

CITY OF ALBUQUERQUE



November 25, 2014

Mr. Reza Afaghpour, PE
SBS Construction
10209 Snowflake Court NW
Albuquerque, NM 87114

**Re: 3440 2nd Street NW
Grading and Drainage Plan
Engineer's Date 11-24-14 (G14D087)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 11-24-14, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

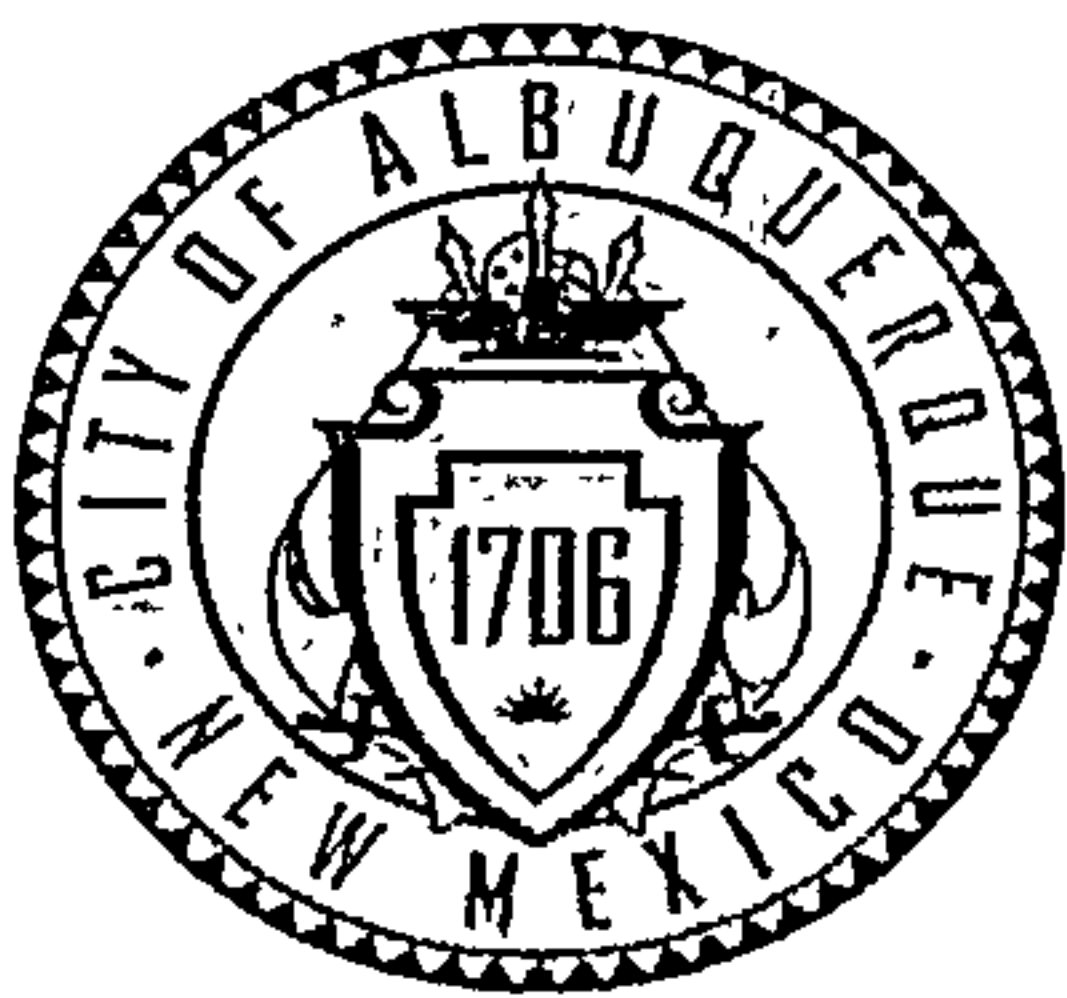
New Mexico 87103

www.cabq.gov

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 3440 2nd St. NW Building Permit #: _____ City Drainage #: G14-D087

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 17-A-2, Pappas Add.

City Address: 3440 2nd St. NW

Engineering Firm: SBS Const. & Eng. Contact: Shawn BIAZAR

Address: 10209 Sunnyside Dr. NW

Phone#: (505) 804-5013 Fax#: _____ E-mail: AEC LLC@aol.com

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE/ATTENDED: _____

Yes _____ No _____ Copy Provided _____

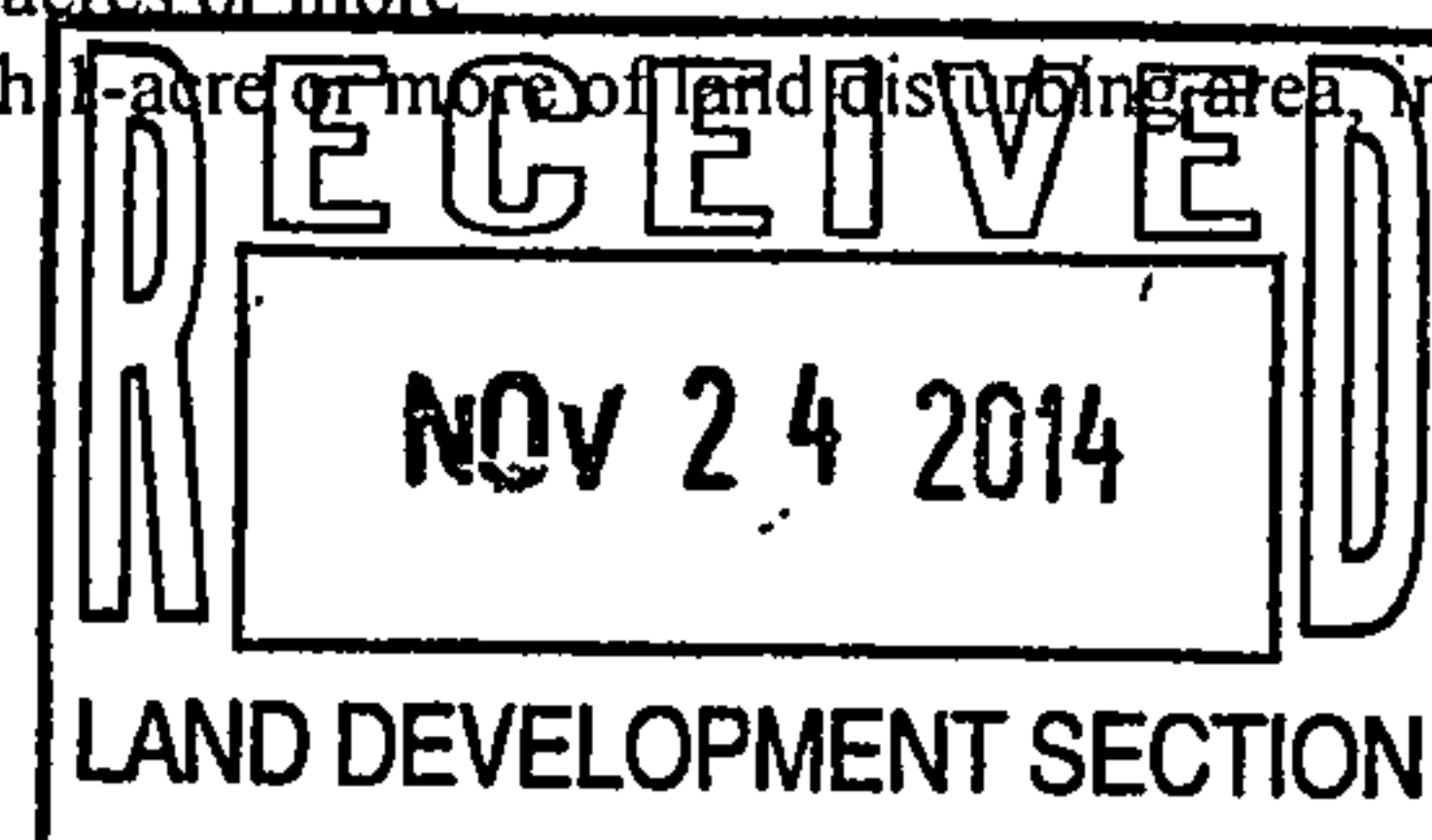
DATE SUBMITTED: 11/24/14 By: SE BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

FASTTRAX

A0 = .28 ac RET



CITY OF ALBUQUERQUE



November 19, 2014

Mr. Reza Afaghpour, PE
SBS Construction
10209 Snowflake Court NW
Albuquerque, NM 87114

**Re: 3440 2nd Street NW
Grading and Drainage Plan
Engineer's Date 10-31-14 (G14D087)**

Dear Mr. Reza,

Based upon the information provided in your submittal received 10-31-14, the above referenced plan is not approved for Grading Permit nor Building Permit. Please address the following comments:

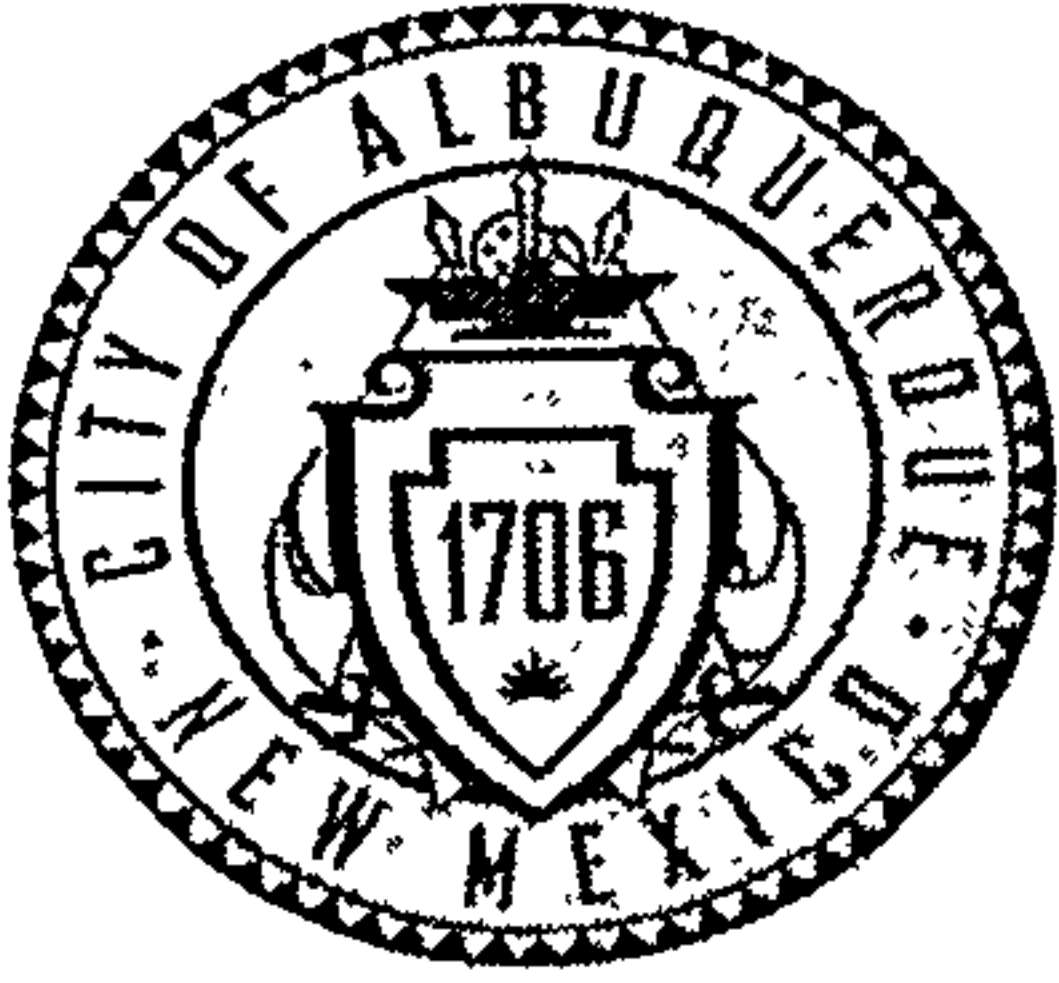
1. A pond is being shown with a top elevation of 4973. The surrounding elevations are as high as 4975. Provide tie-in contours. They should be at less than 3:1 slope in relationship to the pond. Also show how existing grades are being tied into on the full length of the east side of the property. Will there be a steep slope along that edge?
2. The First Flush was not discussed. Per the City Drainage ordinance, the 90th Percentile Storm Event, which is 44 inches, is to be managed. Reduce 0.44 inch by the 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Multiply the remaining 0.34 inch by your impervious area. This is the amount of the First Flush necessary for the site. Show that amount on your plans. State that the capacity provided by the proposed pond is greater than what is required for the First Flush.
3. Provide a discussion of the 100 Year Flood Plain.
4. In the AHYMO run for the historical condition, the existing flows should reflect an impervious area that is greater than 40%.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 3440 2nd Street Building Permit #: _____ City Drainage #: G14-D087

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 17-A-2, PAPPE ADDITION

City Address: 3440 2ND STREET, NW, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

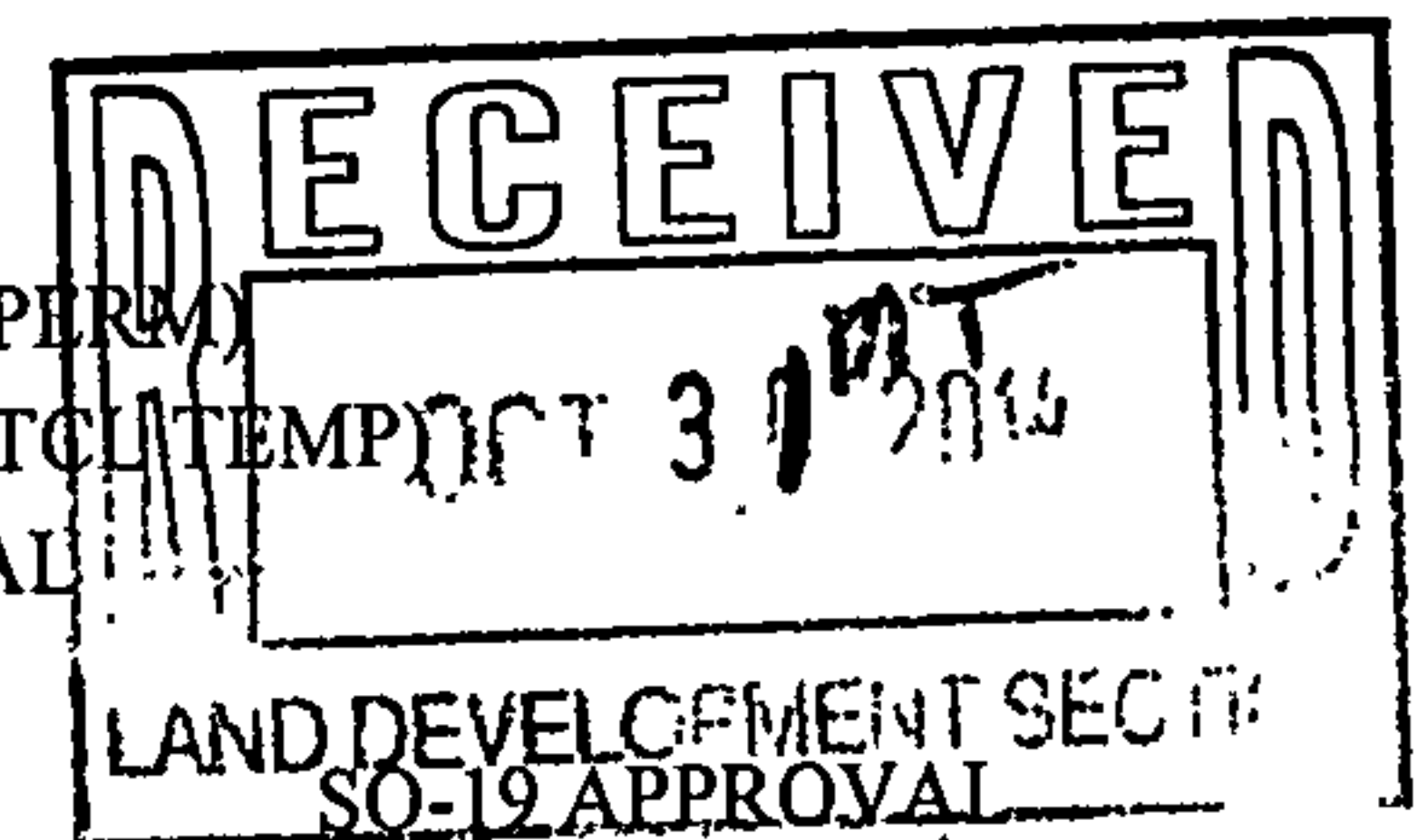
Phone#: _____ Fax#: _____ E-mail: _____

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- ☐ CLOMR/LOMR
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WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

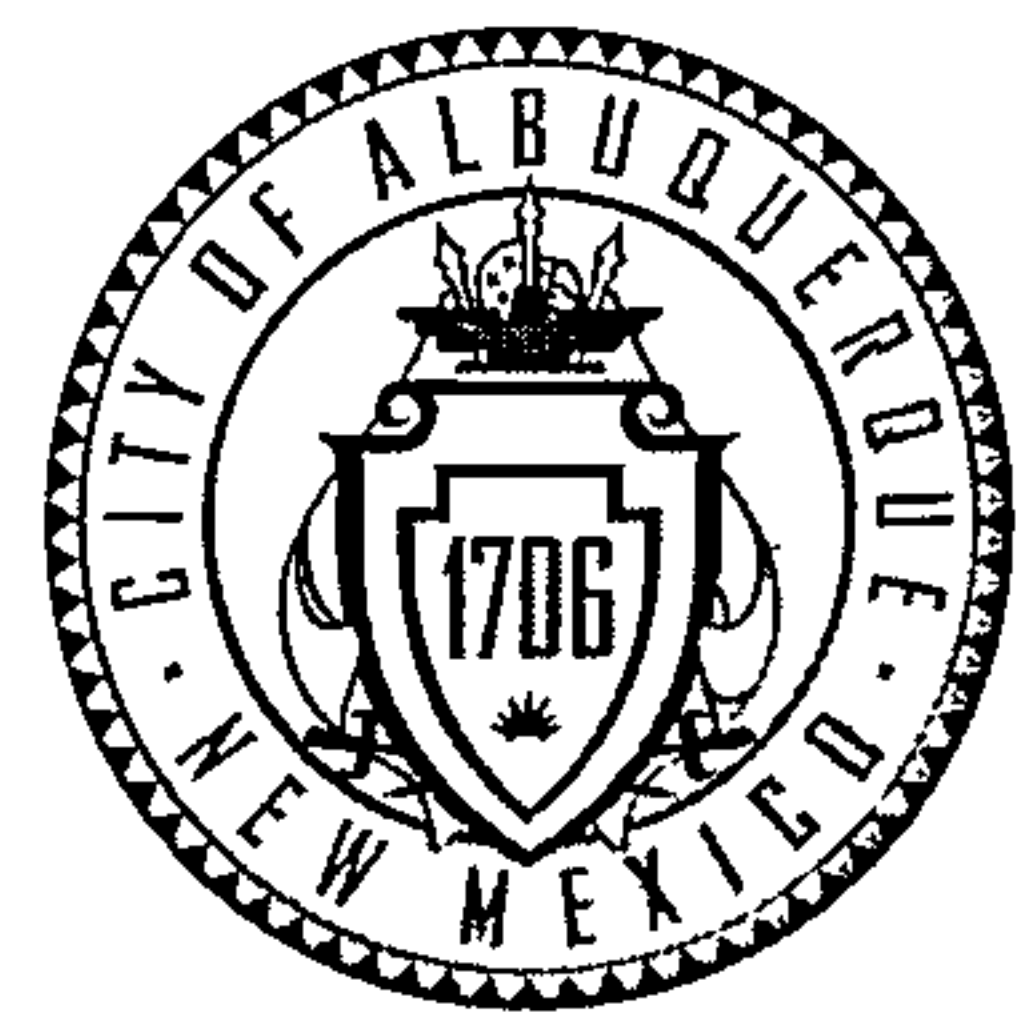
DATE SUBMITTED: 10/31/2014 By: SHAWN BIAZAR

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Retention Ad = 85% 7.28 ac FASTRAX

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 6, 2014

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

Re: Office Warehouse, 3440 2nd Street NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 11-03-14 (G14-D087)

Dear Mr. Biazar:

The TCL submittal received 11-06-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

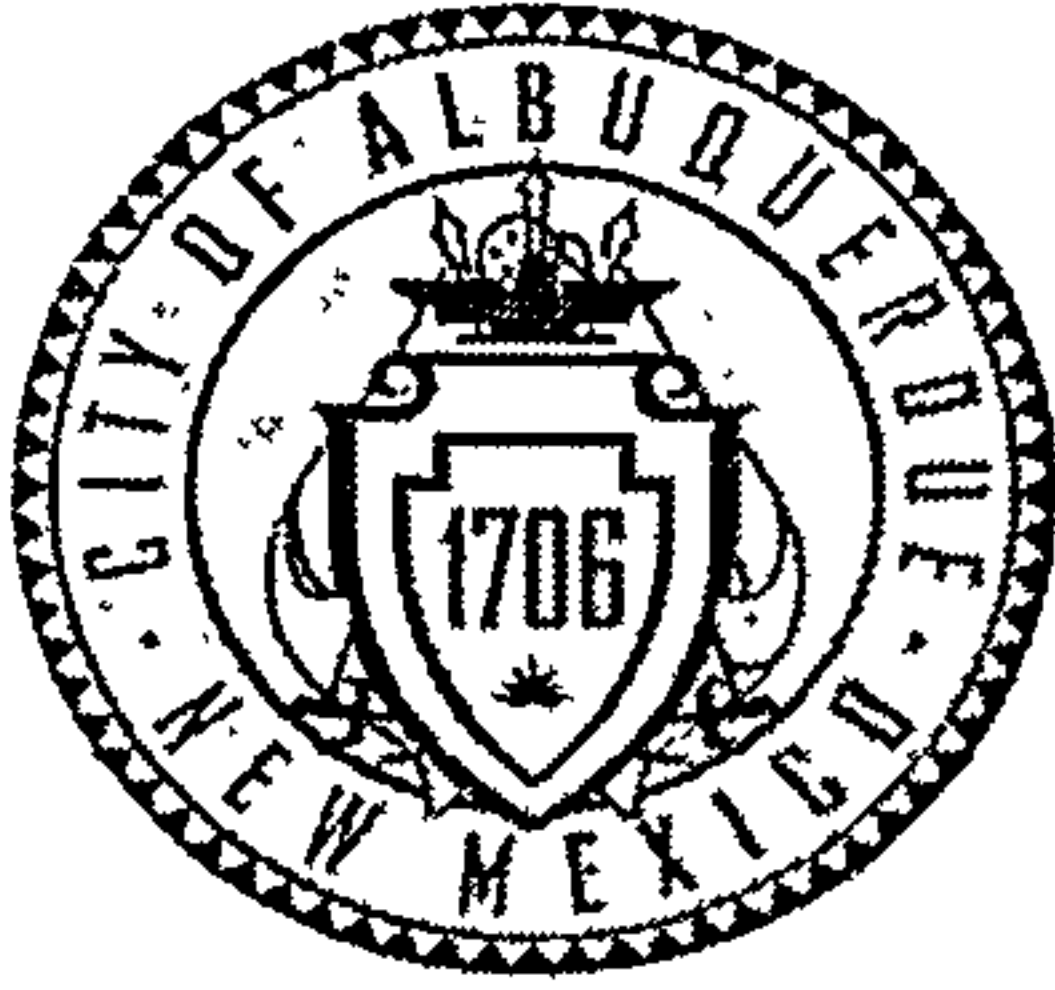
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 3440 2ND STREET, NW Building Permit #: _____ City Drainage #: G14-078

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 17-A-2, PAPPE ADDITION

City Address: 3440 2ND STREET, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALB., NM 87114

Phone#: 505-804-5013 Fax#: _____ E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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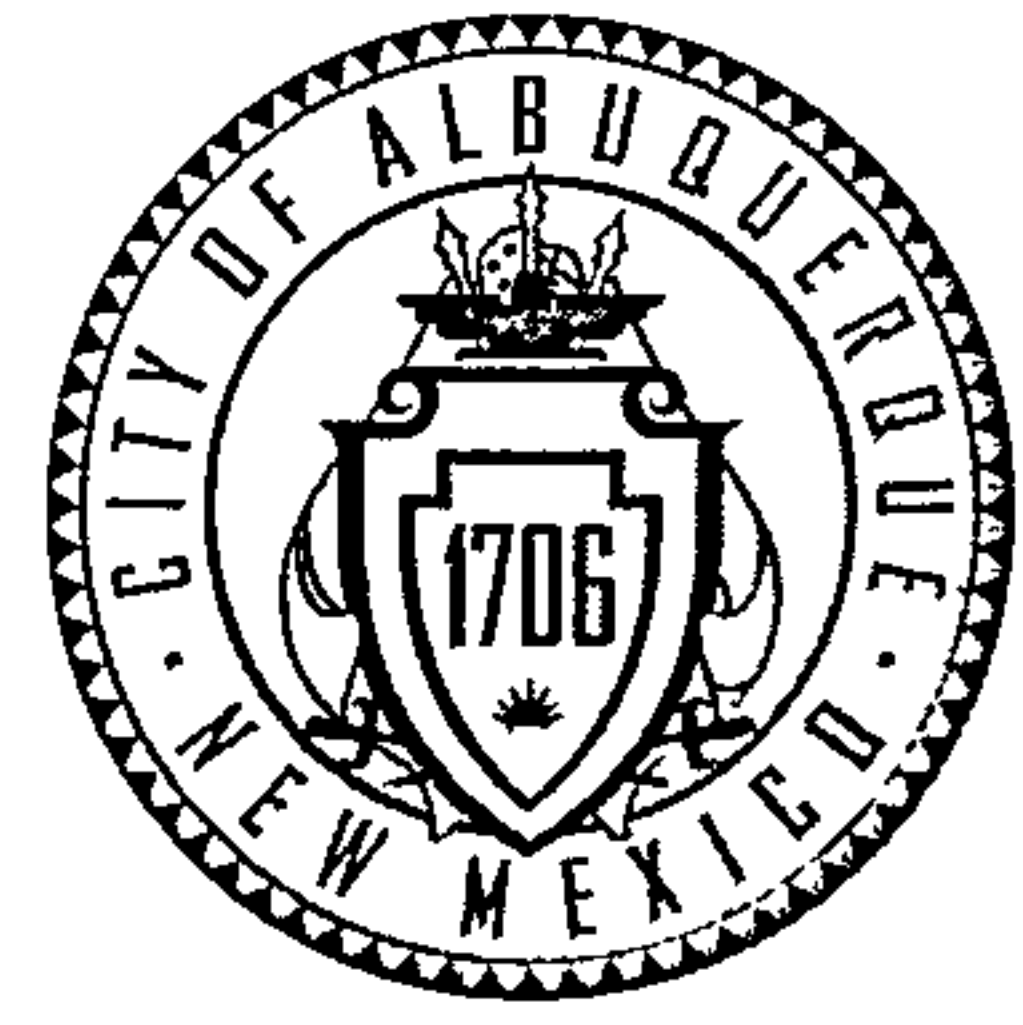
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 11-6-14 By: SHAWN BIAZAR

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 6, 2014

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

Re: Office Warehouse, 3440 2nd Street NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 11-03-14 (G14-D087)

Dear Mr. Biazar:

The TCL submittal received 11-06-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

PO Box 1293

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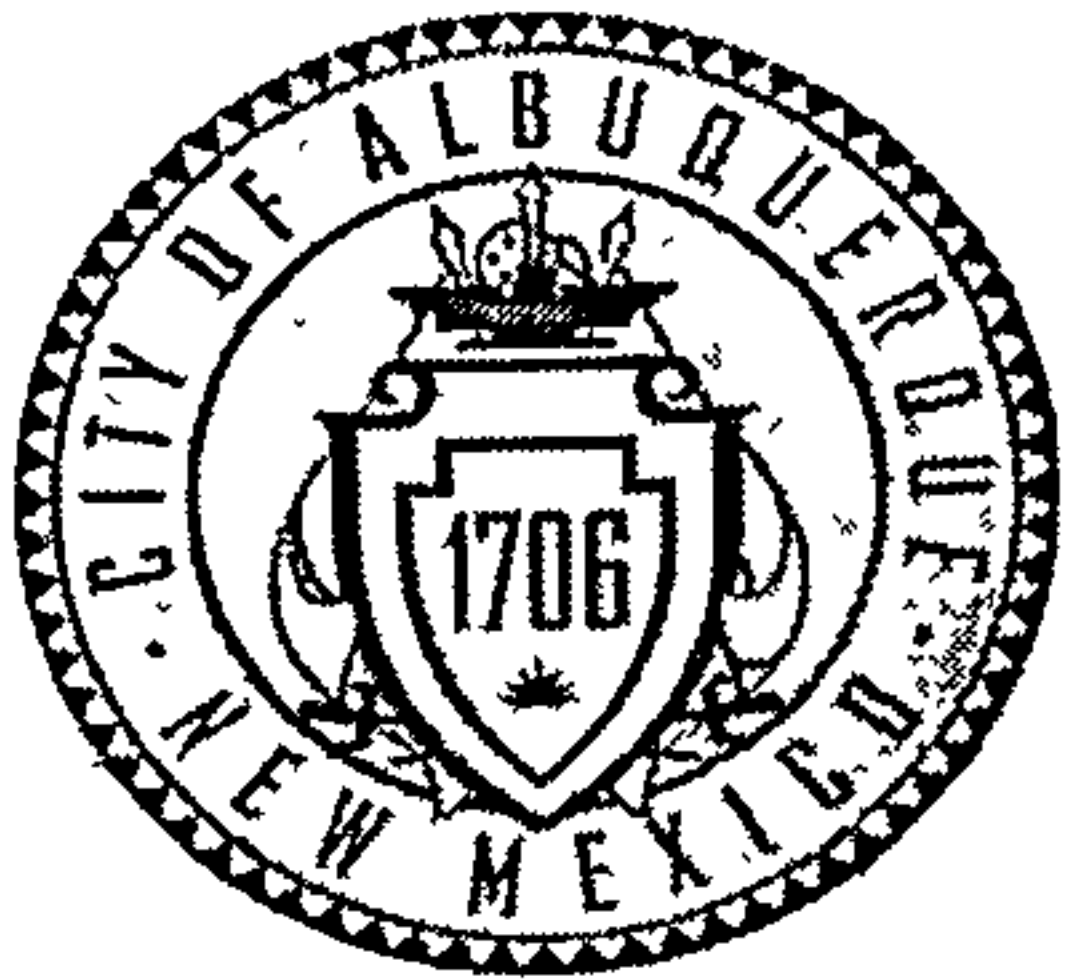
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Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 17-A-2, PAPPE ADDITION

Building Permit #:

City Drainage #: 6142087

DRB#:

EPC#:

Work Order#:

Legal Description: LOT 17-A-2, PAPPE ADDITION

City Address: 3440 2ND. STREET, NW, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC

Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: 505-804-5013

Fax#: 505-897-4996

E-mail: AECLLC@AOL.COM

Owner:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Architect:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Surveyor:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Contractor:

Contact:

Address:

Phone#:

Fax#:

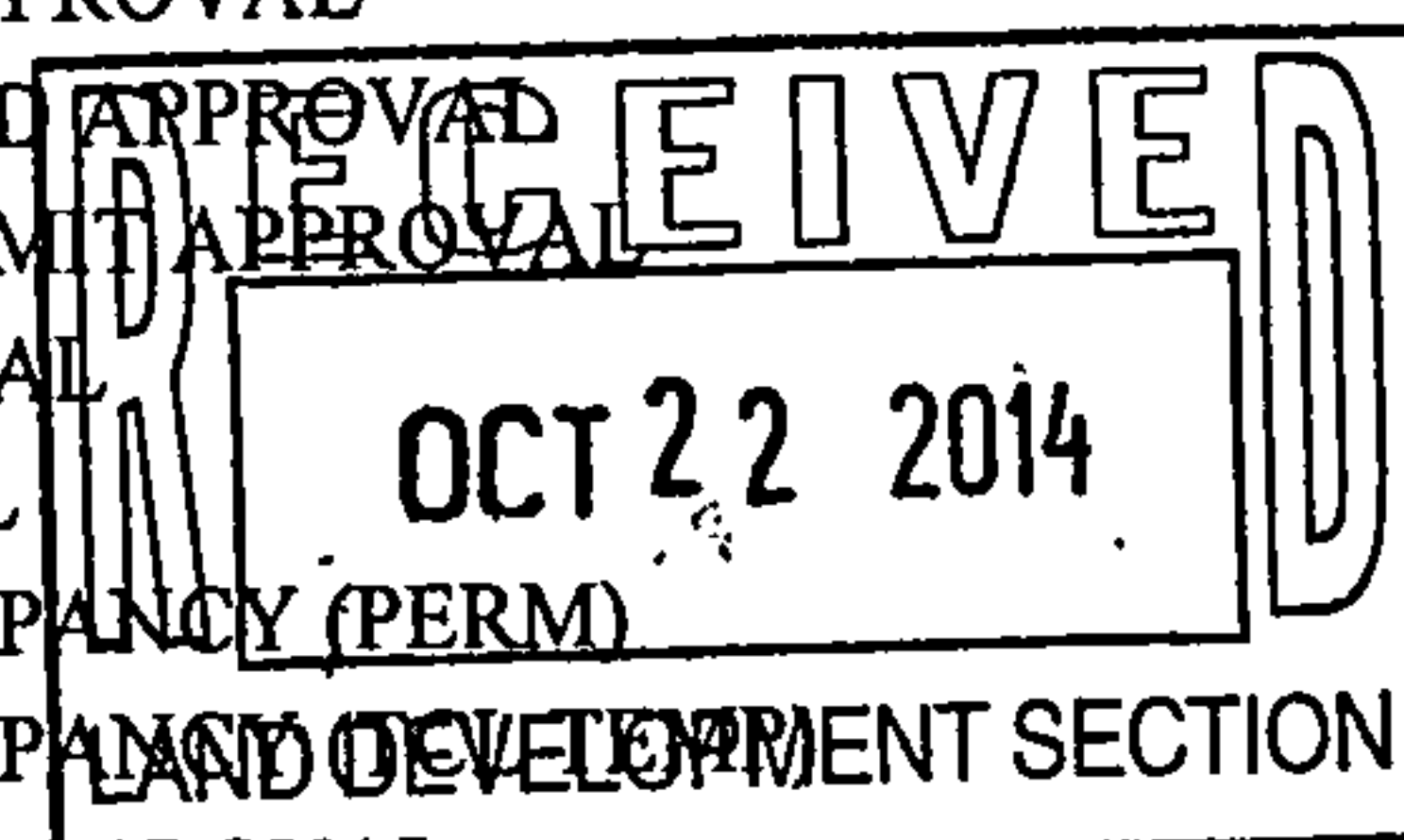
E-mail:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
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- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ SECTOR PLAN APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY AND DEVELOPMENT SECTION
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED:

Yes

No

☒ Copy Provided

DATE SUBMITTED: 10/20/2014

By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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Wolfenbarger, Jeanne

From: Wolfenbarger, Jeanne
Sent: Monday, November 03, 2014 11:26 AM
To: 'aecllc@aol.com'
Subject: LOt 17-A-@, Pappe Addition (G14-D087)
Attachments: Scanned from a Xerox multifunction device.pdf

Shawn, I have received the updated site plan for the subject project but still have the following comments:

1. I do not see Keyed Note 23 on the plans. I think you meant to put in Keyed Note 23 where keyed note 22 is shown for the van accessible space.
2. The site plan needs to be clear that both the van accessible space and the handicapped space are asphalt. Right now only the handicapped space is shown to be asphalt. It may be more clear if some type of hatching/lineweights are shown to differentiate the asphalt area from the remaining area.
3. The "No Parking" words need to be placed in the van accessible aisle, not where the handicapped people park (See attached scan).
4. Also see the attached scan for exact required language on the handicap sign. The "van only" sign needs to be shown as "van accessible".

Feel free to e-mail me the revised site plan before coming in with two hard copies for my signature for this next go-around.

Thanks!

Jeanne

-----Original Message-----

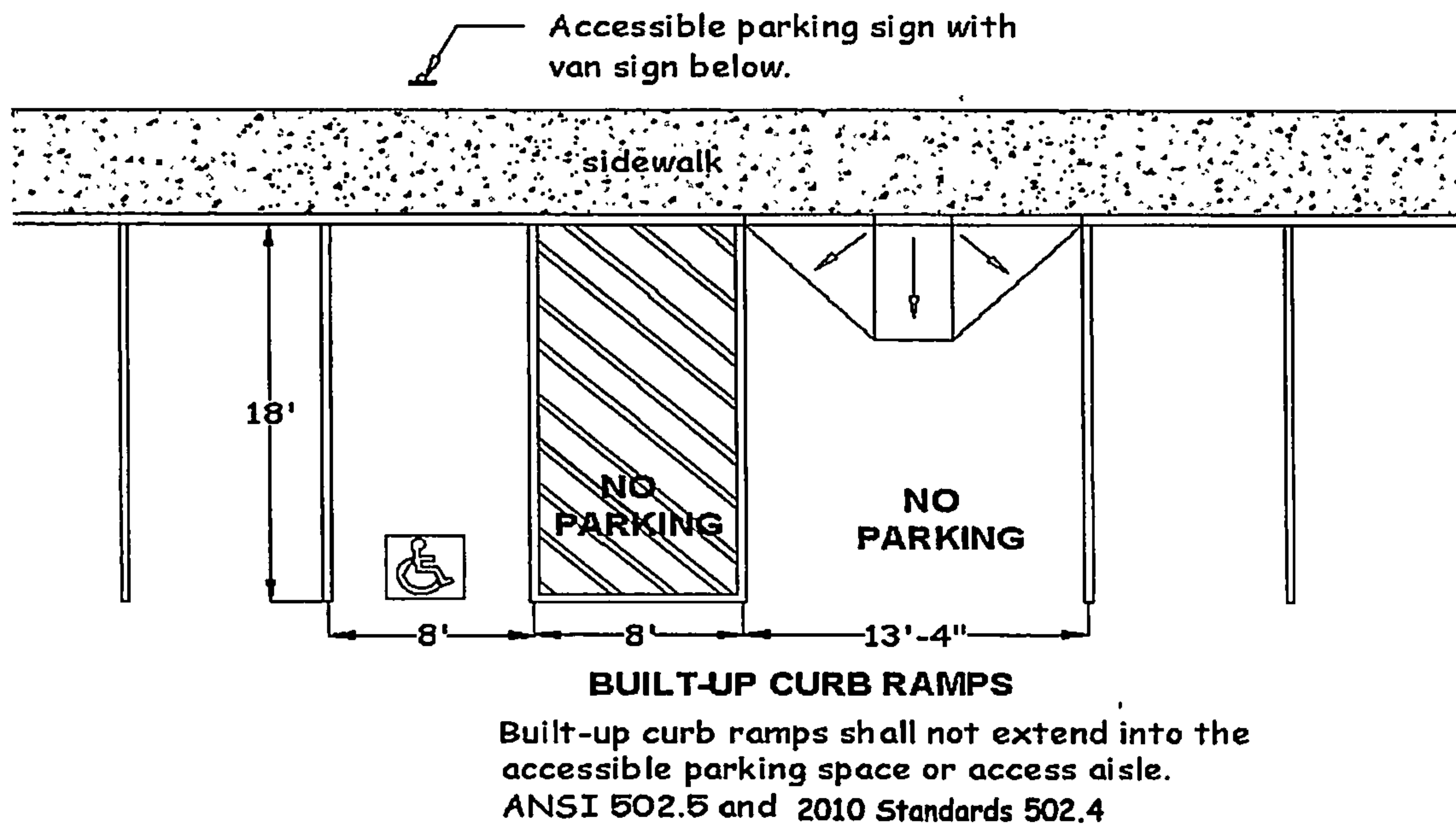
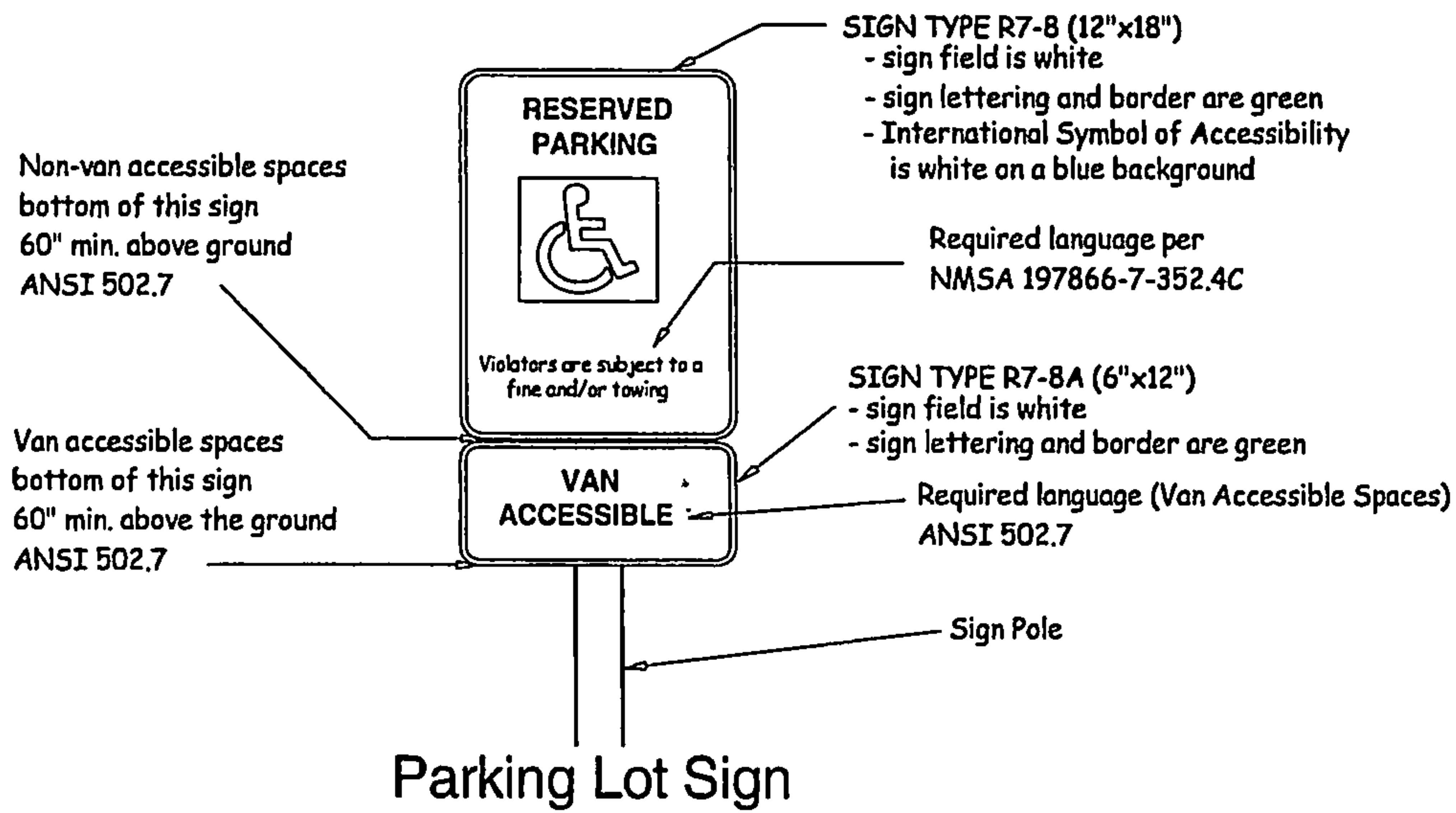
From: plnnh11@cabq.gov [mailto:plnnh11@cabq.gov]
Sent: Monday, November 03, 2014 11:08 AM
To: Wolfenbarger, Jeanne
Subject: Scanned from a Xerox multifunction device

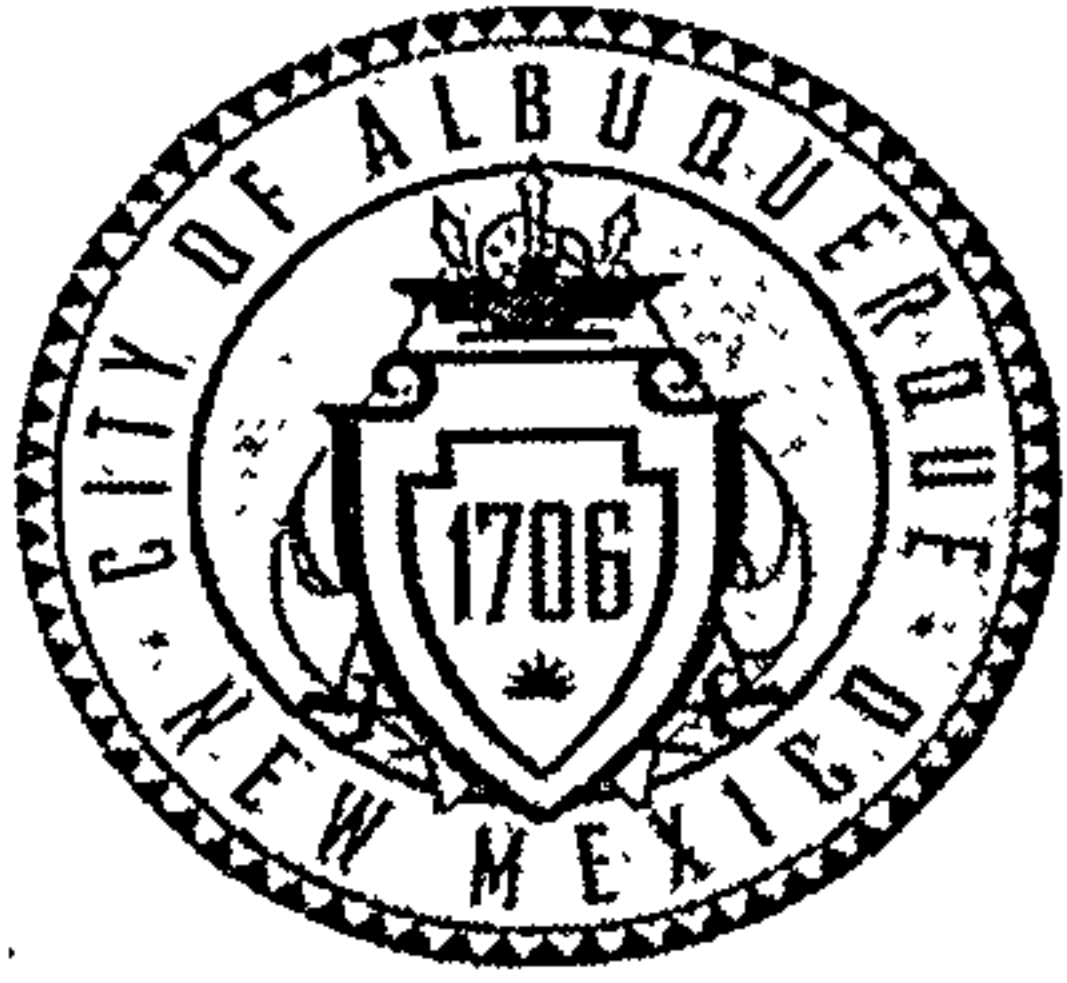
Please open the attached document. It was scanned and sent to you using a Xerox multifunction device.

Attachment File Type: pdf, Multi-Page

multifunction device Location: machine location not set
Device Name: PWDNH07

For more information on Xerox products and solutions, please visit <http://www.xerox.com>





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 3440 2nd Street Building Permit #: _____ City Drainage #: G14-D087

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 17-A-2, PAPPE ADDITION

City Address: 3440 2ND STREET, NW, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

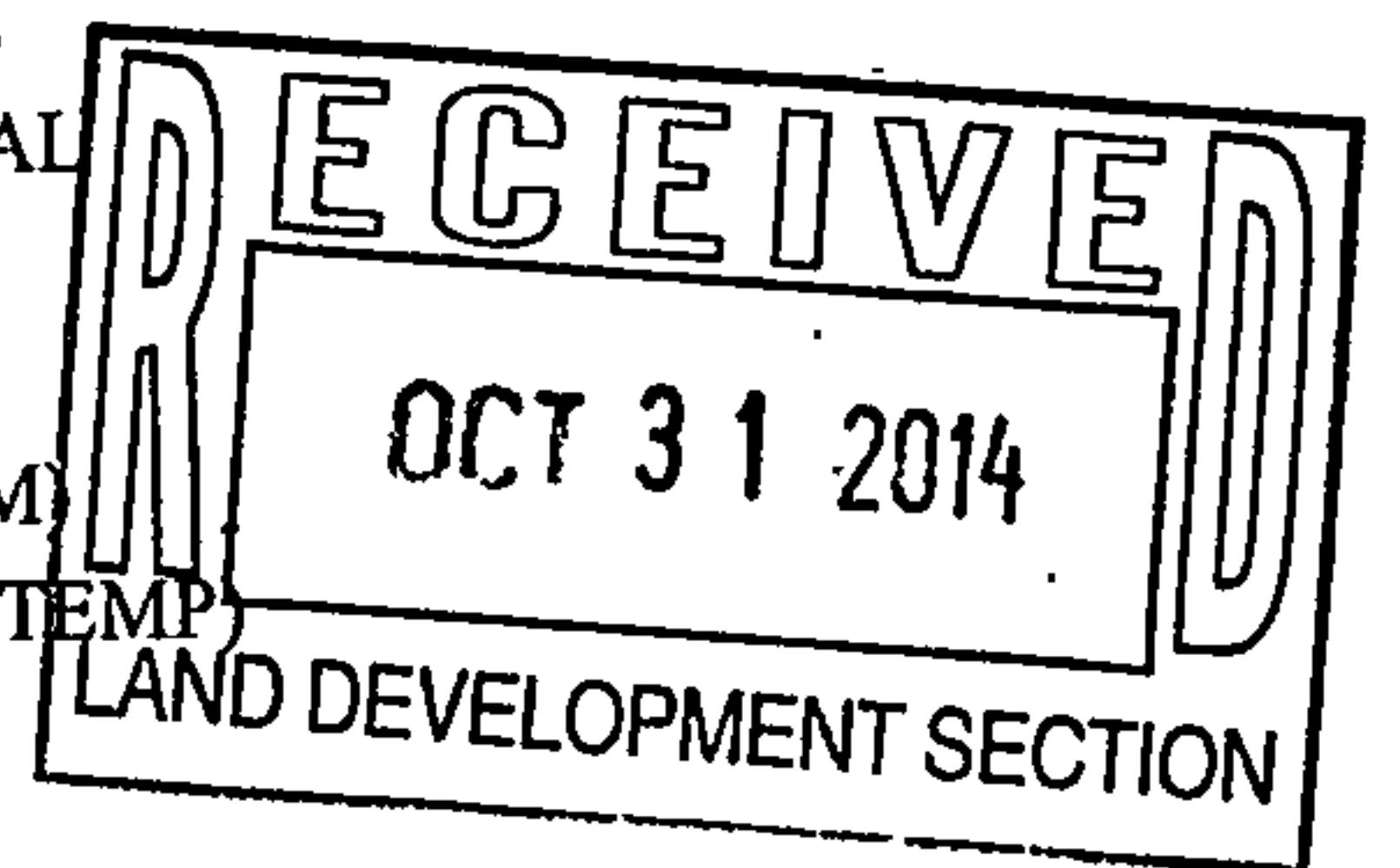
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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 10/31/2014 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

SBS CONSTRUCTION AND ENGINEERING, LLC

October 31, 2014

Mrs. Jeanne Wolfenbarger, P. E.
Senior Engineer, Planning Dept.
Development Review Services
P. O. Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: 3440 2nd Street, NW, Lot 17-A-2 Pappe Addition
Traffic Circulation Layout Comments dated 10-28-2014, (G14-D087)

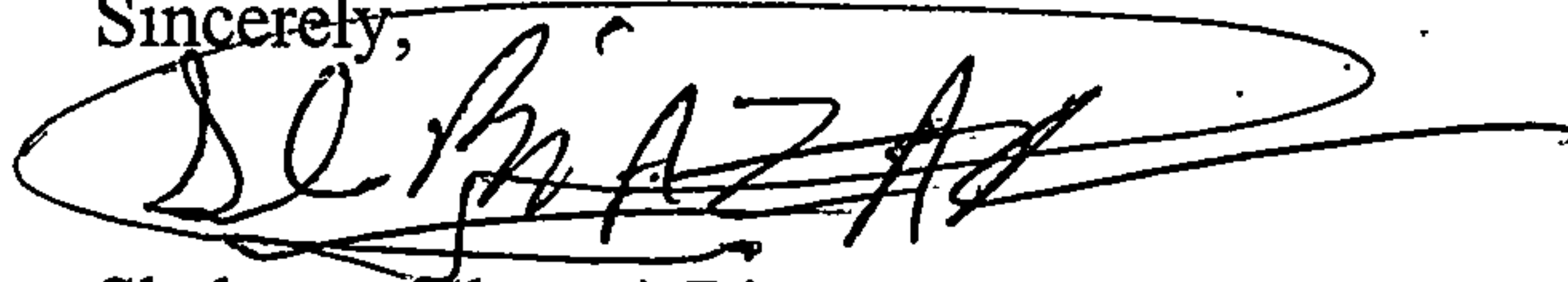
Dear Mrs. Wolfenbarger:

Based on your comments dated October 28, 2014 for the above referenced site, attached please find two copies of revised site plan. SBS Construction and Engineering, LLC has addressed the comments and are as follow:

- 1) Each existing building in Lot 17-A-1 has been labeled. Adjacent existing paving/gravel width is shown as well as on site paving/gravel width on Lot 17-A-1.
- 2) DRB Case Number is shown on site plan as well as recording information for the 30-foot Access and Drainage easement.
- 3) The location and size of doors are shown on site plan. See Keyed Notes 20 and 21.
- 4) All the parking spaces has been dimensioned. Also See Keyed Notes 4, 22 and 17.
- 5) A note has been added to the HC Sign Detail. Also See Keyed Note 8.
- 6) The "NO PARKING" note has been added to site plan. Also see Keyed Note 22.
- 7) The 6-foot sidewalk has been extended south to Casey Avenue, see site plan.
- 8) Please see Keyed Notes 4 and 23 for paving thickness. Also see Keyed Note 3.
- 9) Bike Rack is relocated to the west, see site plan.
- 10) Keyed Note 6, has been corrected.

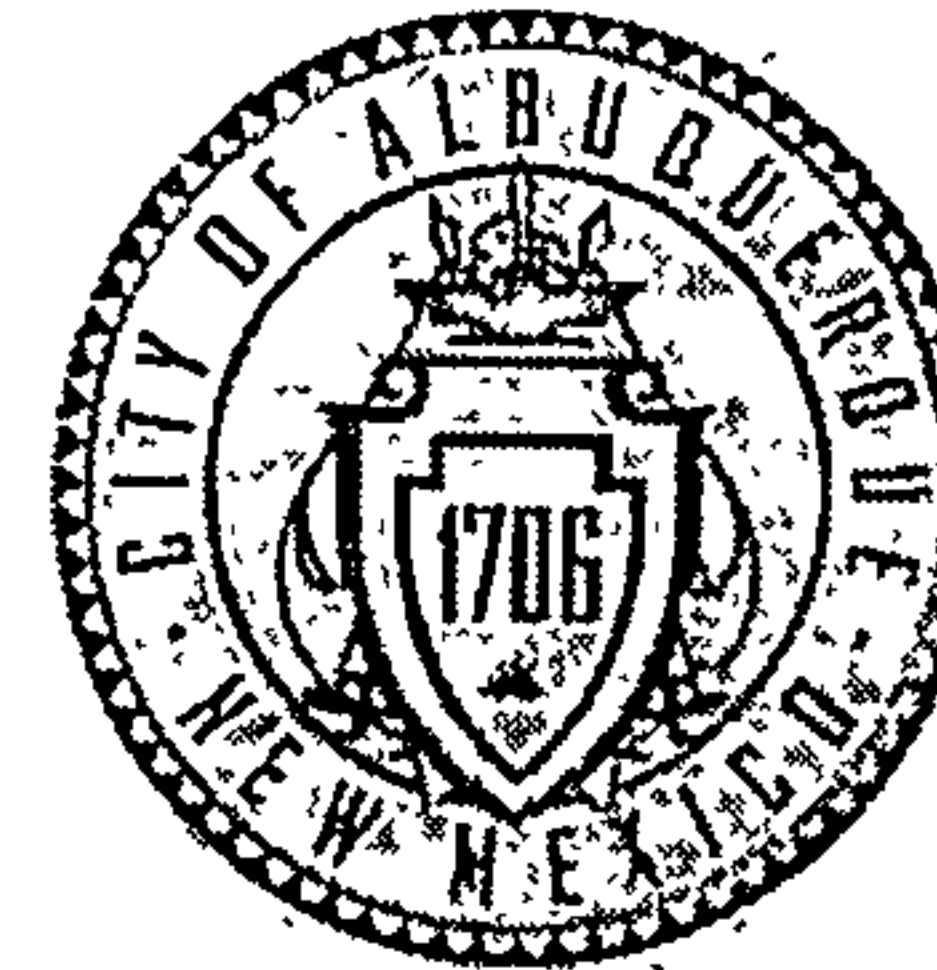
Please Contact me at (505) 804-5013 if you require additional information or have any questions.

Sincerely,



Shahram (Shawn) Biazar, Managing Member

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

October 28, 2014

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

Re: Office Warehouse, 3440 2nd Street NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 10-20-14 (G14-D087)

Dear Mr. Biazar:

Based upon the information provided in your submittal received 10-22-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Label each existing building on Lot 17-A-1 as "Existing Building to Remain", and label the existing pavement width and/or gravel roadway width on adjacent roadways. Show existing access to Lot 17-A-1.
2. Label the DRB case number for the Existing 30-foot Private Access and Drainage Easement.
3. Please identify all the proposed doors for the proposed office and warehouse including handicapped access and the proposed garage doors for the proposed parking inside the warehouse. Show all door widths.
4. Please list the width and length for all parking spaces. The handicap accessible spaces must be a minimum of 8.5 feet in width and 18 feet long.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. For Lot 17-A-2, extend the proposed 6-foot sidewalk all of the way to the property line along the south side of Casey Avenue.
8. Handicapped access is required to be paved. Both the handicapped parking space and the van accessible space must be paved. The remaining driving area may be recycled asphalt or gravel as called out by Keyed Note 1 on the site plan. Maintain the new 6-foot sidewalk as concrete or asphalt as called out

on the site plan as per Keyed Note 3 as long as a different surface is provided for the pedestrian walkway than the driving area. For the asphalt surface, show the thickness of asphalt proposed.

9. The bike rack called out by Keyed Note 10 on the site plan is in the way of the handicapped access from the van accessible aisle and needs to be moved to a location where it does not interfere with wheelchair access.
10. "Chain link fence" is misspelled on Keyed Note 6.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. Include two copies of the traffic circulation layout at the next submittal. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

STEEL BUILDING FOR 3440 2ND STREET N.W.

Architect
Roger Cinelli & Associates Inc.
2418 Marshall Street N.W.
Albuquerque, New Mexico 87107
Tel: (505) 243-8211
Fax: (505) 243-8195

Mechanical & Plumbing Engineer
Engr. Terry Wohler
1172 Laurel Loop N.E.
Albuquerque, New Mexico 87122
TDWALK33@COMCAST.NET
Ph: (505) 856-1763

Electrical Engineer
EDS Engineering, LLC
4015 Canfield Blvd. N.E.
Suite F
Albuquerque, New Mexico 87107
eds1800@comcast.net
Ph: (505) 881-5313

Drafting & Design
Chris Malin
Patel's Drafting & Design
12309 Goller Ct. N.E.
Albuquerque, New Mexico 87112
patelchris@comcast.net
Ph: (505) 296-5586

CODE SUMMARY

CODES: 2009 IBC, 2009 NMBC, 2009 UMC
2009 UPC, 2011 NEC, ICC A117.1-2009,
2009 IEBC
ADDRESS: 9130 A 9132 CENTRAL AVE. N.E.,
ALBUQUERQUE, NM
LAND USE: BEAUTY SALON 9130 CENTRAL
RETAIL SHELL 9132 CENTRAL
ZONE DISTRICT: M1
OCCUPANCY TYPE:
B - OFFICE & WAITING: 238 GROSS S.F.
S1 - MOTOR VEHICLE REPAIR: 1247 S.F.
CONSTRUCTION TYPE: MB - NON-SPRINKLERED
GROSS SQUARE FOOTAGE (HEATED): 2,085 S.F.
ZONE GRID: N13 A104

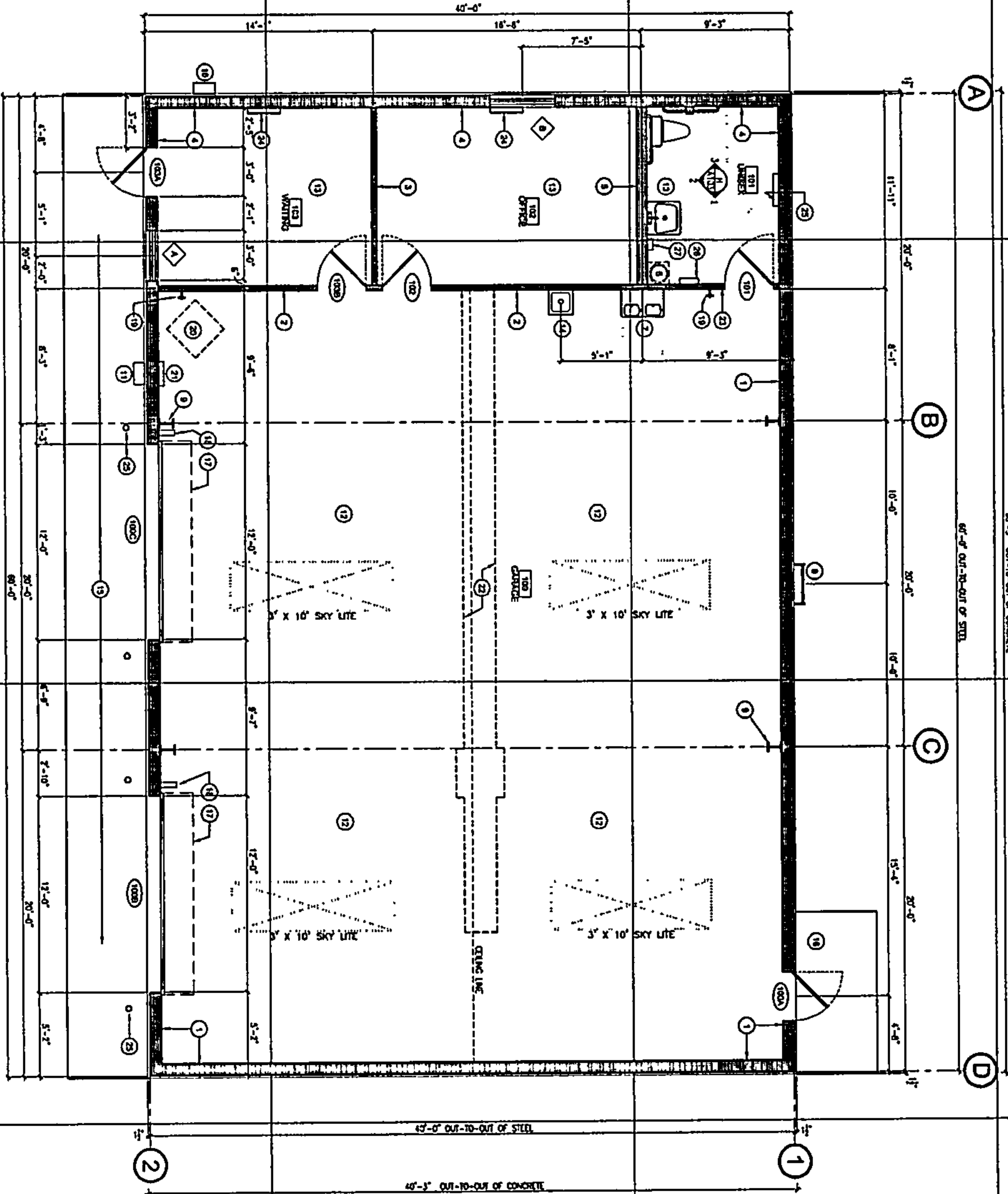
OCCUPANCY LOAD:
B: 238 S.F./100 (BUSINESS) = 2.38 OCCUPANTS
S1: 1,247 S.F./100 (REPAIR GARAGE) = 12.47 OCCUPANTS
TOTAL: 15 OCCUPANTS

PLUMBING FIXTURE CALCULATIONS:
PLUMBING FIXTURES PROVIDE AS PER 2802.2.3
13 OCCUPANTS IS LESS THAN 15 OCCUPANTS -
UNISEX RESTROOM COMPLETES
FIXTURES PROVIDE:
1 - WATER CLOSET
1 - LAVATORY
1 - DRAINING FOUNTAIN
1 - 8 GALLON HOT WATER HEATER

LEGAL DESCRIPTION:
LOT 1742
SECTION 27, T4N, R10E, S4E
ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO
2.334 ACRE
UPC:

DRAWING INDEX

C101	SITE PLAN
A101	FLOOR PLAN
A102	EXTERIOR ELEVATIONS, ROOM, DOOR, & WINDOW SCHEDULES
A103	INTERIOR ELEVATIONS, DOOR & WINDOW DETAILS
S101	REFLECTED CEILING PLAN
S102	FOUNDATION
E101	FRAMING PLANS & DETAILS
E101	ELECTRICAL
MP101	MECHANICAL PLAN



FLOOR PLAN

1/4"=1'-0"

FLOOR PLAN KEYED NOTES

1. 6" STEEL CENTRAL V. / 8" ANGLE SOME EXTERIOR
3/4" CTR. W/ BRICK & 4" x 11" BRACKET OVER
1" VERTICAL, NOT CHASED (TYPICAL) SPACES @ 16" O.C.
NO SPRINKLER
2. 4" STEEL STUDS @ 16" O.C. W/ 3/4" CTR. BR.
@ 6" O.C. SEE TO WALKED CLIMB (11-15)
3. 3/4" STEEL STUDS @ 16" O.C. TO 6'-1" V.
3/4" CTR. BR. @ 6" O.C. SEC.
4. 6" STEEL CENTRAL V. / 8" ANGLE SOME EXTERIOR
3/4" CTR. W/ BRICK OVER 1" VERTICAL, NOT CHASED,
NO SPRINKLER @ 16" O.C.
5. DOUBLE 3/4" STEEL STUDS @ 16" O.C. TO 6'-1"
V. / 3/4" CTR. BR. @ 6" O.C. SEC. ONLY
V. / 3/4" CTR. BR. @ 6" O.C. SEC. ONLY
TOLERANCE PERMITS @ 16" O.C. SEC.
6. 8" GULCH ELECTRIC WATER HEATER ON SHELF
7. 1/2" COMPARTMENT WALL, 1/2" H-10 D.C.
8. 600" LUGGERS
9. STEEL COLUMN (TYP.) RE. STRUCTURAL
10. GAS METER
11. ELECTRICAL METER
12. WALKED CLIMB, UNFINISHED
13. 6" x 4" ANGLE, 1/2" O.C.
14. FIBERGLASS GLASS SHEET W/ LUGS & 4" HIGH
REINFORCED POLYESTER PANEL, EXPOSED.
15. 5" REFC. CONC. W/ REIN. / LUGGING
16. 5" x 16" CONC. LUGGING
17. OVERHEAD DOOR W/ WINDUPE
18. OVERHEAD DOOR CHAIN HOIST
19. HOSEBOX
20. SANITIZED UNIT HEATER - RE. MICHIGAN
21. SANITIZED ELECTRICAL PANEL - RE. ELECTRIC
22. ROOF JOINT DRAINAGE COOLER & CEILING
JOINT DUCT - RE. MICHIGAN
23. WALL JOINT DRAINAGE COOLER W/ BRASS
24. BASE BOARD ELECTRIC HEATER - RE. MICHIGAN
25. 36" HIGH, 4" DIA. CONC. FILLER BRUSH (TYP. OR 1)
26. RATED RATED DEPOSITOR - RE. SHEET A103
27. SUMP DEPOSITOR - RE. SHEET A103

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS / 2418 Marshall Street N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

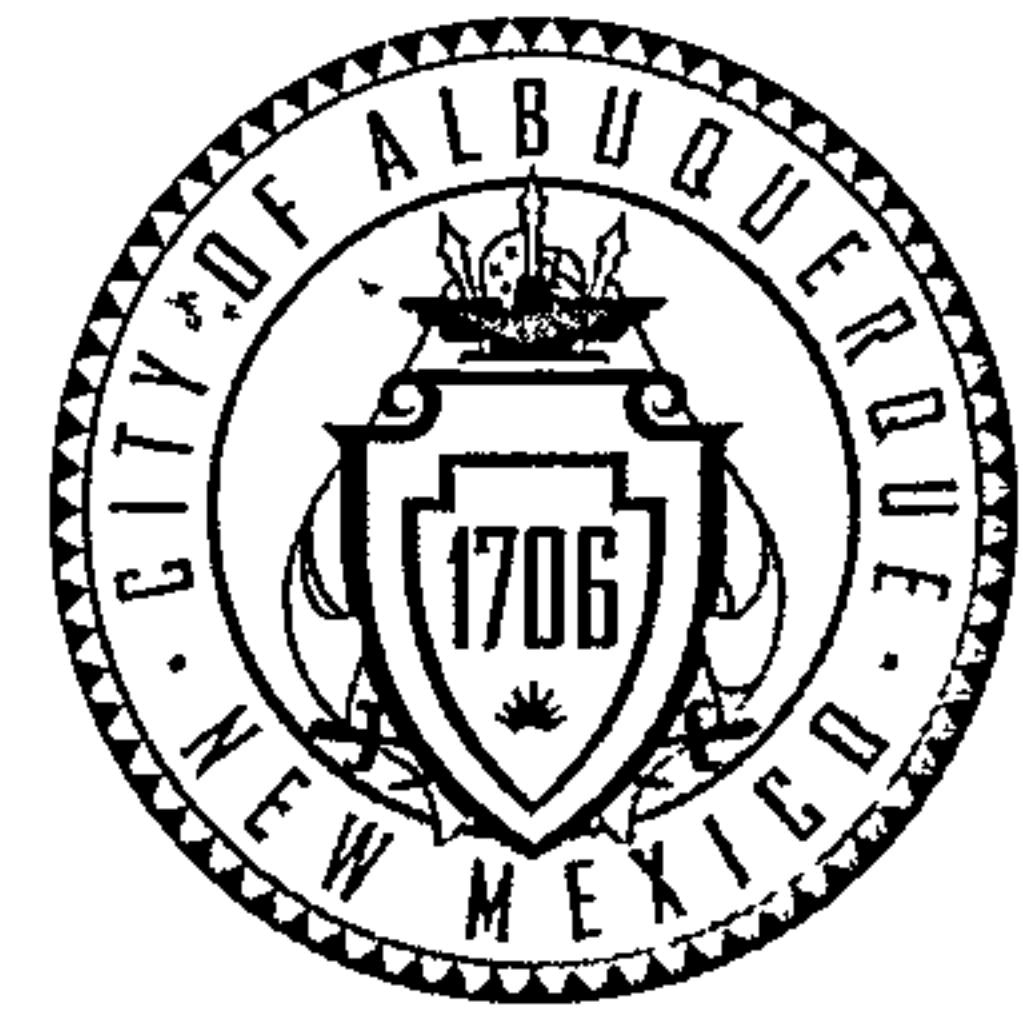
PROJECT TITLE:
3440 2ND STREET NW
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE:
FLOOR PLAN

DATE: 15 SEP 2014 PROJECT NO.:
DRAWING NO.:
A101



CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

October 28, 2014

Shawn Biazar, P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct., NW
Albuquerque, NM 87114

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Engineer's/Architect's Stamp dated 10-20-14 (G14-D087)

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