Please email your receipt of these documents so I can show your concurrence at the front desk when I submit so the submittal will be accepted.

Thanks,

Jackie S. McDowell, PE
MCDOWELL ENGINEERING, INC.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122
Voice: (505) 828-2430
Fax: (505) 821-4857
email: JackMcDowell@comcast.net

From: Michel, Racquel M. [<mailto:rmichel@cabq.gov>]
Sent: Thursday, July 10, 2014 10:00 AM
To: jackmcdowell@comcast.net
Cc: Biazar, Shahab
Subject: Philip Lovato & Sons, 4101 4th St. SW- TCL (G14-D085)

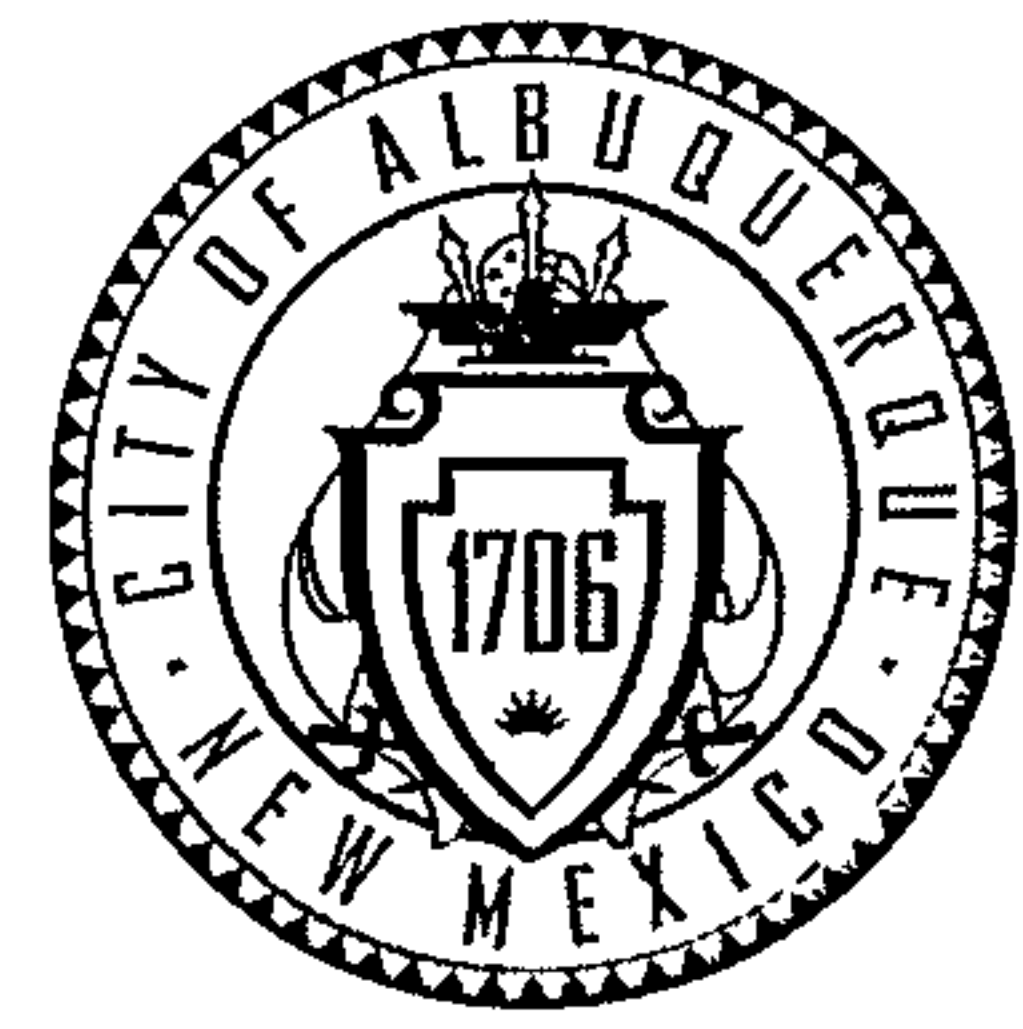
Hi Jackie,

Attached is a copy of the TCL approval. Please let me know if you would like to pick up a hard copy or if you would like me to mail it to you.

Thanks,

Racquel M. Michel, P.E.
Senior Engineer
City of Albuquerque
Transportation Development Section
505-924-3630
rmichel@cabq.gov

CITY OF ALBUQUERQUE



July 14, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Edgewood, New Mexico 87121

**RE: Philip Lovato & Sons 4101 4th St NW
Grading and Drainage Plan
Engineers Stamp Date 6/30/14 (G14-D085)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 7/1/14, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

New Mexico 87103

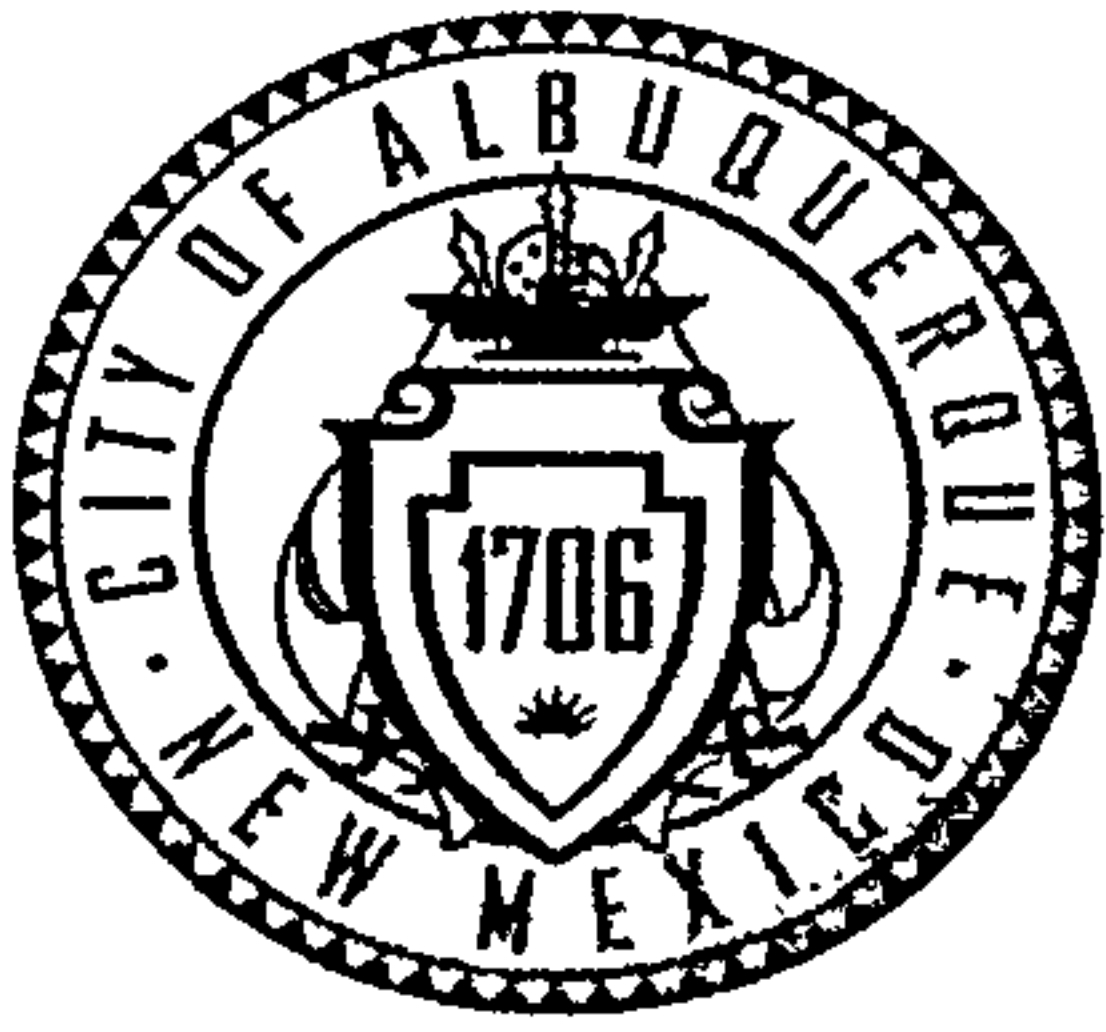
www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Department

RR/CC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTTOYA DESIGNS, INC. Contact: RON MONTTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

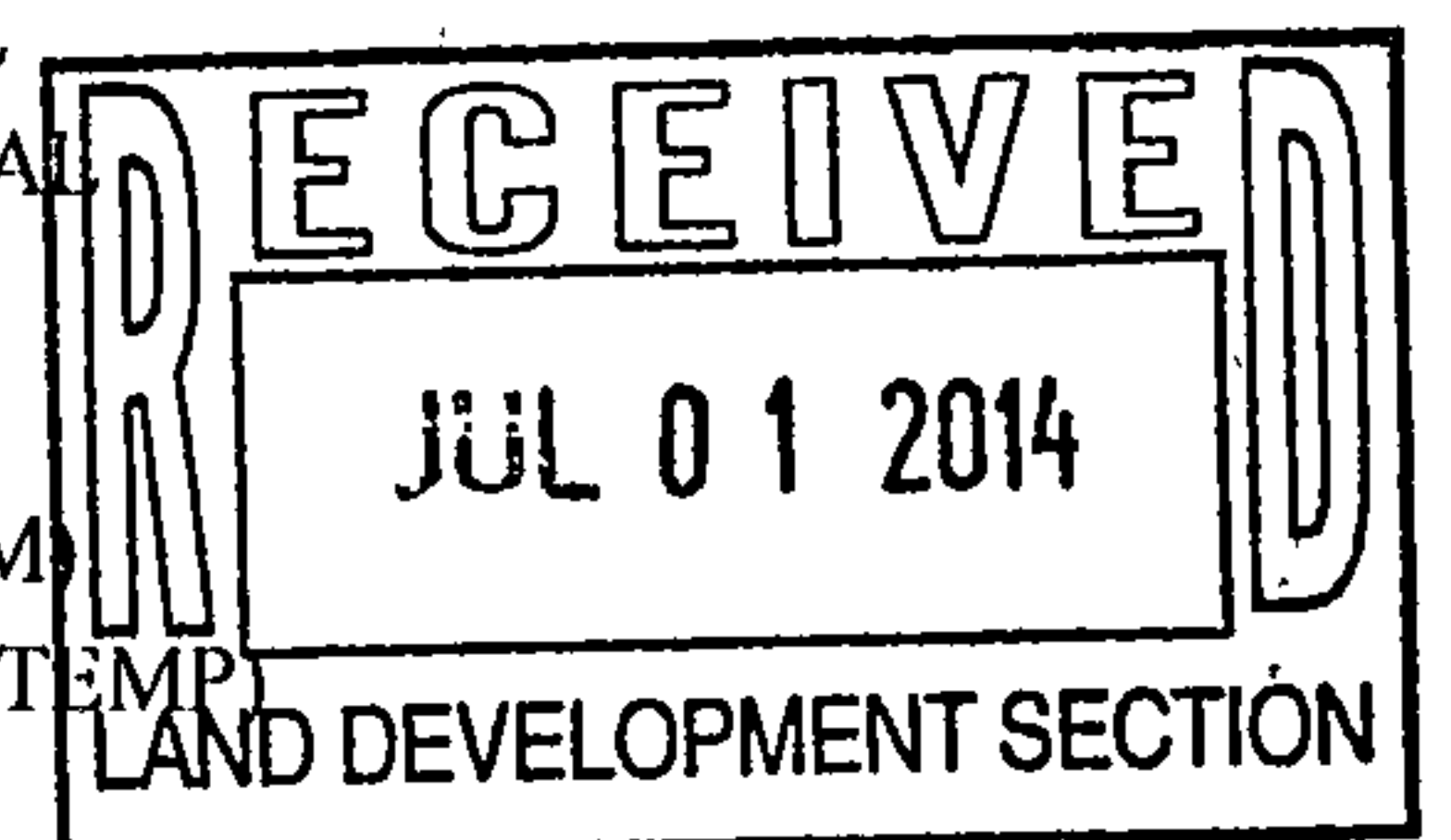
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 7-1-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Electronic Copy needed

McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

June 30, 2014

Mr. Curtis Churne, P.E.
Principal Engineer, Planning Dept.
Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Philip Lovato & Sons, 4101 Fourth St. NW,
Grading and Drainage Plan (G14-D085)**

Dear Mr. Churne:

We received your letter dated March 6, 2014 and offer the following response:

- The font size has been increased.
- All of the buildings are existing. ————?
- Flows entering the landscape area are for negligible storm water flow and this development reduces the historic flow. A note has been added to the plan to depress all landscape areas.
- The drive pads are existing.
- Gutter flow lines and spot elevations have been added to the plan with 1' water blocks at the driveways.

If you have any questions, please do not hesitate to contact me.

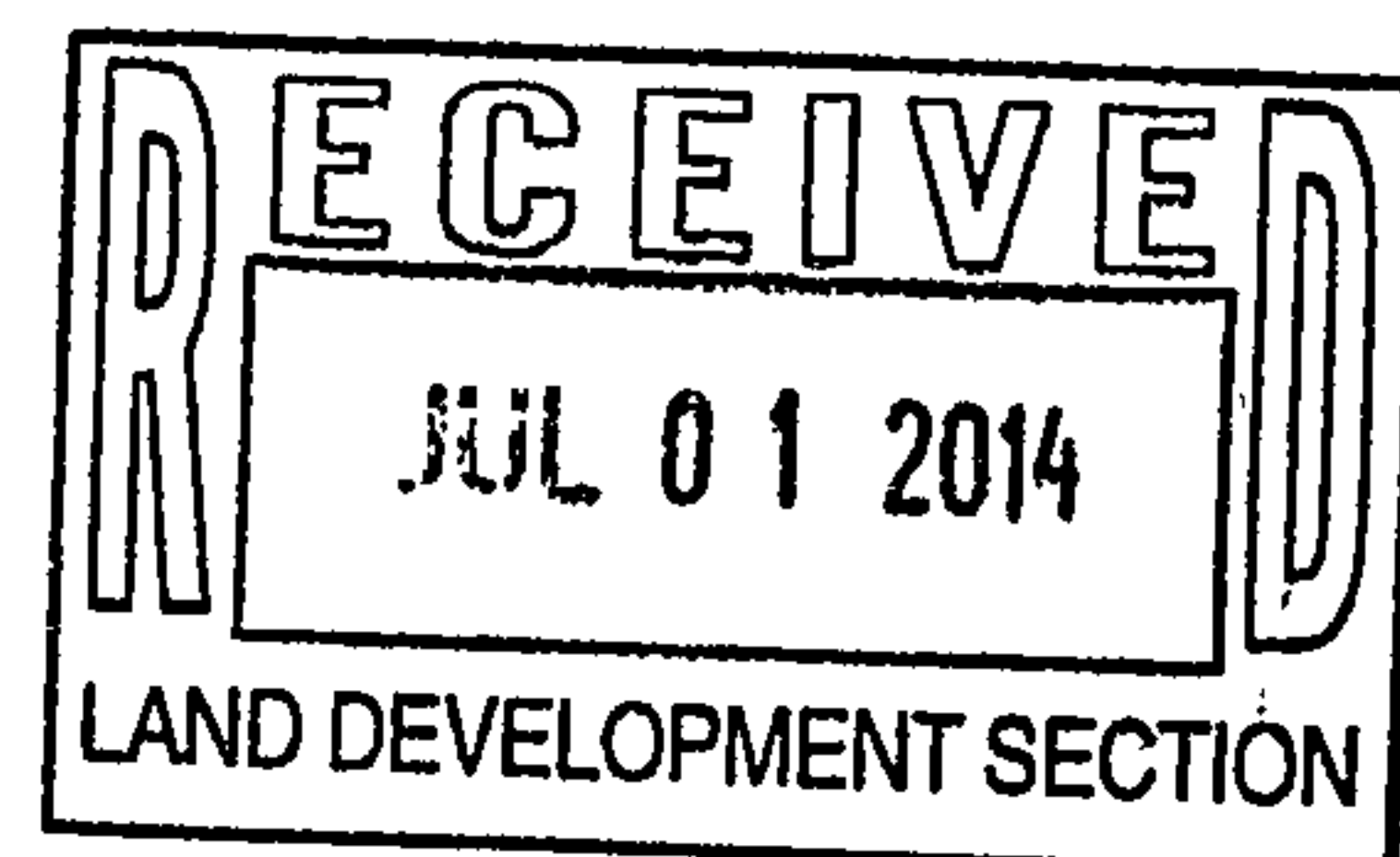
Sincerely,

MCDOWELL ENGINEERING, INC.

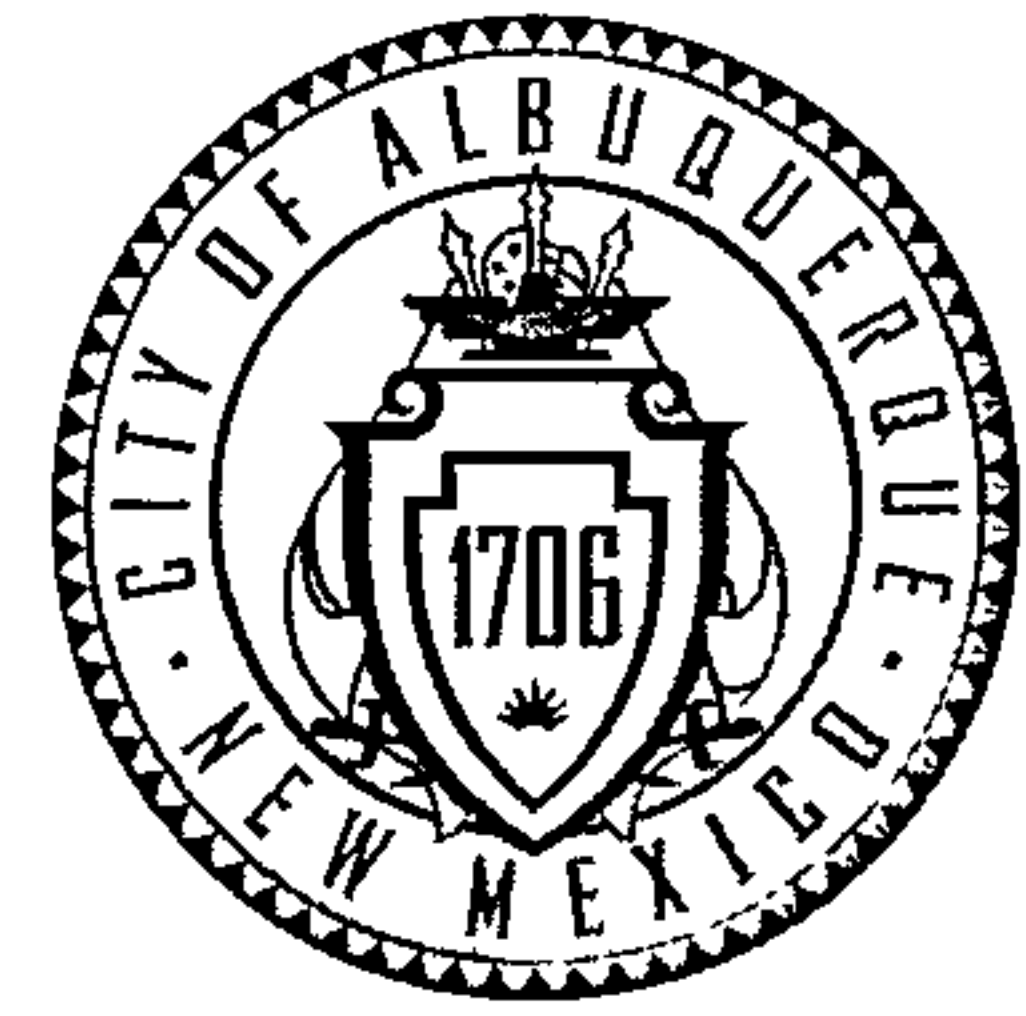


Jackie S. McDowell, P.E.

Copy: Owners



CITY OF ALBUQUERQUE



March 6, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, New Mexico 87122

RE: **Philip Lovato & Sons 4101 4th St NW**
Grading and Drainage Plan
Engineers Stamp Date 2/16/14 (G14-D085)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 2/19/2014, the above referenced Grading and Drainage Plan cannot be approved for Building Permit until the following comments are addressed.

- Spot elevations are difficult to read. Please increase font size to 0.1" per the COA development process manual.
- It is difficult to discern the existing portion of the building from the addition.
- Are the flows entering the landscape area for retention? If not how are the flows leaving this area? Depress all landscape areas.
- Build notes or labeling of the drive pads are needed to address the COA standards.
- Provide gutter flow lines and spot elevations at the property line so hydrology can evaluate the need for water blocks.

PO Box 1293

Albuquerque

New Mexico 87103

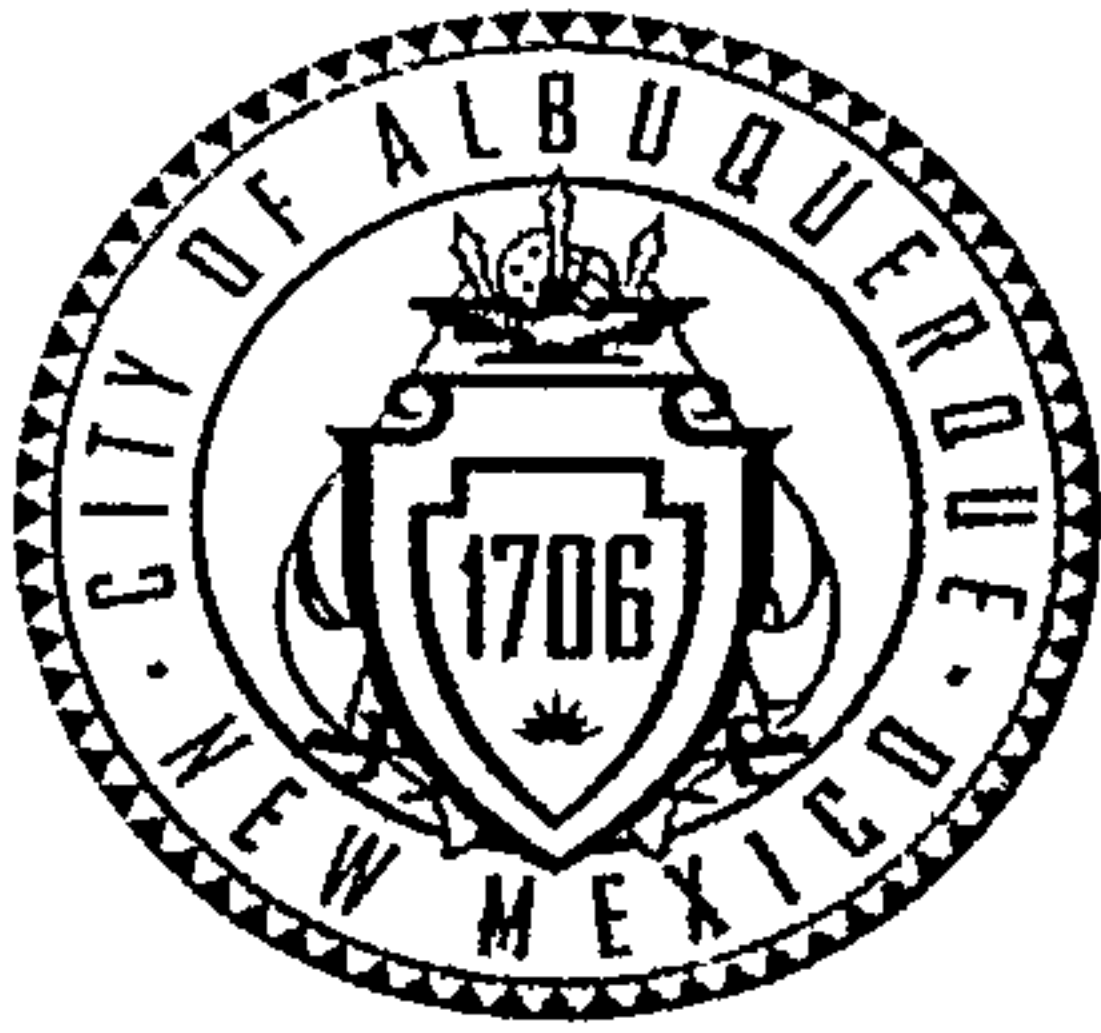
If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Department
Development and Review Services

RR/CC
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: 6141085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTTOYA DESIGNS, INC. Contact: RON MONTTOYA

Address: 8724 ALAMEDA NE

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Phone#: 505-896-1716 Fax#: _____ E-mail: _____

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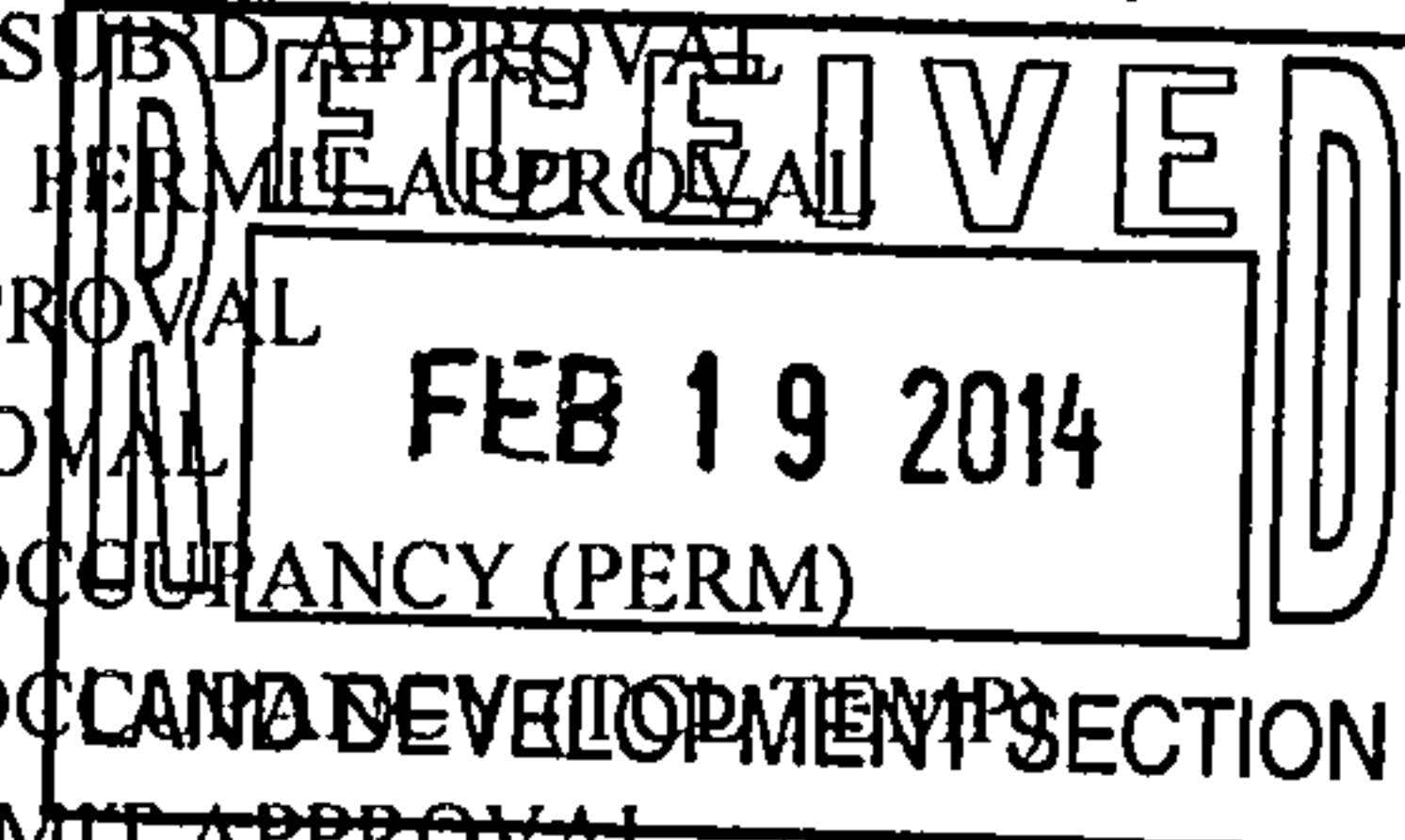
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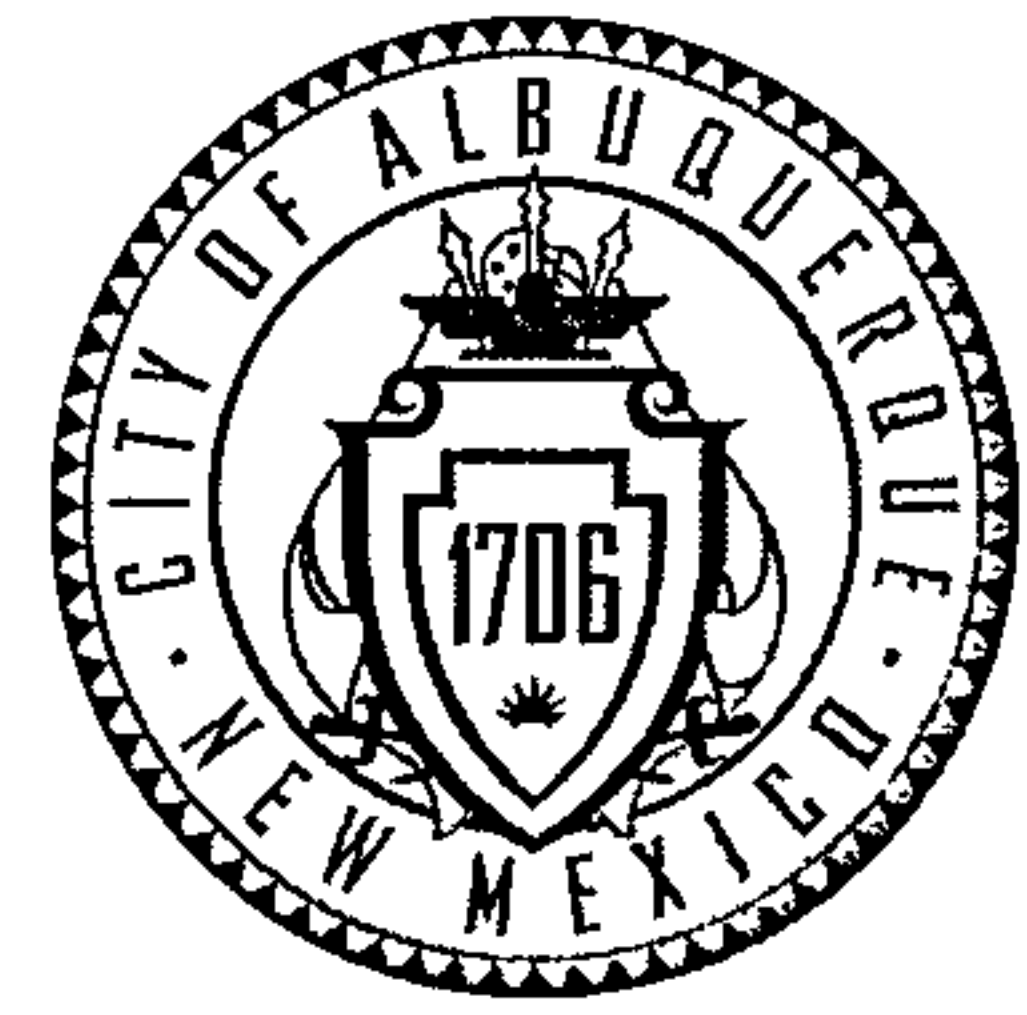
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 2-17-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

September 26, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

Re: Philip Lovato & Sons, 4101 4th St NW
180-Day Temporary Certificate of Occupancy-Transportation Development
Engineer's Stamp dated 07-06-14 (G14-D085)
Certification dated 09-22-14

Dear Mrs. McDowell,

Based upon the information provided in your submittal received 09-24-14, Transportation Development has no objection to the issuance of a 180-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 180-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

Albuquerque

- The 28' driveway located on 4th street at the SW corner of the site needs to be closed and replaced with standard curb, gutter and sidewalk.
- Remove bollards located in the public right of way at the SW corner of the site and install truncated domes on the corner ramp.
- Ensure that the dumpster is in the location shown on the site plan.

New Mexico 87103

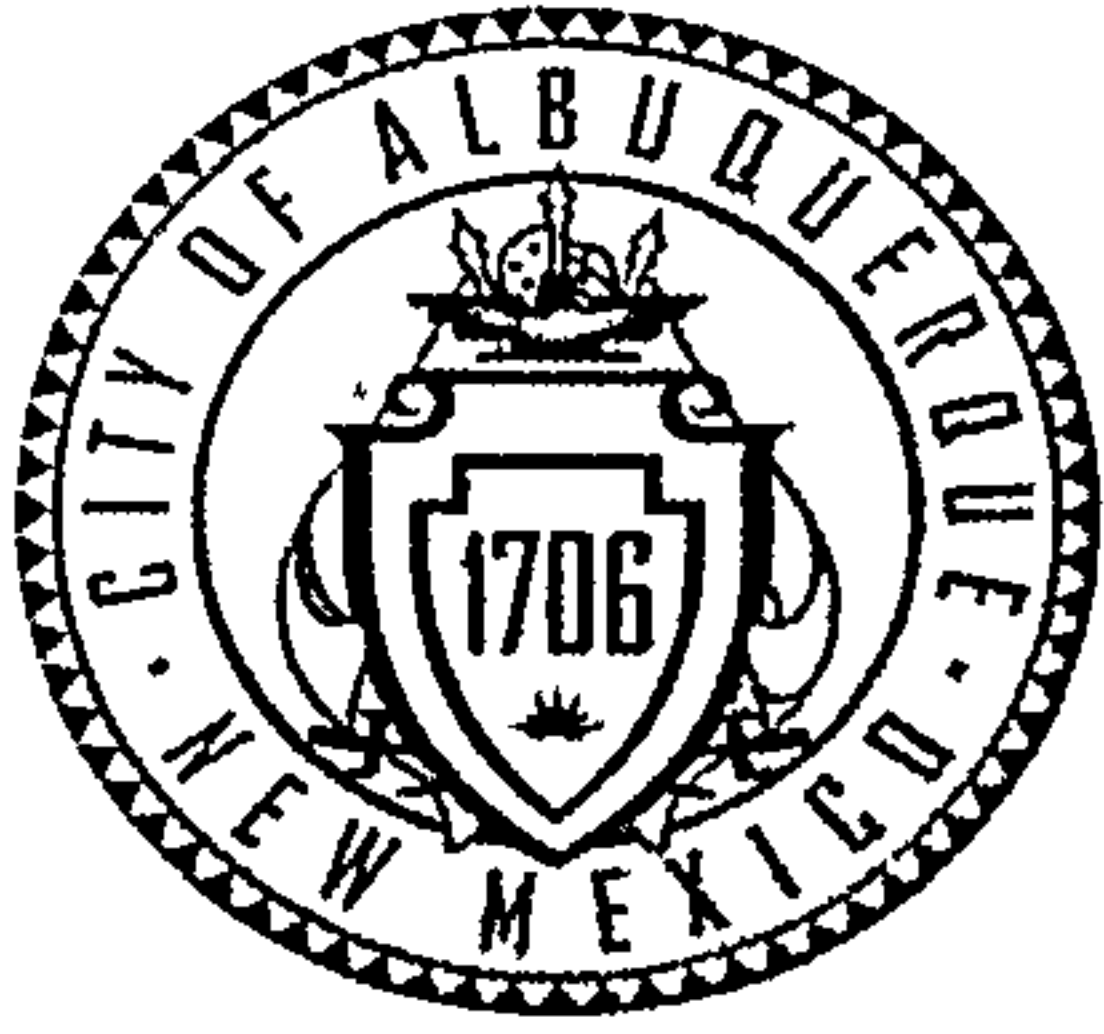
www.cabq.gov

Once corrections are complete resubmit acceptable package to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit photos to rmichel@cabq.gov or mortiz@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk
File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: 614D085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

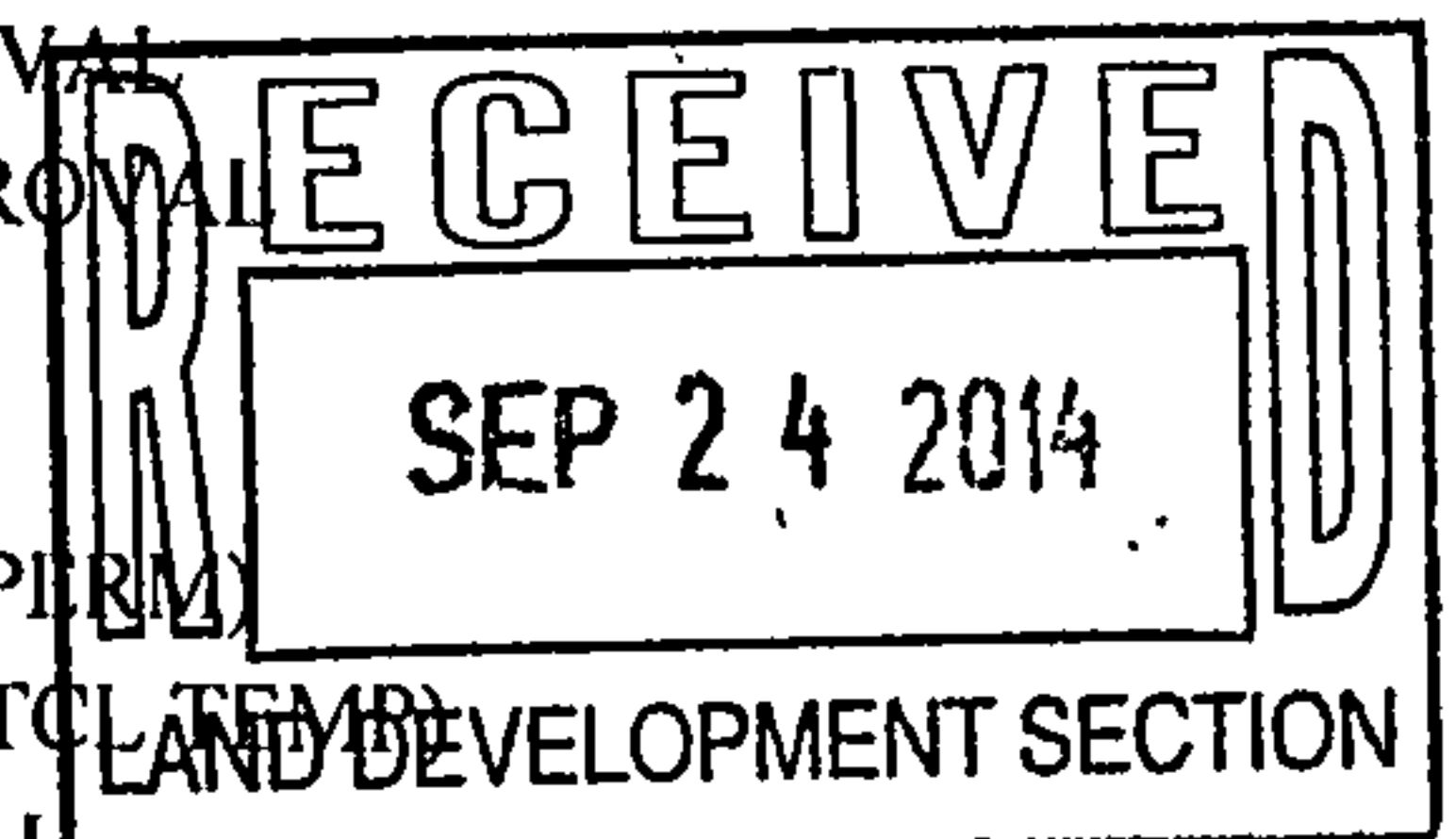
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PIRM)
- ☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 9-24-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

July 10, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

Re: Philip Lovato & Sons, 4101 4th St NW
Traffic Circulation Layout
Engineer's Stamp dated 7-06-14 (G14-D085)

Dear Ms. McDowell,

The TCL submittal received 7-07-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

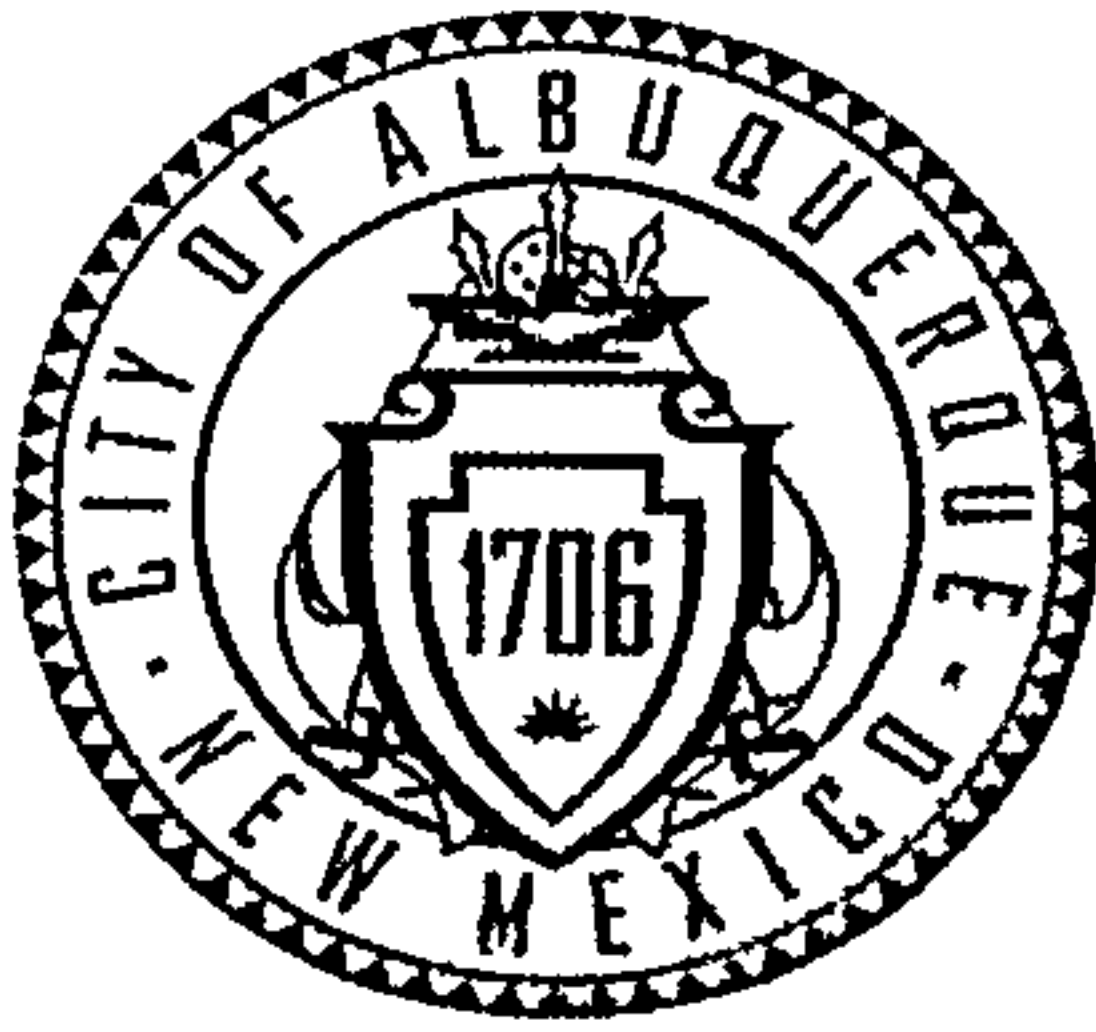
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: 6140085
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOTS 1-7 WINONA ADDITION
City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL
Address: 7820 BEVERLY HILLS AVE. NE
Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO Contact: PHILIP LOVATO
Address: PO BOX 27287
Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTOYA DESIGNS, INC. Contact: RON MONTOYA
Address: 8724 ALAMEDA NE
Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK Contact: MIKE SHOOK
Address: 612 CERRO DE ORTEGA DR. SE
Phone#: 505-896-1716 Fax#: _____ E-mail: _____

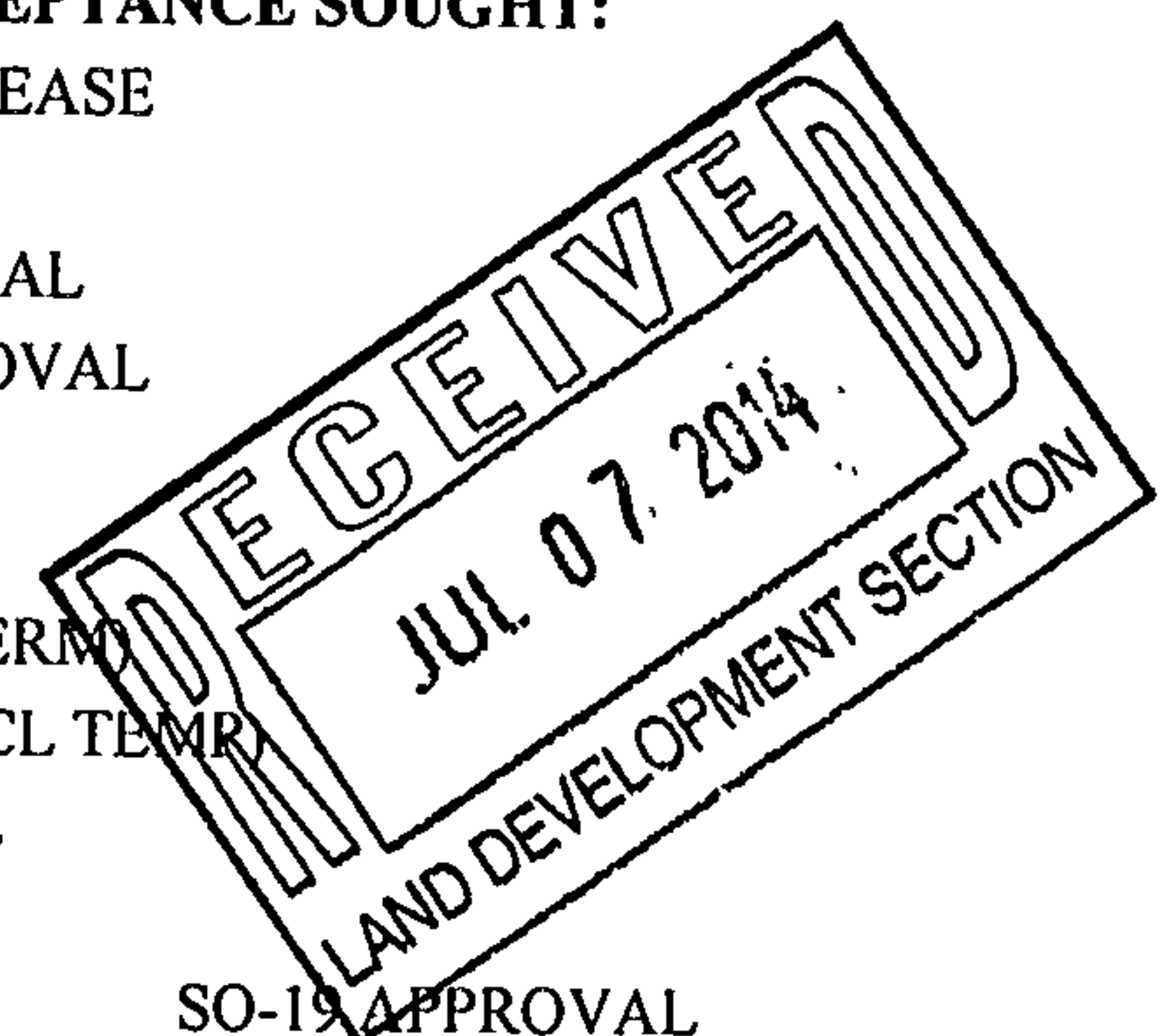
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
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- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

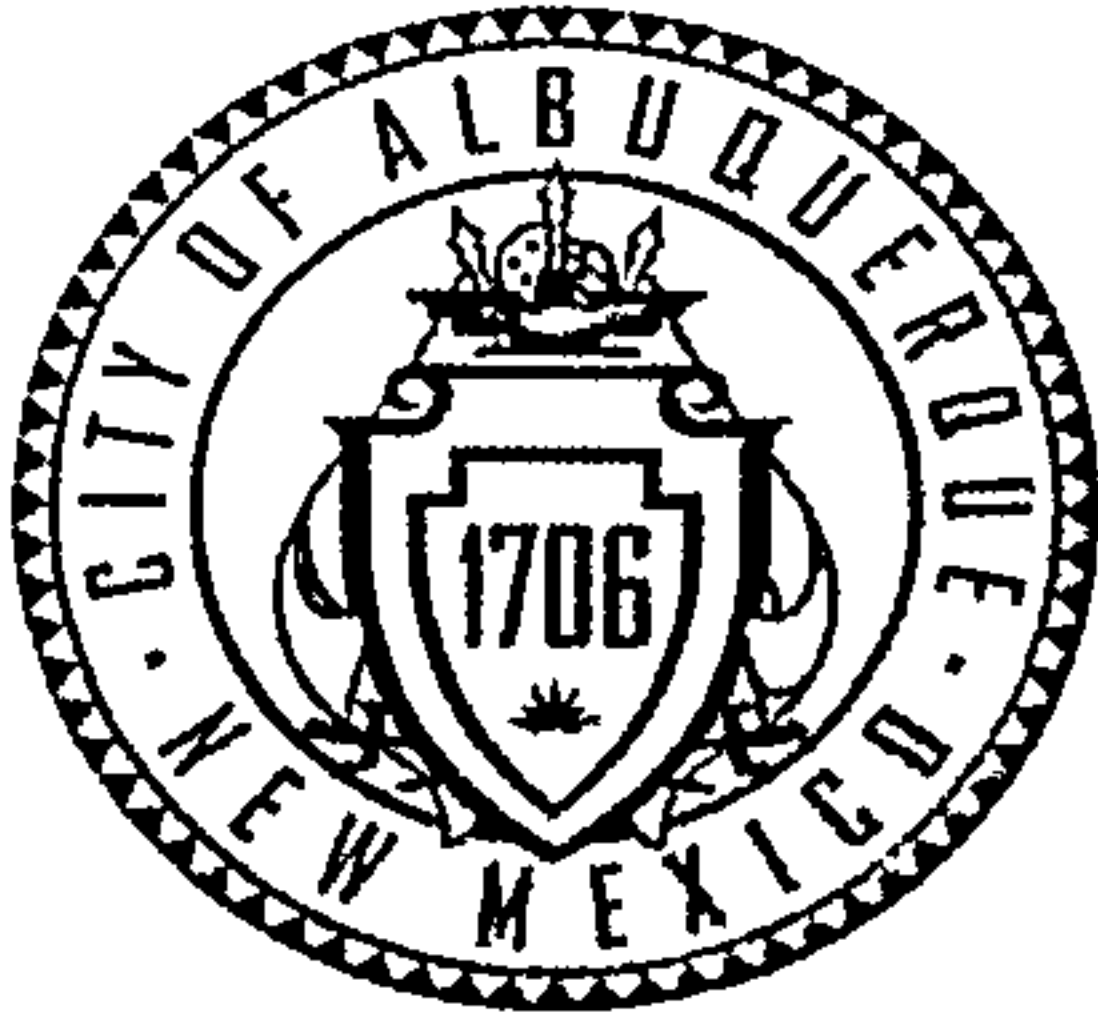


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 7-7-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: G14D085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC. Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

Phone#: 505-828-2430 Fax#: 505-821-4857 E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720 Fax#: _____ E-mail: _____

Architect: RON MONTTOYA DESIGNS, INC.

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474 Fax#: 505-823-6487 E-mail: _____

Surveyor: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716 Fax#: _____ E-mail: _____

Contractor: _____

Address: _____

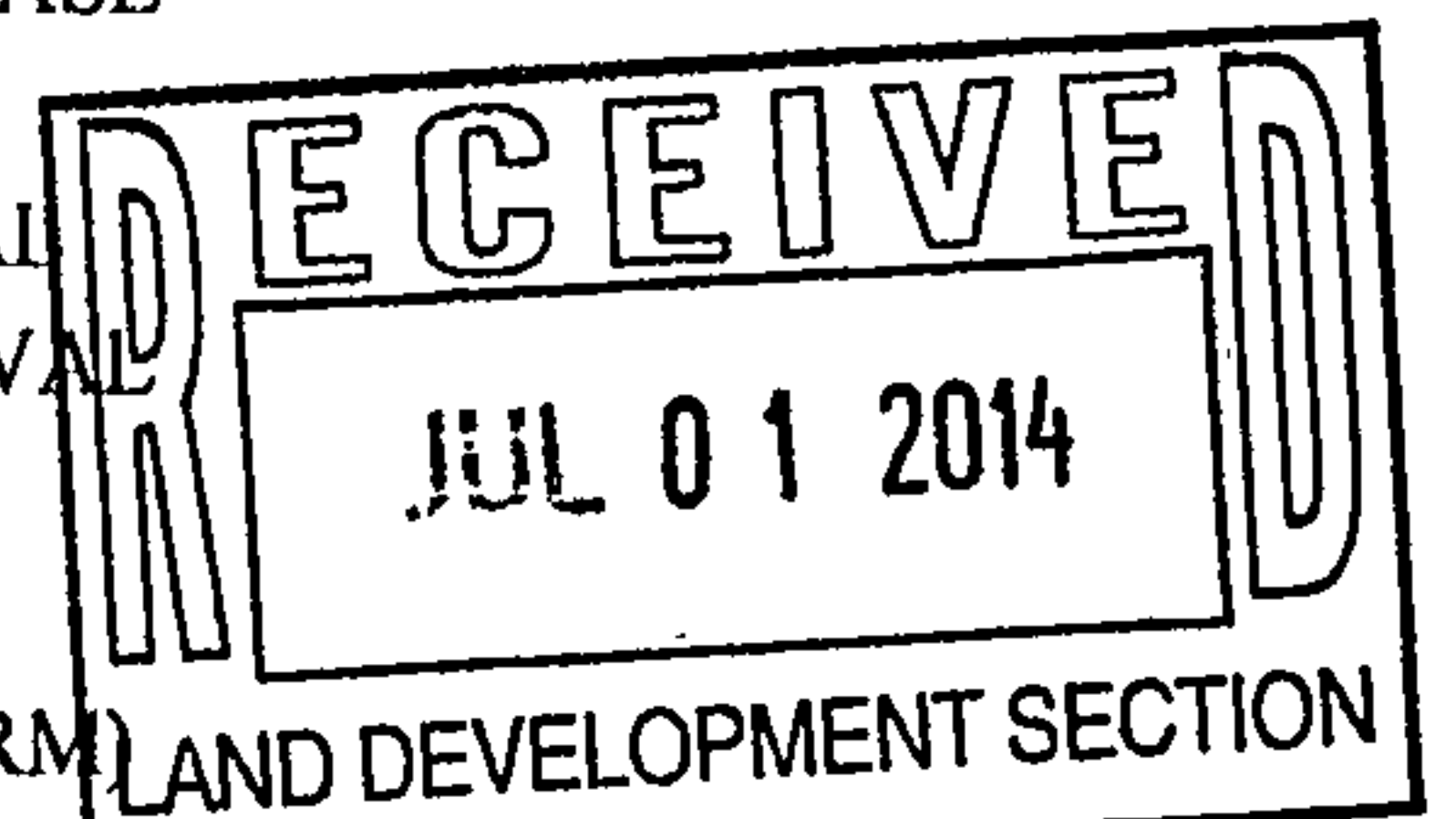
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 7-1-14 By: JACKIE MCDOWELL

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- IS S.W. ADA Accessible condition of C.O.

- ADJACENT D.P. LOCATION ON PROPERTIES

CLOSE S. MOST D. WAY. ON 4th ST.

- ADA STRIPPS WHITE OR BLUE.

- ADA RAMP TO VAN ACCESS AISLE.

- ^{ADD NOTE.}

ALL BROKEN S.W. / G3G TO BE REPLACED.!
↳ condition @ C.O.

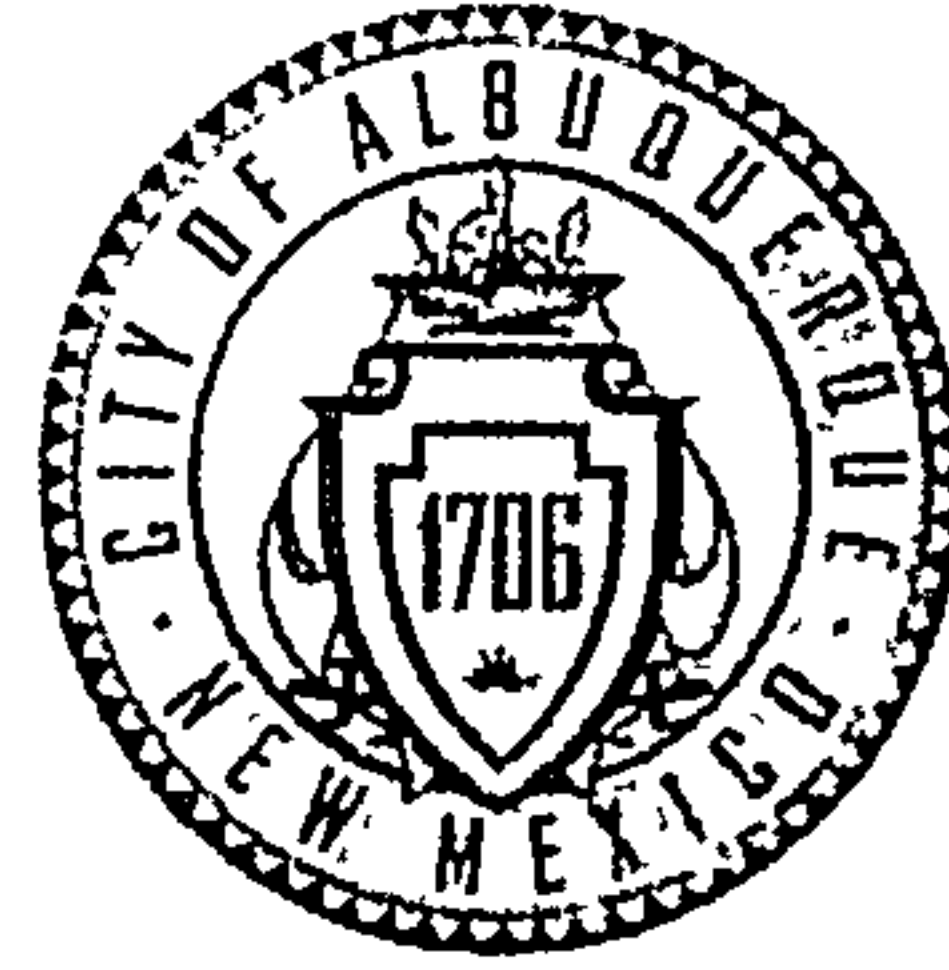
- CLOSE, ^{Southern most} ~~SEW.~~ DRIVE PAD on 4th ST.

* ^{NA} S.W. EASEMENT. — Prescriptive —

- Certify Ramps / Sidewalks from Consultant.
Certifying Language!!

Notify
@ intra.

CITY OF ALBUQUERQUE



TO COA,
For reference.

February 24, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

**Re: Philip Lovato & Sons Mechanic, 4101 Fourth St. NW,
Traffic Circulation Layout
Engineer's Stamp dated 2-19-14 (G14-D085)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 2-24-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

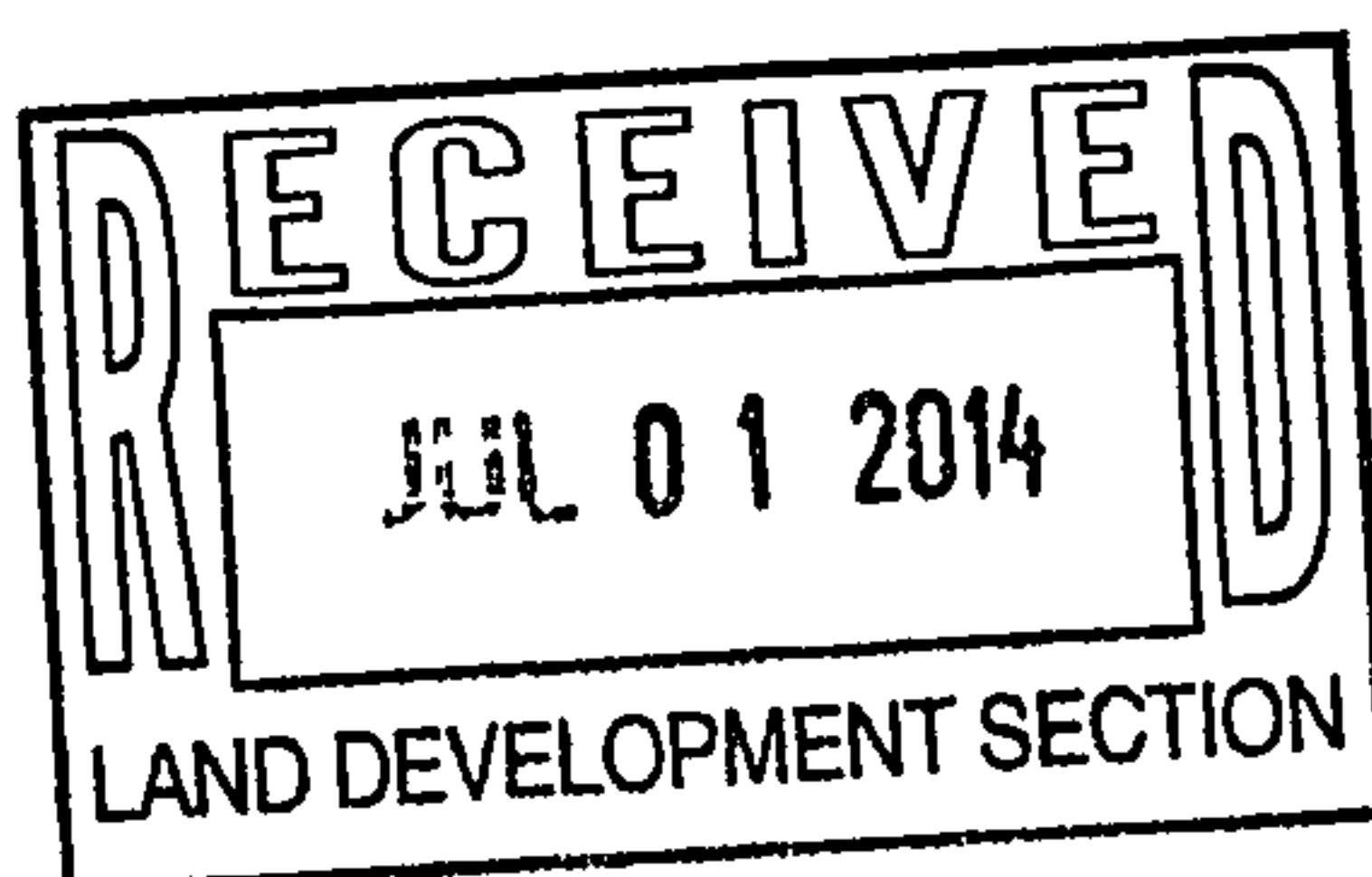
PO Box 1293

Albuquerque

New Mexico 87103

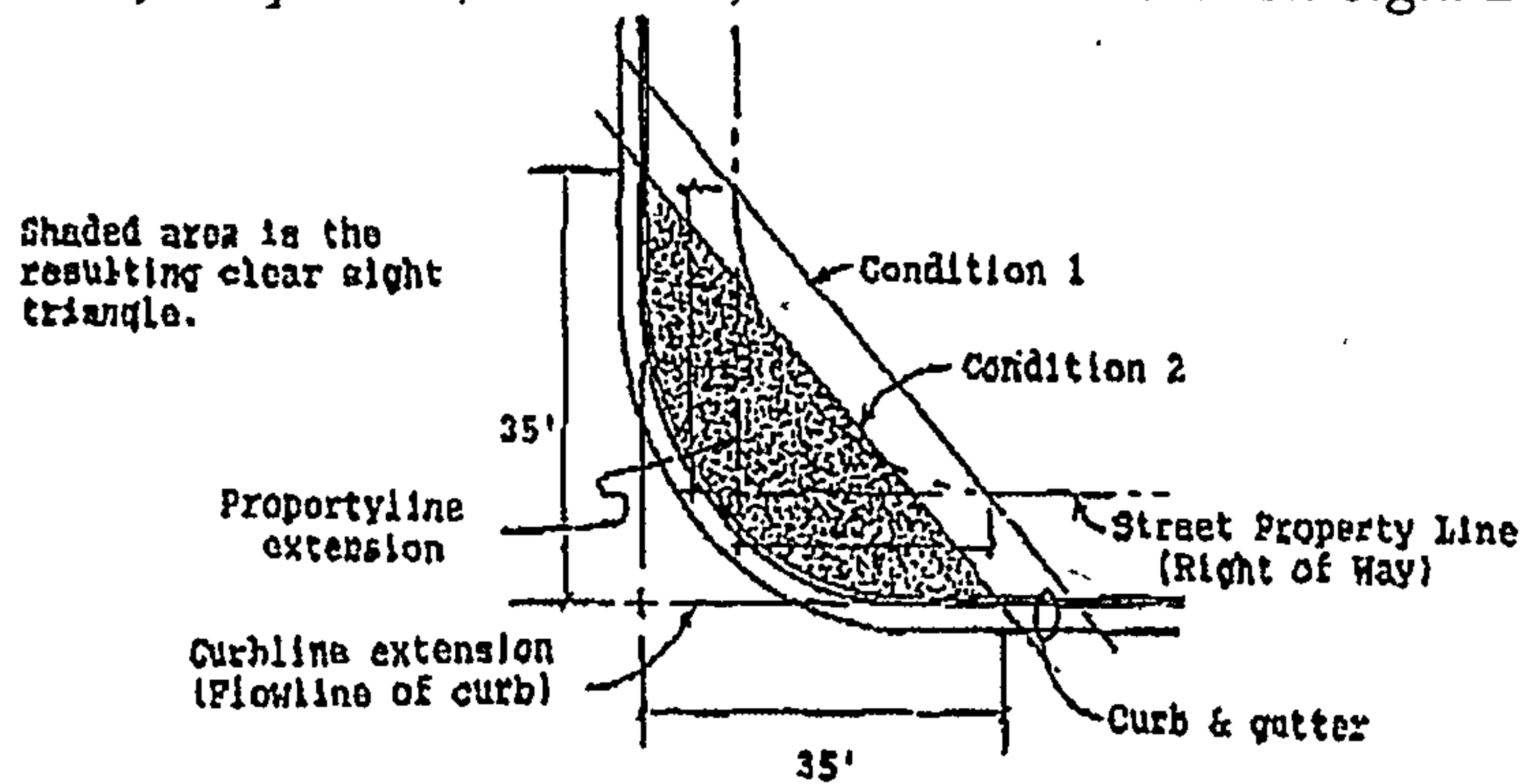
www.cabq.gov

1. The development of this site must be in compliance with current DPM and ADA standards and regulations.
2. This site falls within the purview of the North Fourth Street Rank III Corridor Plan.
3. City Of Albuquerque Right-of Way dedication may be required.
4. Are the 7 lots going to be consolidated into one lot?
5. Zoning requests a meeting to review site for compliance.
6. Is landscaping required by zoning? If so, please provide landscaping plan with next submittal. Per the *Development Process Manual*, Chapter 23, Section 7, Part B.6, curbing should be used to separate landscaping from parking areas and pedestrian ways as well as providing a physical perimeter for harvesting water. This must be clearly shown on the TCL.
7. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. The existing fence may be within the COA ROW. If so, an encroachment agreement with the City may be required.
9. The existing sign and pole may be within the COA ROW. An encroachment agreement with the City may be required.



ckB

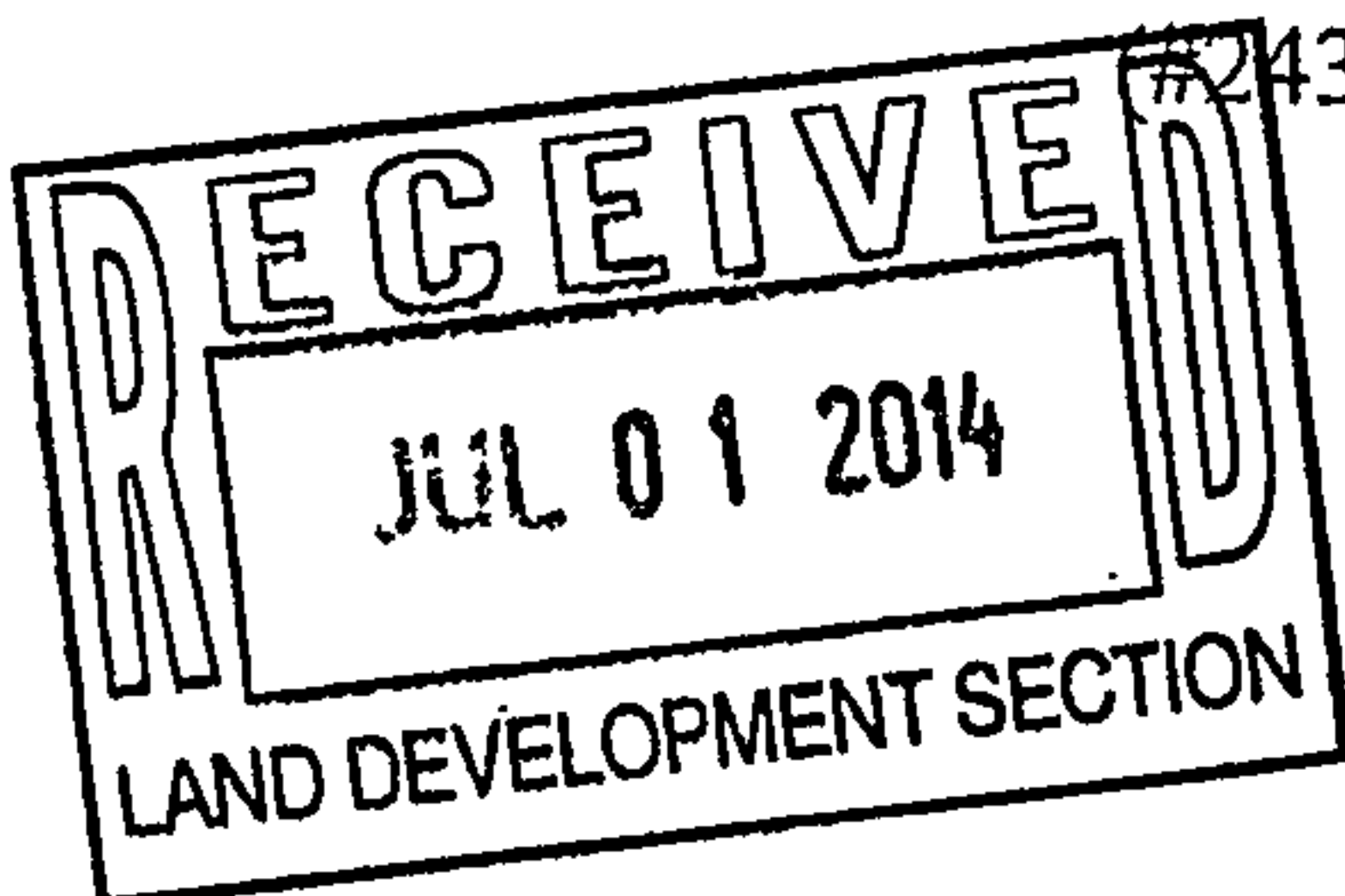
10. The existing fence may interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).



not Reg.
white or blue

11. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please label ADA and dimension.
12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
13. A five-foot keyway is required for deadend parking aisles.
14. Please list the width and length for all parking spaces.
15. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
16. Will Solid Waste be picking up Refuse at the proposed location? If so, location must be approved by Solid Waste.
17. Please show the location of the nearest driveway on the adjacent lots.
18. Define width of the existing sidewalk on each frontage.
19. Is the frontage sidewalk ADA compliant?
- a. Dimension the distance between the existing power pole & guy wires and existing fence.
 - b. Indicate where concrete and asphalt surfaces are located.
 - c. Is there ADA compliant pedestrian paths across drive pads?
 - d. Is the corner ramp ADA compliant?
20. Abandon curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard (#2430 and #2415).

west on
CHEROKEE



CITY OF ALBUQUERQUE



21. Since Fourth St is an arterial roadway, driveways with right in / right out only have a minimum driveway width of 30 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).
22. If the site has left turn access, the drivepad has a 36-foot minimum width.
23. Please include two copies of the traffic circulation layout at the next submittal.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

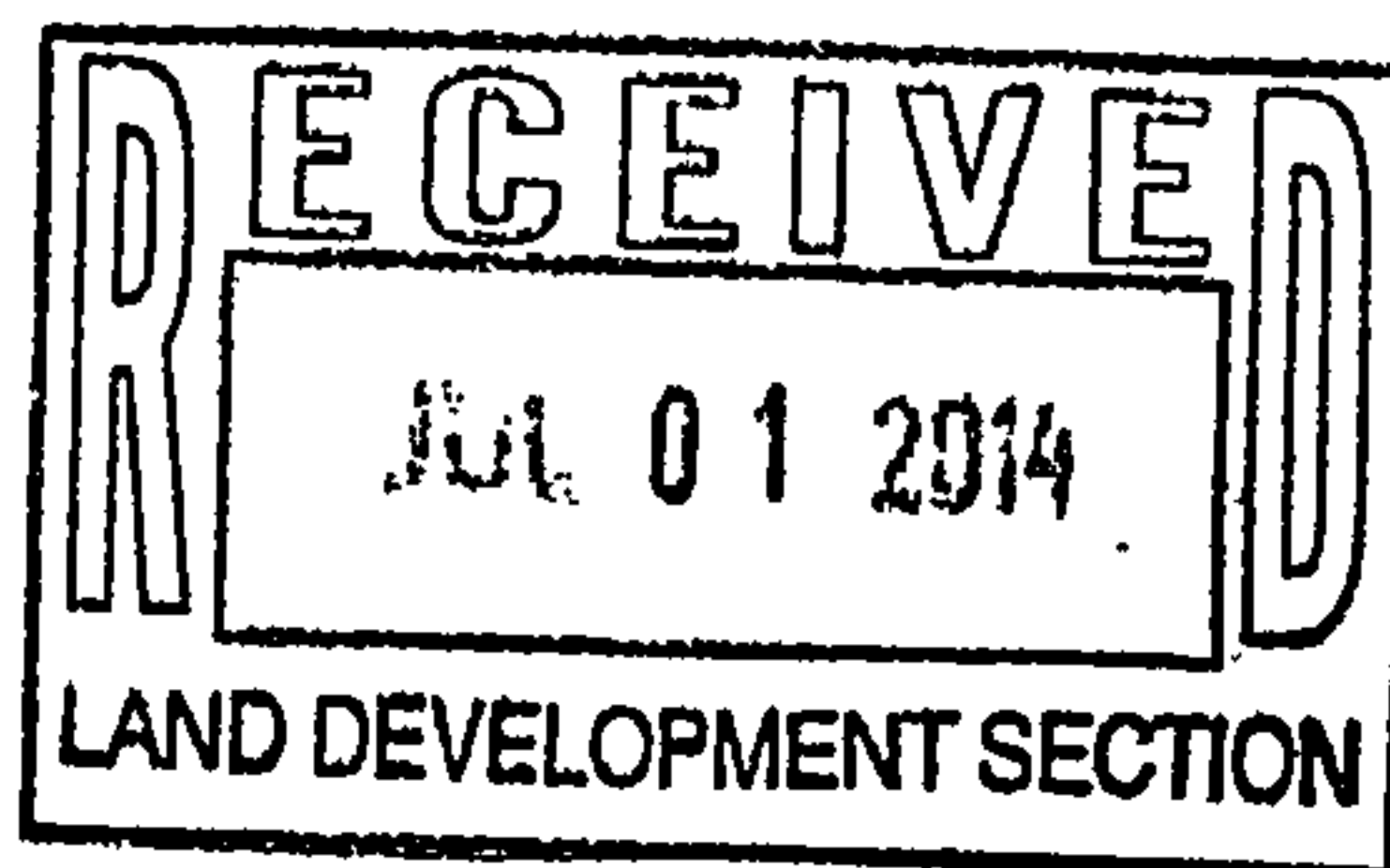
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

June 28, 2014

✓ Ms. Cynthia Beck
Associate Engineer, Planning Dept.
Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

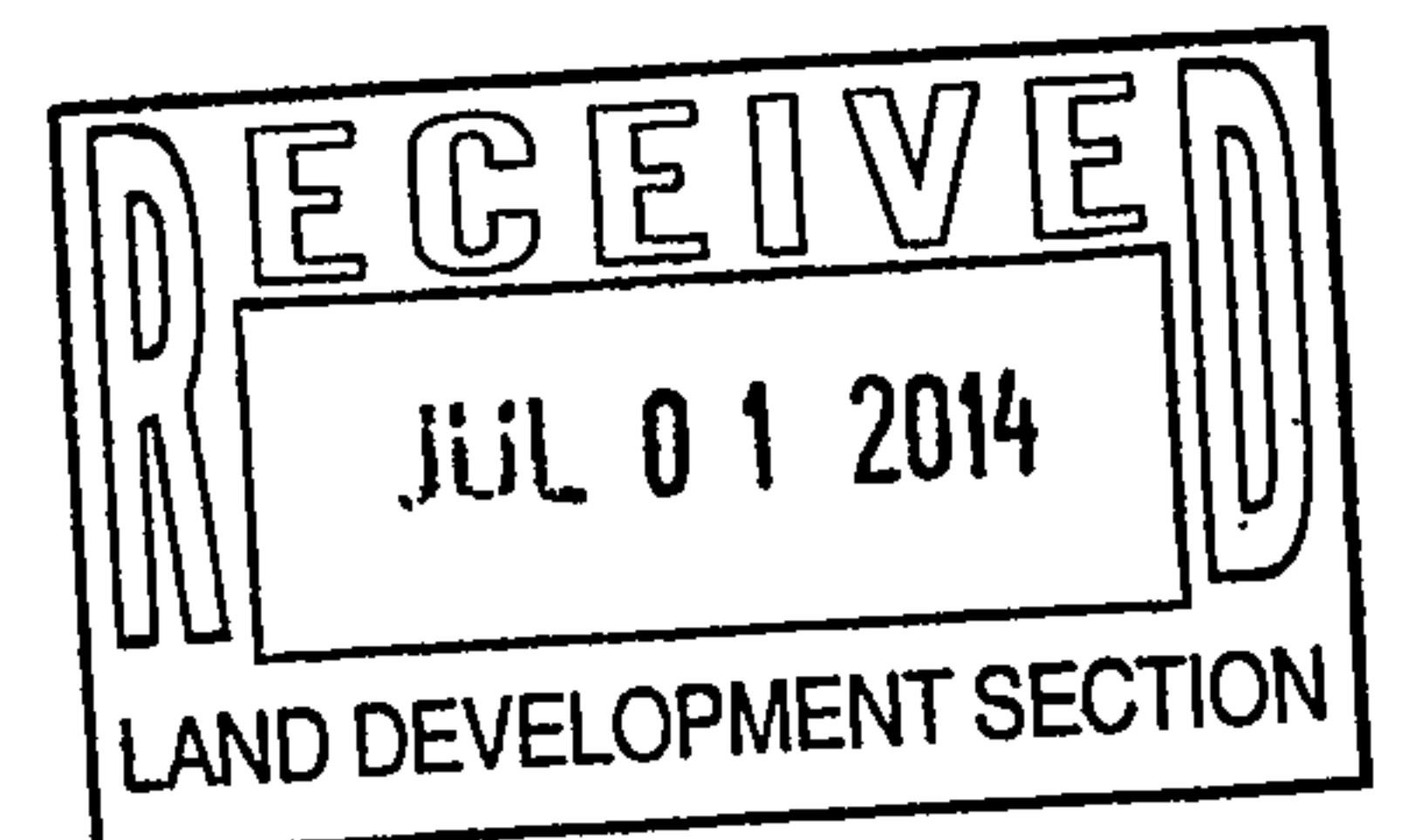
**RE: Philip Lovato & Sons Mechanic, 4101 Fourth St. NW, Traffic Circulation
Layout (G14-D085)**

Dear Ms. Beck:

We received your letter dated February 24, 2014 and offer the following response:

Please note that Mr. Jonathan Turner, Garcia-Kraemer, met with the zoning department and received approval for this development which clears most of these comments.

1. Noted.
2. Noted
3. Since no platting action, required right-of-way will not be required.
- ✓ 4. No.
5. See note above.
- ✓ 6. Not required by zoning.
- ✓ 7. Note has been added to the plan.
- ✓ 8. The fence is not within the COA ROW.
9. The pole is not within the COA ROW.
10. The fence interference is negligible and does not substantially affect the clear sight triangle and is much safer than many of other developments in this area.
11. The note has been added to the plan.
12. Pathway has been added and labeled.
13. The landscaping has been adjusted to allow for the 5' keyway for the parking aisles.
14. The width and lengths for all the parking spaces have been added.



McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

15. The surface is existing and is a combination of asphalt and concrete pavement and is labeled on the plan.
16. Solid Waste had reviewed and approved the plan.
17. There are no new driveway locations proposed for this development.
18. The existing sidewalk widths have been added to the plan along both streets.
19. The sidewalks are existing and were constructed by the NMDOT at the time the Fourth Street improvements were completed. They are existing and to remain as is.
20. There are no abandon curb cuts.
21. Noted. Curb cuts are existing as installed by the NMDOT. There are no proposed changes to any of the driveways.
22. The main driveway width is 45.8 feet wide. The south driveway on Fourth Street is a secondary emergency driveway.
23. Two copies of the revised TCL are included with this submittal.

If you have any questions, please do not hesitate to contact me.

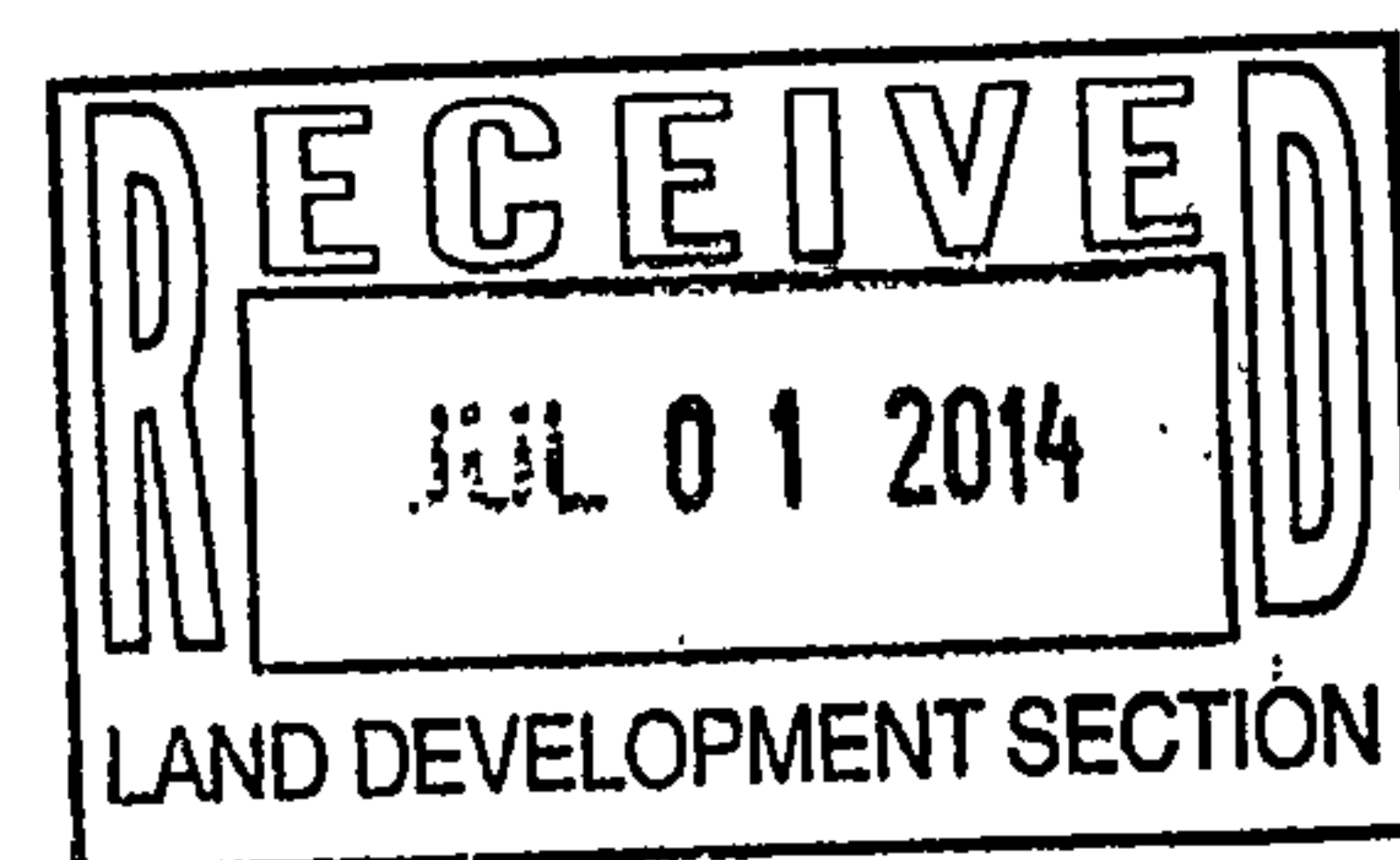
Sincerely,

MCDOWELL ENGINEERING, INC.



Jackie S. McDowell, P.E.

Copy: Owners



Beck, Cynthia

From: Beck, Cynthia
Sent: Tuesday, February 25, 2014 12:37 PM
To: 'Jackie McDowell'
Subject: RE: TCL Comments for Philip Lovato & Sons Mechanics

Jackie,

The comment letter was not intended to cause "Shock and Awe" but this site has been expanding without the proper oversight. The Planning Department in cooperation with Zoning/permitting/etc is suppose to work together to improve the functionality of North 4th corridor.

The lots on the east side of 4th St have been dedicating ROW to improve street corners access, widen frontage sidewalks, provide landscape buffers and encourage street parking. The west side has not been subject to adjustments but I simply wish to warn developers of the impending improvements.

We are definitely approachable with concerns/hardships and variance requests for non-compliance is a common avenue to take.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Department
Development & Review Services
(505) 924-3924

-----Original Message-----

From: Jackie McDowell [mailto:JackMcDowell@comcast.net]
Sent: Tuesday, February 25, 2014 12:19 PM
To: Beck, Cynthia
Subject: RE: TCL Comments for Philip Lovato & Sons Mechanics

Hi Cynthia,

Thank you for your detailed list of comments. This is very helpful in explaining to the owner and architect the items that are necessary to be completed in order for this project to proceed. We will contact you once we have gathered all the answers to your questions.

Thanks again,

Jackie S. McDowell, PE
MCDOWELL ENGINEERING, INC.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122
Voice: (505) 828-2430
Fax: (505) 821-4857
email: JackMcDowell@comcast.net

-----Original Message-----

From: Beck, Cynthia [mailto:cbeck@cabq.gov]
Sent: Tuesday, February 25, 2014 8:48 AM
To: jackmcdowell@comcast.net
Subject: TCL Comments for Philip Lovato & Sons Mechanics

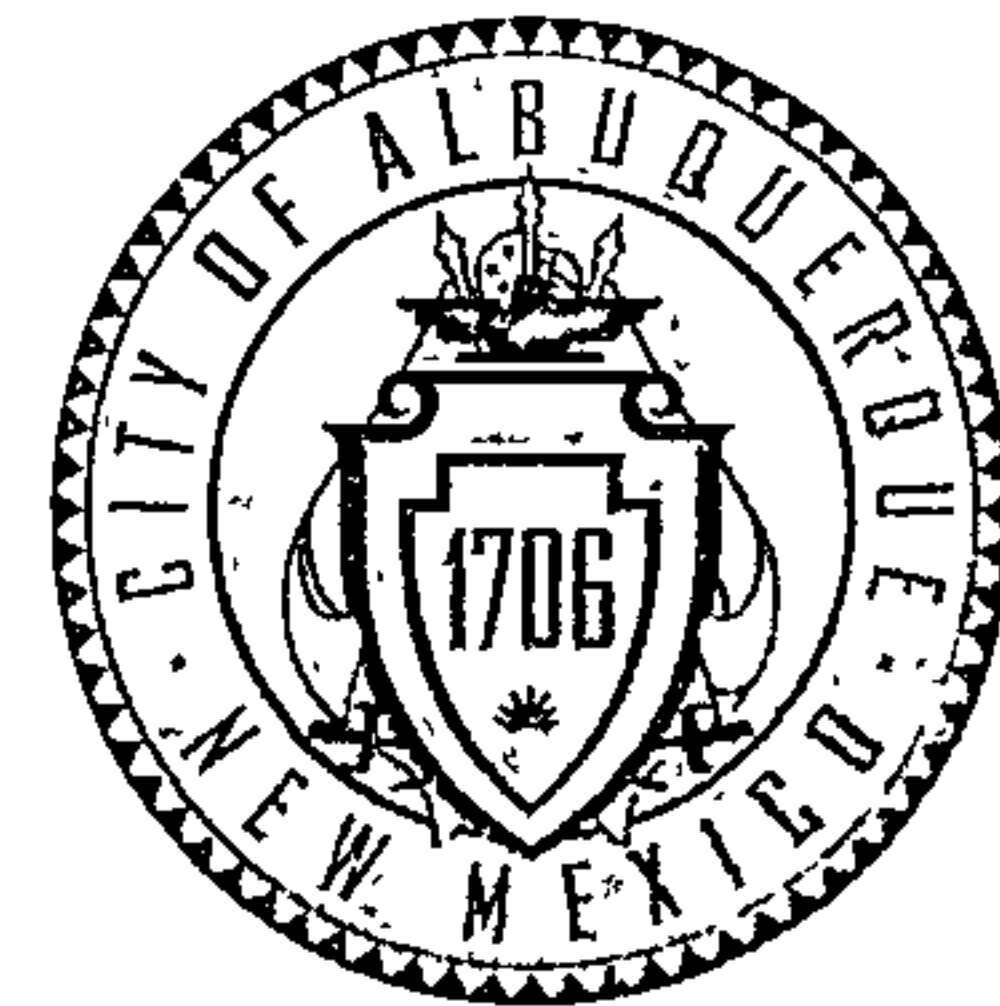
Jackie,

Several comments in the TCL letter need to be firmed up with Kristal

Metro, right-of-way issues. The primary request is to coordinate with Zoning regarding requirements before we go further with the TCL and G&D approval.

Sincerely,
Cynthia K Beck
Associate Engineer, Planning Department
Development & Review Services
(505) 924-3924

CITY OF ALBUQUERQUE



February 24, 2014

Jackie McDowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave NE
Albuquerque, NM 87122

**Re: Philip Lovato & Sons Mechanic, 4101 Fourth St. NW,
Traffic Circulation Layout
Engineer's Stamp dated 2-19-14 (G14-D085)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 2-24-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

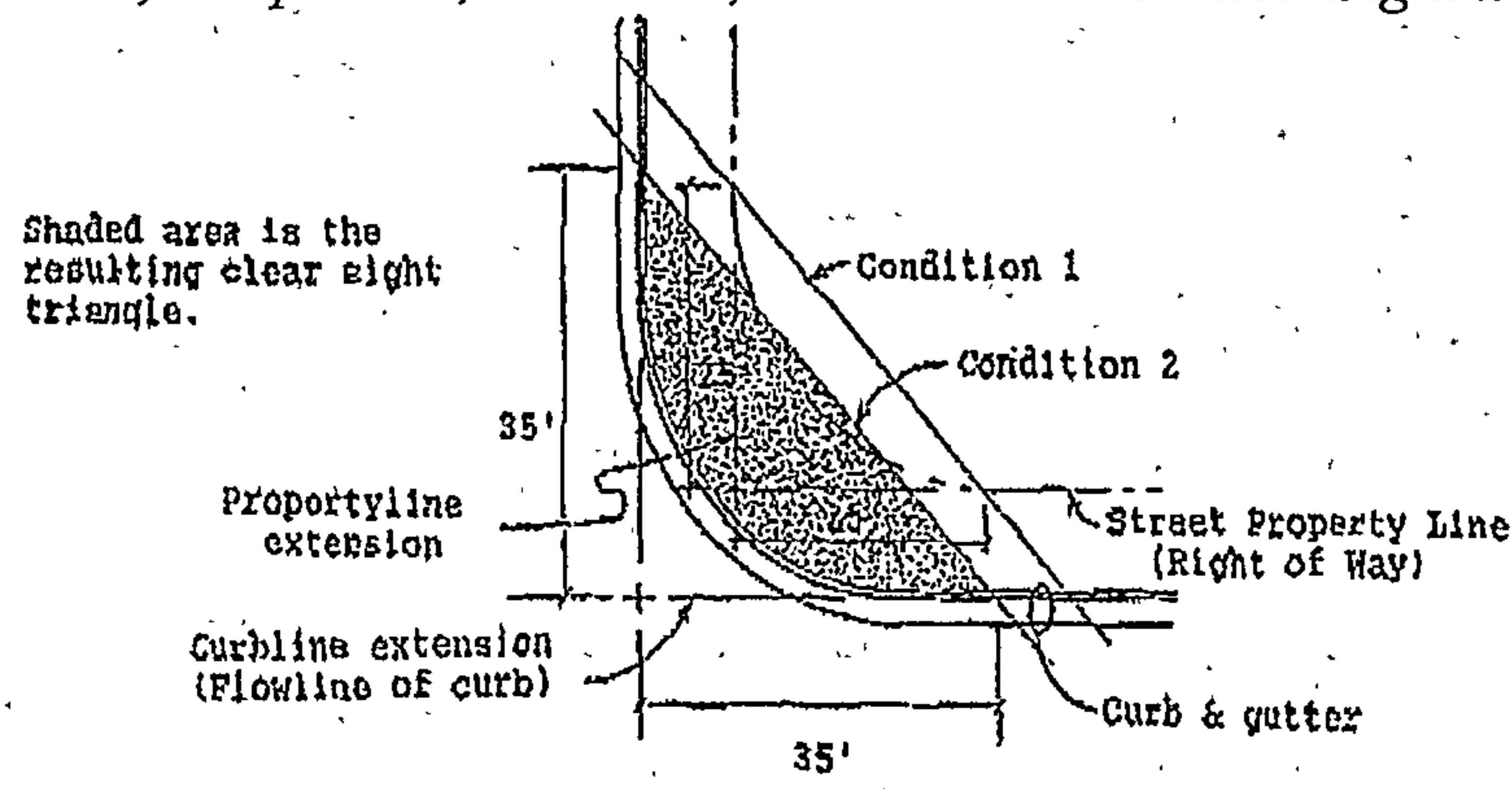
New Mexico 87103

www.cabq.gov

1. The development of this site must be in compliance with current DPM and ADA standards and regulations.
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3. City Of Albuquerque Right-of Way dedication may be required.
4. Are the 7 lots going to be consolidated into one lot?
5. Zoning requests a meeting to review site for compliance.
6. Is landscaping required by zoning? If so, please provide landscaping plan with next submittal. Per the *Development Process Manual*, Chapter 23, Section 7, Part B.6, curbing should be used to separate landscaping from parking areas and pedestrian ways as well as providing a physical perimeter for harvesting water. This must be clearly shown on the TCL.
7. Please add the following note: "Landscaping and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
8. The existing fence may be within the COA ROW. If so, an encroachment agreement with the City may be required.
9. The existing sign and pole may be within the COA ROW. An encroachment agreement with the City may be required.

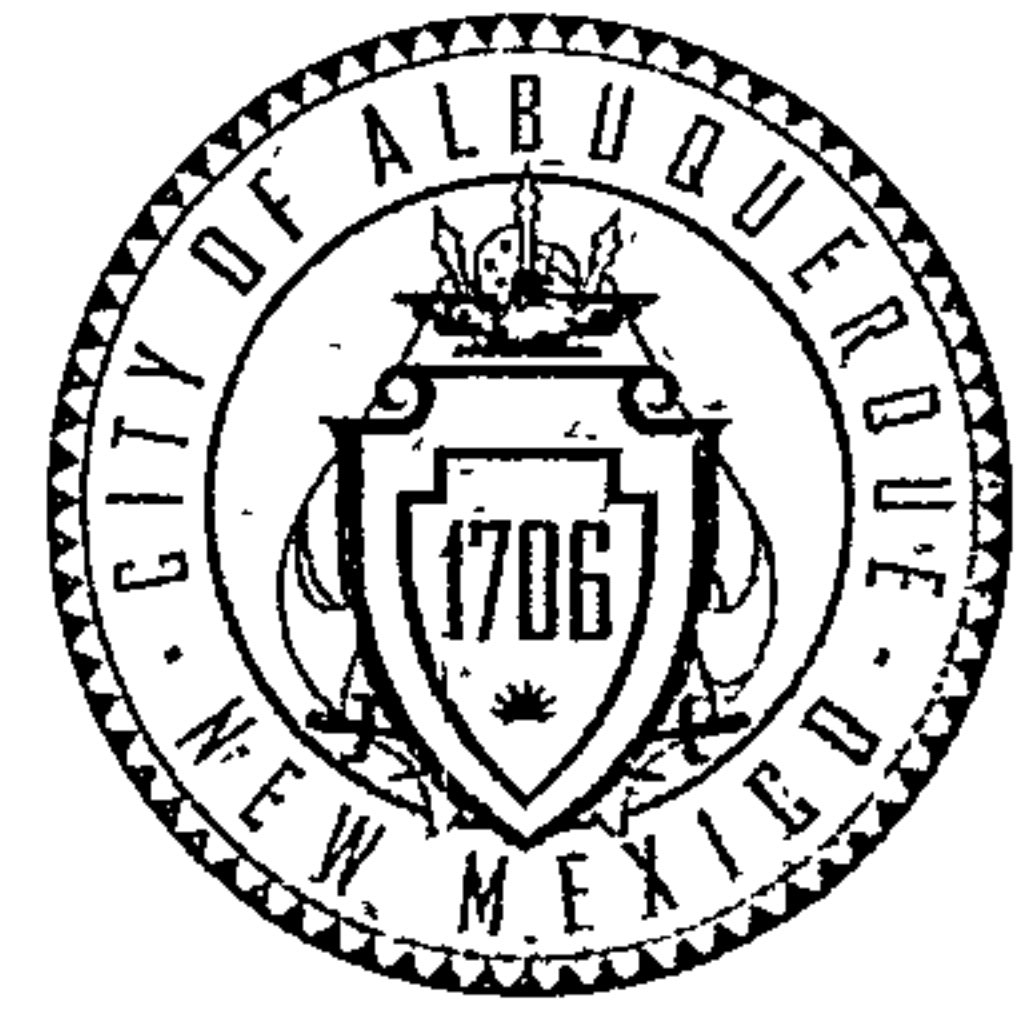
CKB

10. The existing fence may interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*).



11. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please label ADA and dimension.
12. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
13. A five-foot keyway is required for deadend parking aisles.
14. Please list the width and length for all parking spaces.
15. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
16. Will Solid Waste be picking up Refuse at the proposed location? If so, location must be approved by Solid Waste.
17. Please show the location of the nearest driveway on the adjacent lots.
18. Define width of the existing sidewalk on each frontage.
19. Is the frontage sidewalk ADA compliant?
 - a. Dimension the distance between the existing power pole & guy wires and existing fence.
 - b. Indicate where concrete and asphalt surfaces are located.
 - c. Is there ADA compliant pedestrian paths across drive pads?
 - d. Is the corner ramp ADA compliant?
20. Abandon curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard (#2430 and #2415).

CITY OF ALBUQUERQUE



21. Since Fourth St is an arterial roadway, driveways with right in / right out only have a minimum driveway width of 30 feet (see the *Development Process Manual*, Chapter 23, Section 6, Part B.8).
22. If the site has left turn access, the drivepad has a 36-foot minimum width.
23. Please include two copies of the traffic circulation layout at the next submittal.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia K Beck
Associate Engineer, Planning Dept.
Development Review Services

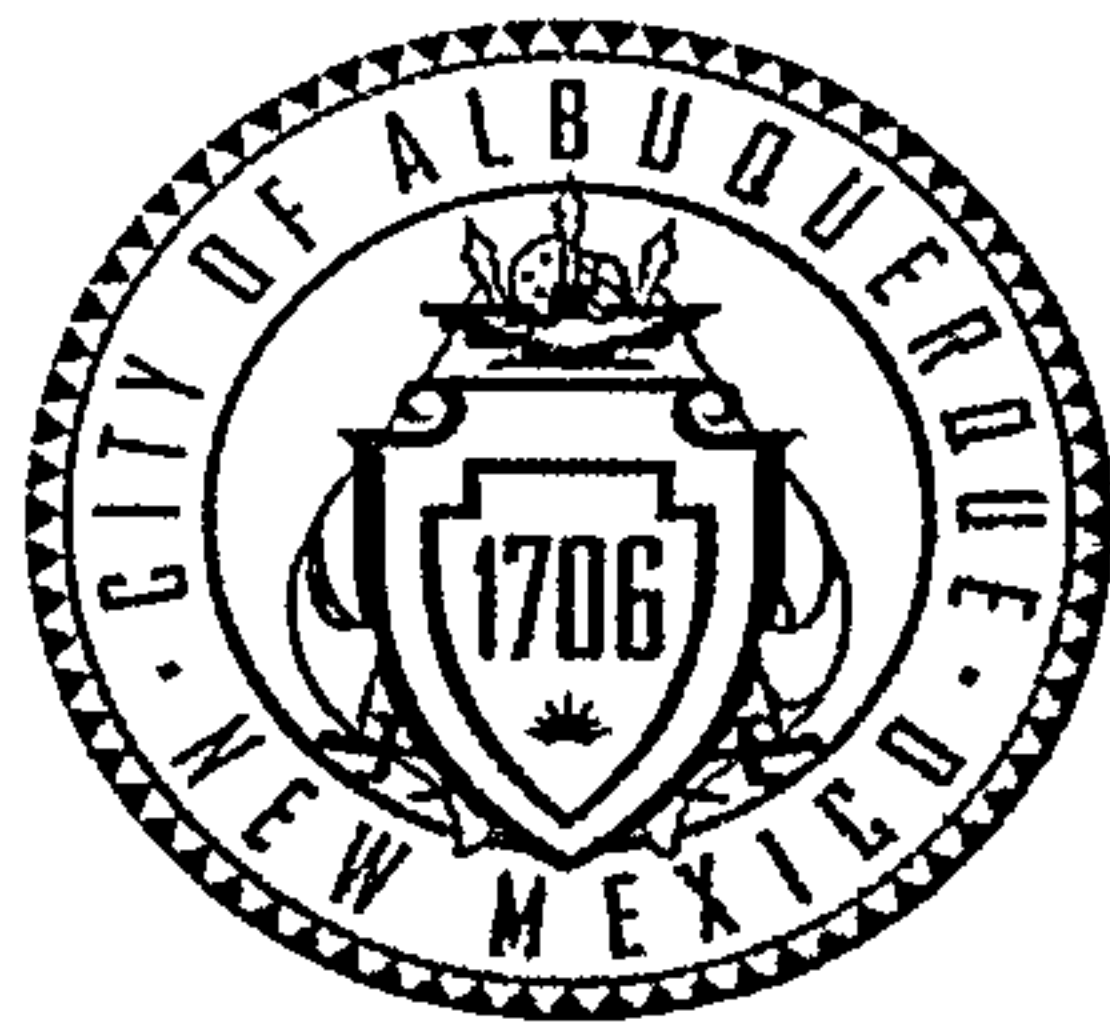
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PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOVATO, PHILIP & SONS 4101 4TH ST Building Permit #: _____ City Drainage #: G14D085

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOTS 1-7 WINONA ADDITION

City Address: 4101 FOURTH STREET NW

Engineering Firm: MCDOWELL ENGINEERING, INC.

Contact: JACKIE MCDOWELL

Address: 7820 BEVERLY HILLS AVE. NE

87122

Phone#: 505-828-2430

Fax#: 505-821-4857

E-mail: jackmcdowell@comcast.net

Owner: PHILIP LOVATO

Contact: PHILIP LOVATO

Address: PO BOX 27287

Phone#: 505-242-4720

Fax#: _____

E-mail: _____

Architect: RON MONTOYA DESIGNS, INC.

Contact: RON MONTOYA

Address: 8724 ALAMEDA NE

Phone#: 505-823-6474

Fax#: 505-823-6487

E-mail: _____

Surveyor: MIKE SHOOK

Contact: MIKE SHOOK

Address: 612 CERRO DE ORTEGA DR. SE

Phone#: 505-896-1716

Fax#: _____

E-mail: _____

Contractor: Sam Gilgus

Contact: _____

Address: _____

Phone#: 505-507-6860

Fax#: _____

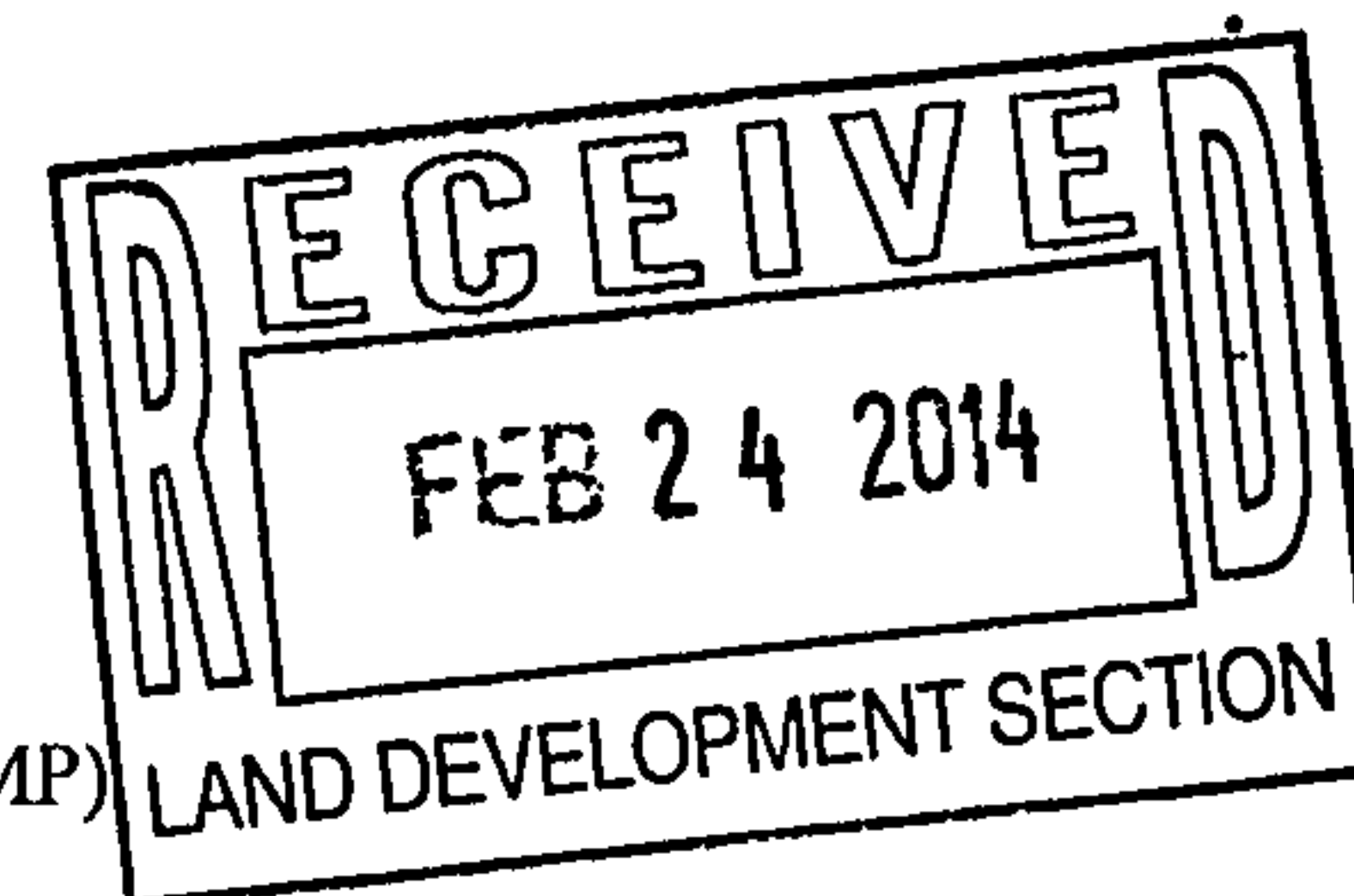
E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided ☐

DATE SUBMITTED: 2-24-14

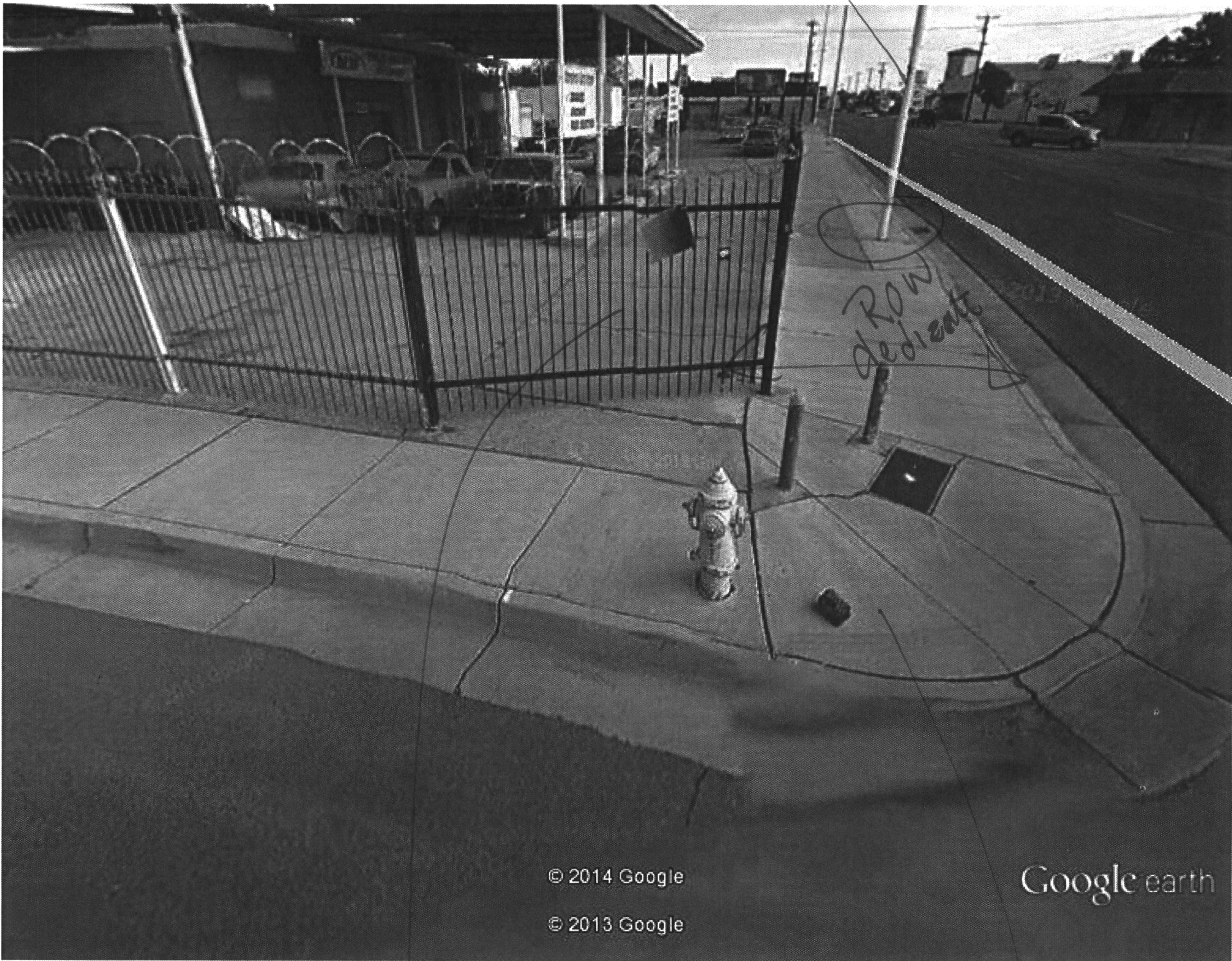
By: JACKIE MCDOWELL

[Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Private sign pole

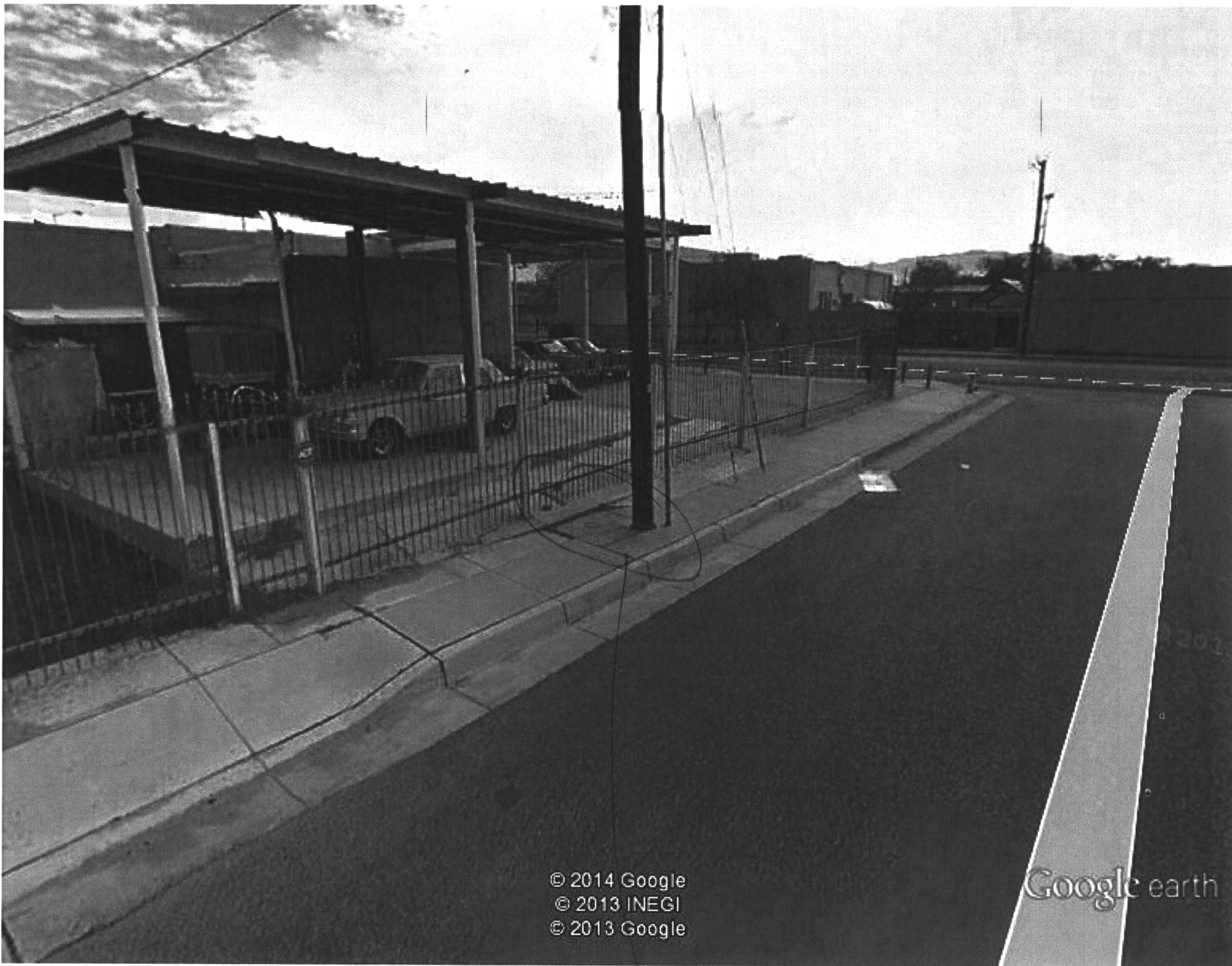


Google earth

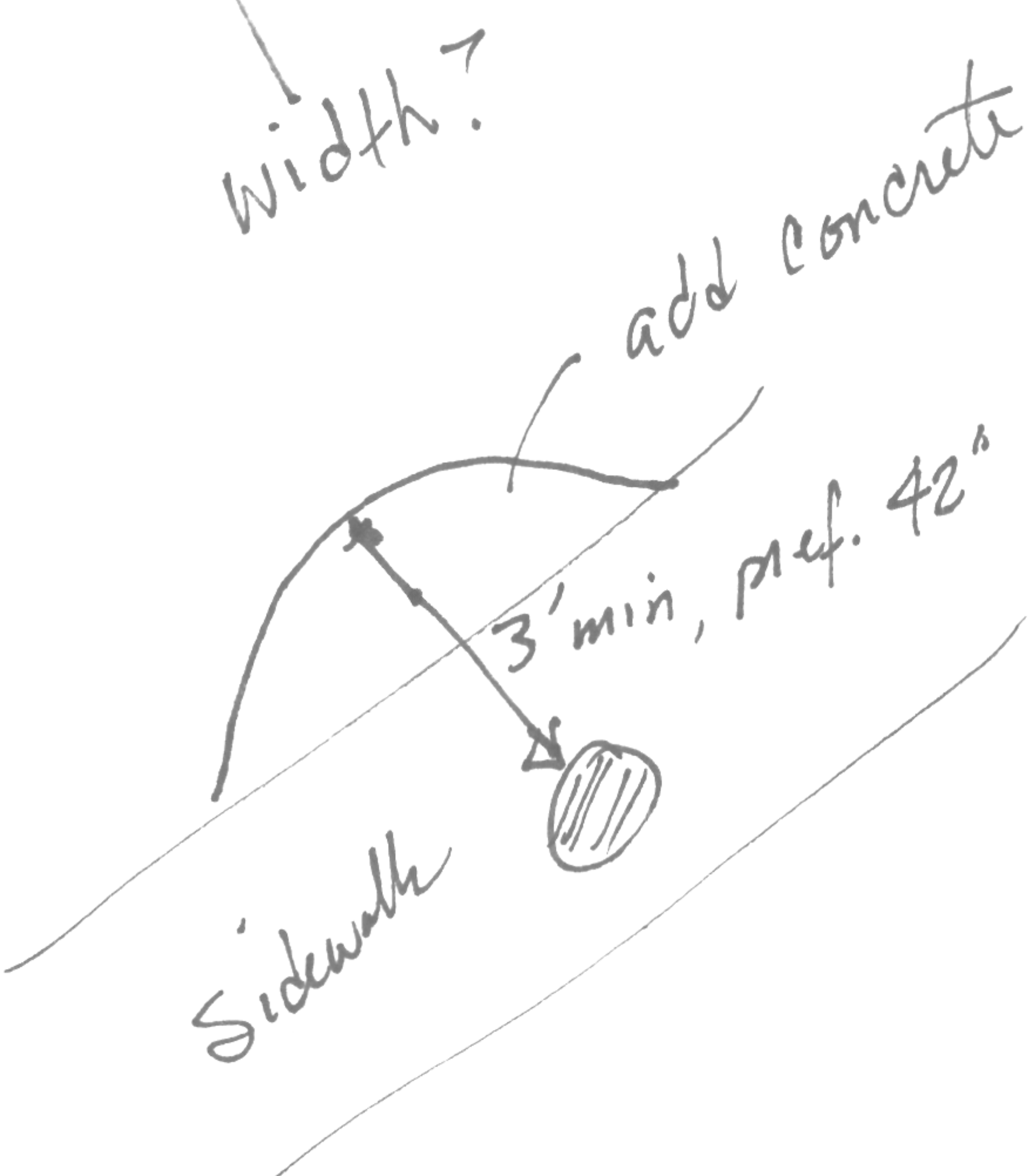


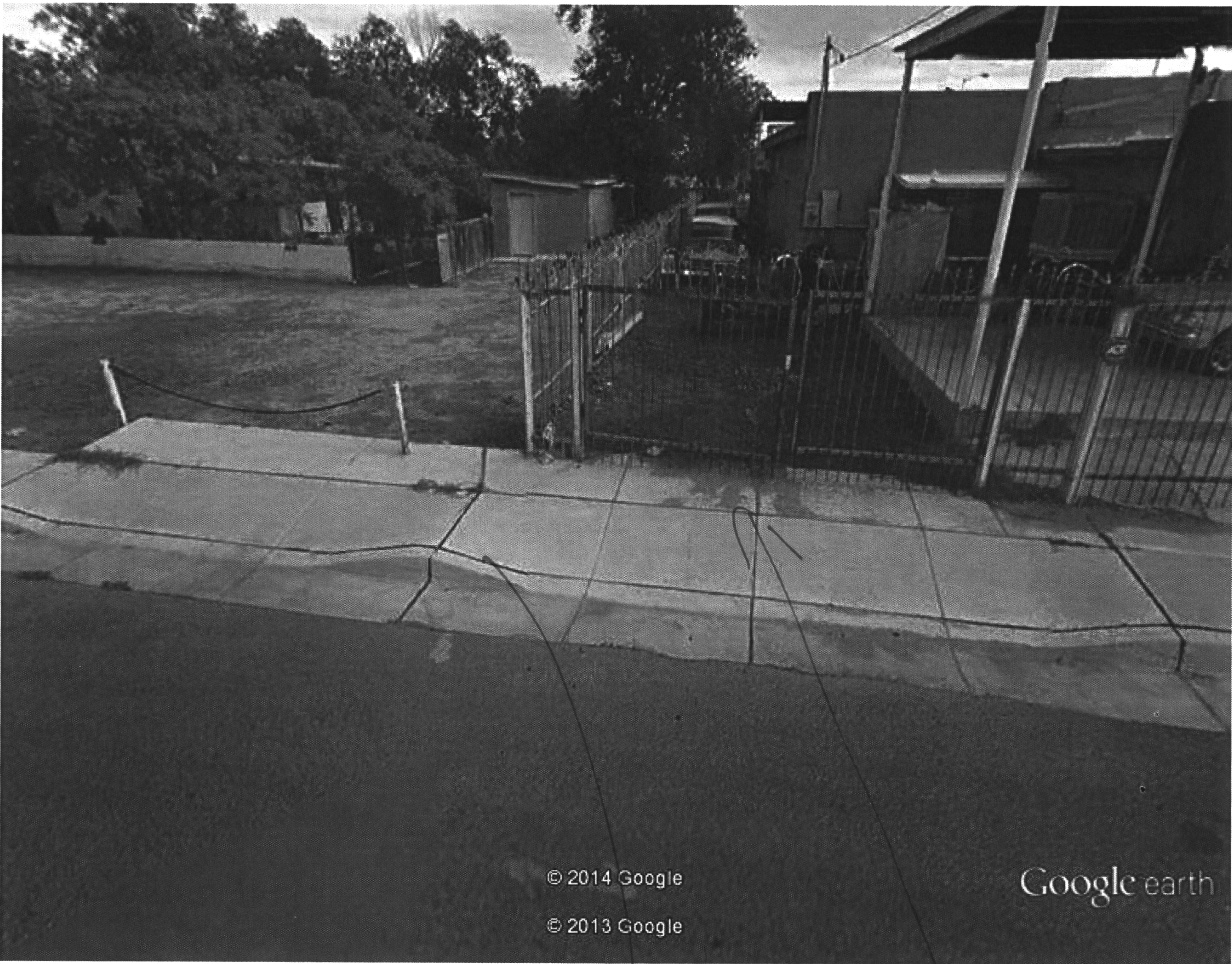
Visual issue?

ADA?



Google earth





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Google earth

Google earth

feet
meters



Not ADA
Permitted?

Refuse
Solid Waste
Pick up?

I want to...

Search for map features...

G 14 - D0085

All Available Layers

4101 Fourth St. NW
Philip Lavato's Son



3/21/2014

Sam. Giegas 505-507-6860
4101 4th St.
Return Call

Jackie McDowell, RA

Ron Montoya -

G Classified Wrong
Issue w/ zoning

What to do?

Survey -
Subdivision

5/7 lots issue