

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

Location

Lot 17-A-2, Pappe Additions, contains +/- 0.333 acre and is located at 3440 2ND Street, NW. See attached portion of the Vicinity Map for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution to replace existing improvements with this new building.

Existing Drainage Conditions

There is existing slab on site which cover more than 40% of site. No offsite runoff enters the site. The site drain east to west and north to south. Based on the FIRM Map 35001C0332G (revised September 26, 2008) the site does not fall within a 100-year floodplain.

Proposed Conditions and On-Site Drainage Management Plan

The runoff generated from this site will be retained on-site. A pond is designed to hold the 100-yr/24-day volume. Since the runoff from the entire site is being retained on site, the first flush will be retained within the proposed retention pond as well.

Calculations

City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

* ZONE 2

* 100-YEAR, 24-HR STORM (UNDER EXISTING CONDITIONS) *

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=2.01 IN RAIN SIX=2.35 IN
RAIN DAY=2.75 IN DT=0.03333 HR
* ON-SITE
COMPUTE NM HYD ID=1 HYD NO=100.0 AREA=0.000521 SQ MI
PER A=60.00 PER B=0.00 PER C=0.00 PER D=40.00
TP=0.1333 HR MASS RAINFALL=-1

* 10-YEAR, 24-HR STORM (UNDER EXISTING CONDITIONS) *

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.34 IN RAIN SIX=1.57 IN
RAIN DAY=1.83 IN DT=0.03333 HR
* ON-SITE
COMPUTE NM HYD ID=1 HYD NO=110.0 AREA=0.000521 SQ MI
PER A=60.00 PER B=0.00 PER C=0.00 PER D=40.00
TP=0.1333 HR MASS RAINFALL=-1

* 100-YEAR, 24-HR STORM (UNDER PROPOSED CONDITIONS) *

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=2.01 IN RAIN SIX=2.35 IN
RAIN DAY=2.75 IN DT=0.03333 HR
* ON-SITE
COMPUTE NM HYD ID=1 HYD NO=100.1 AREA=0.000521 SQ MI
PER A=0.00 PER B=7.50 PER C=0.00 PER D=85.00
TP=0.1333 HR MASS RAINFALL=-1

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START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.34 IN RAIN SIX=1.57 IN
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FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = 2ND-24.TXT

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START RAINFALL	TYPE=1									1
COMPUTE NM HYD	100.00	-	1	.00052	.95	.032	1.16487	1.500	2.842	
START RAINFALL	TYPE=1									
COMPUTE NM HYD	110.00	-	1	.00052	.49	.017	.61016	1.500	1.478	
START RAINFALL	TYPE=1									
COMPUTE NM HYD	100.10	-	1	.00052	1.48	.054	1.93856	1.500	4.451	
START RAINFALL	TYPE=1									
COMPUTE NM HYD	110.10	-	1	.00052	.95	.033	1.19416	1.500	2.862	
FINISH										

POND CALCULATION A

BOTTOM AREA = 457.56 SF, TOP AREA = 2,309.33 SF, DEPTH = 2.0'
VOLUME PROVIDED = (457.56 + 2,309.33)/2 X 2 = 2,766.89 CF
100 YR/24-HR STORM REQUIRED = 0.062 AC-FT = 2,700.72 CF

$$V_{PR} = 0.34 \text{ IN} \times \frac{1 \text{ FT}}{12 \text{ IN}} \times C \times A = 0.40 (0.333 \text{ AC}) \times \frac{43,560 \text{ SF}}{\text{AC}} = 1,694 \text{ CF} < 2,767 \text{ CF}$$

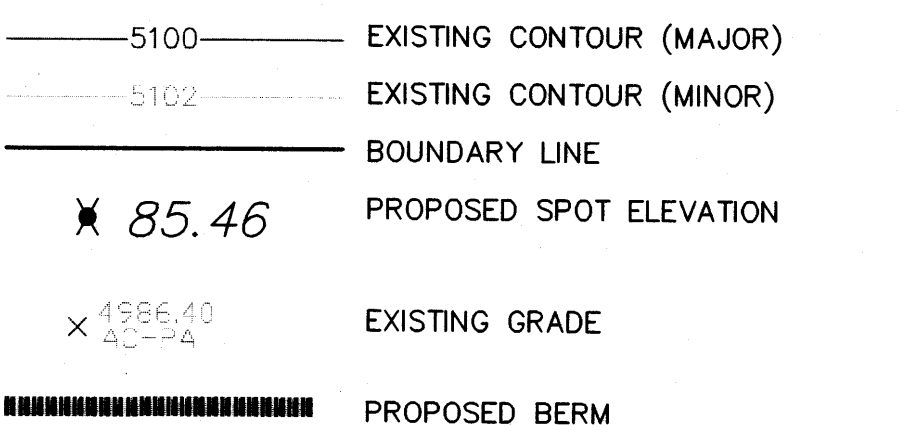


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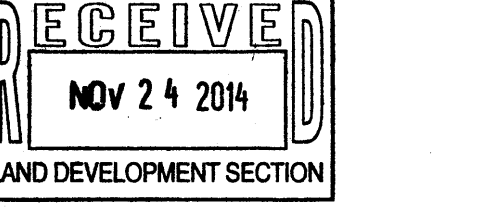
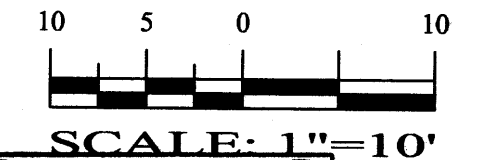
LOT 17-A-2, PAPPE ADDITION, CONTAININ 0.3334 ACRE

GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 9_D15, HAVING AN ELEVATION OF 4988.802 FEET ABOVE SEA LEVEL.
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- 5: SLOPES ARE AT 3:1 MAXIMUM.



GRAPHIC SCALE



SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT, NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

3440 2ND STREET, NW
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-GR-DWG	SH-B	10-22-2014	1

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RAINFALL TYPE=2 RAIN QUARTER=0.0 IN
RAIN ONE=2.01 IN RAIN SIX=2.35 IN
RAIN DAY=2.75 IN DT=0.03333 HR

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COMPUTE NM HYD ID=1 HYD NO=100.0 AREA=0.000521 SQ MI
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
TP=0.1333 HR MASS RAINFALL=-1

* 10-YEAR, 24-HR STORM (UNDER HISTORICAL CONDITIONS) *

START TIME=0.0
RAINFALL TYPE=2 RAIN QUARTER=0.0 IN
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* ON-SITE
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TP=0.1333 HR MASS RAINFALL=-1

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FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
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- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) = 10/29/2014
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COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
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START RAINFALL TYPE= 2										
COMPUTE NM HYD	100.10	-	1	.00052	1.48	.062	2.21973	1.500	4.451	PER IMP= 85.00
START RAINFALL TYPE= 2										
COMPUTE NM HYD	110.10	-	1	.00052	.95	.038	1.37685	1.500	2.862	PER IMP= 85.00
FINISH										

POND CALCULATION A

BOTTOM AREA = 457.56 SF, TOP AREA = 2,309.33 SF, DEPTH = 2.0'
VOLUME PROVIDED = (457.56 + 2,309.33)/2 X 2 = 2,766.89 CF
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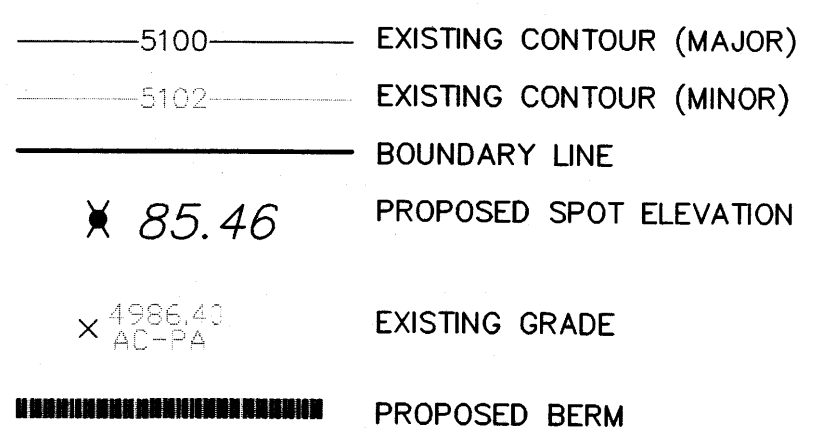


VICINITY MAP:

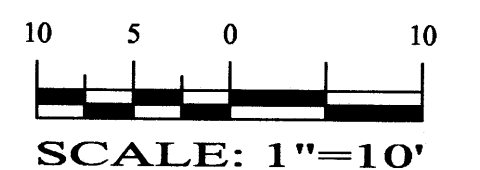
LEGAL DESCRIPTION:
LOT 17-A-2, PAPPE ADDITION, CONTAININ 0.3334 ACRE

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GRAPHIC SCALE



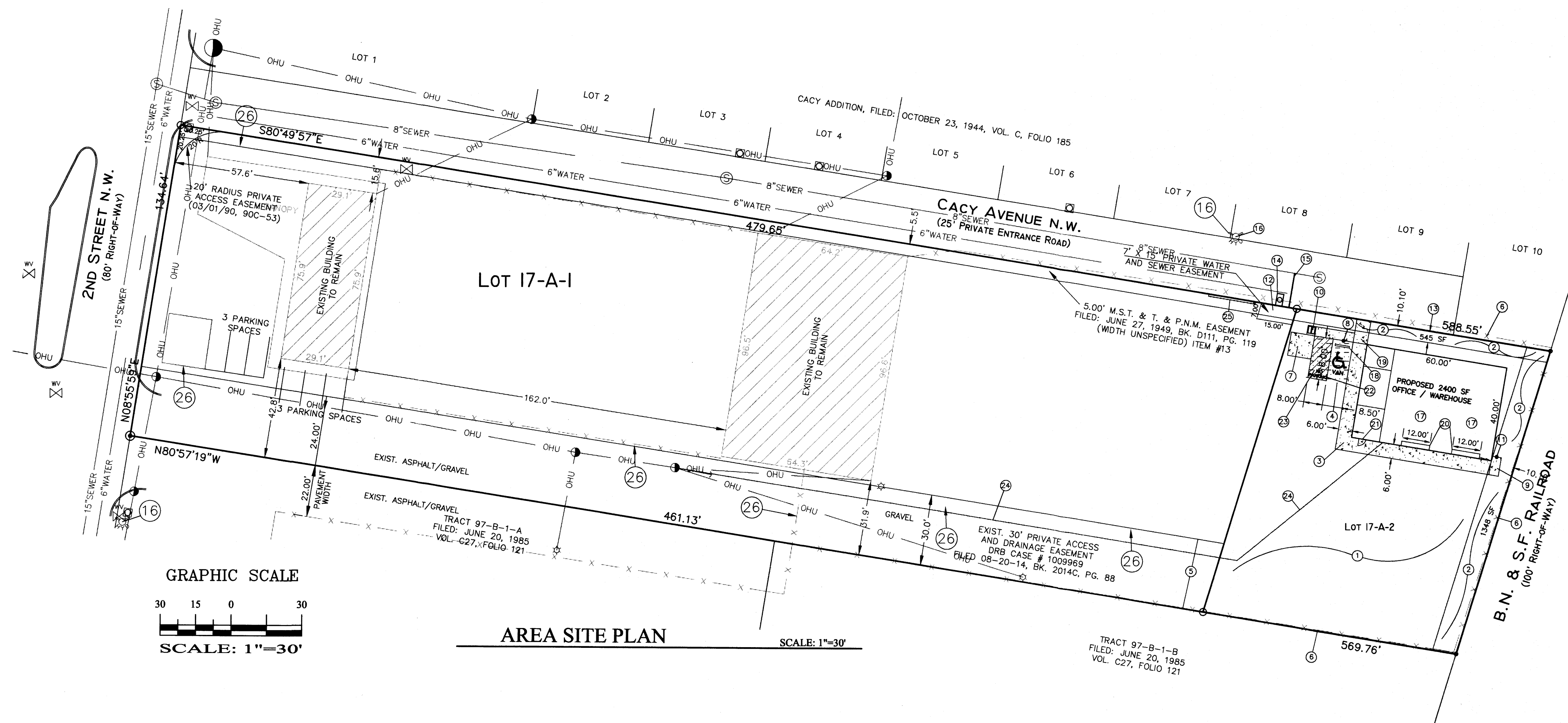
REZA AFAGHPUR
P.E. #11814

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AND ENGINEERING, LLC

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3440 2ND STREET, NW
GRADING AND DRAINAGE PLAN

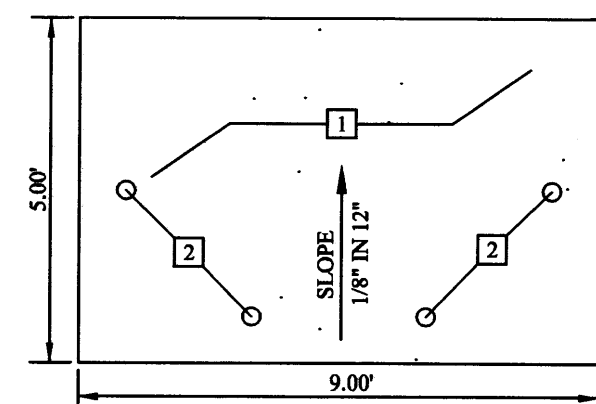
DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-GR.DWG	SH-B	10-25-2014	C102



AREA SITE PLAN

SCALE: 1"=30'

SPECIFICATION FOR SWANSON COLLECTION SITE

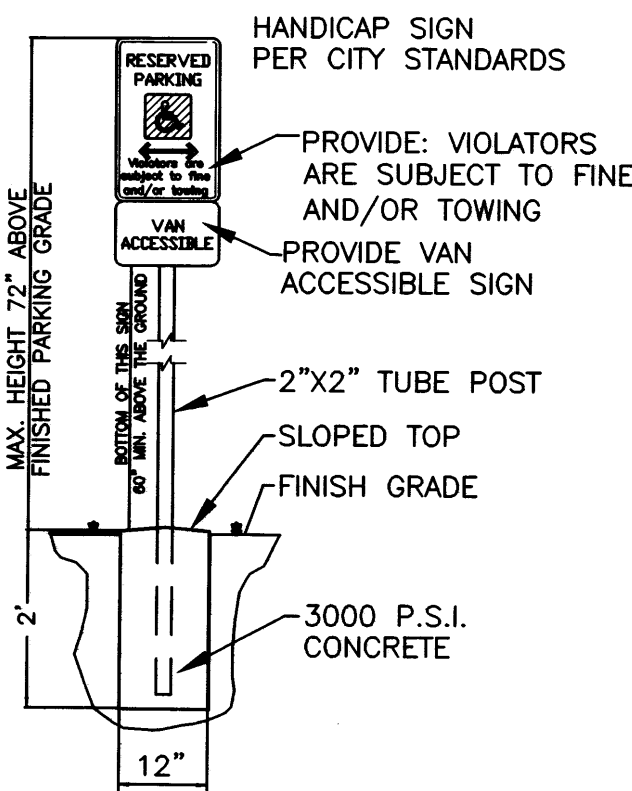


KEYED NOTES:

- CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
- 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

REFUSE BIN SLAB

NTS



LOCATE SIGN 2' FROM FACE OF CURB OR SW

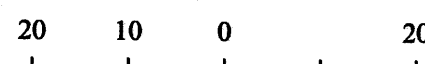
HANDICAP SIGN DETAIL

NTS

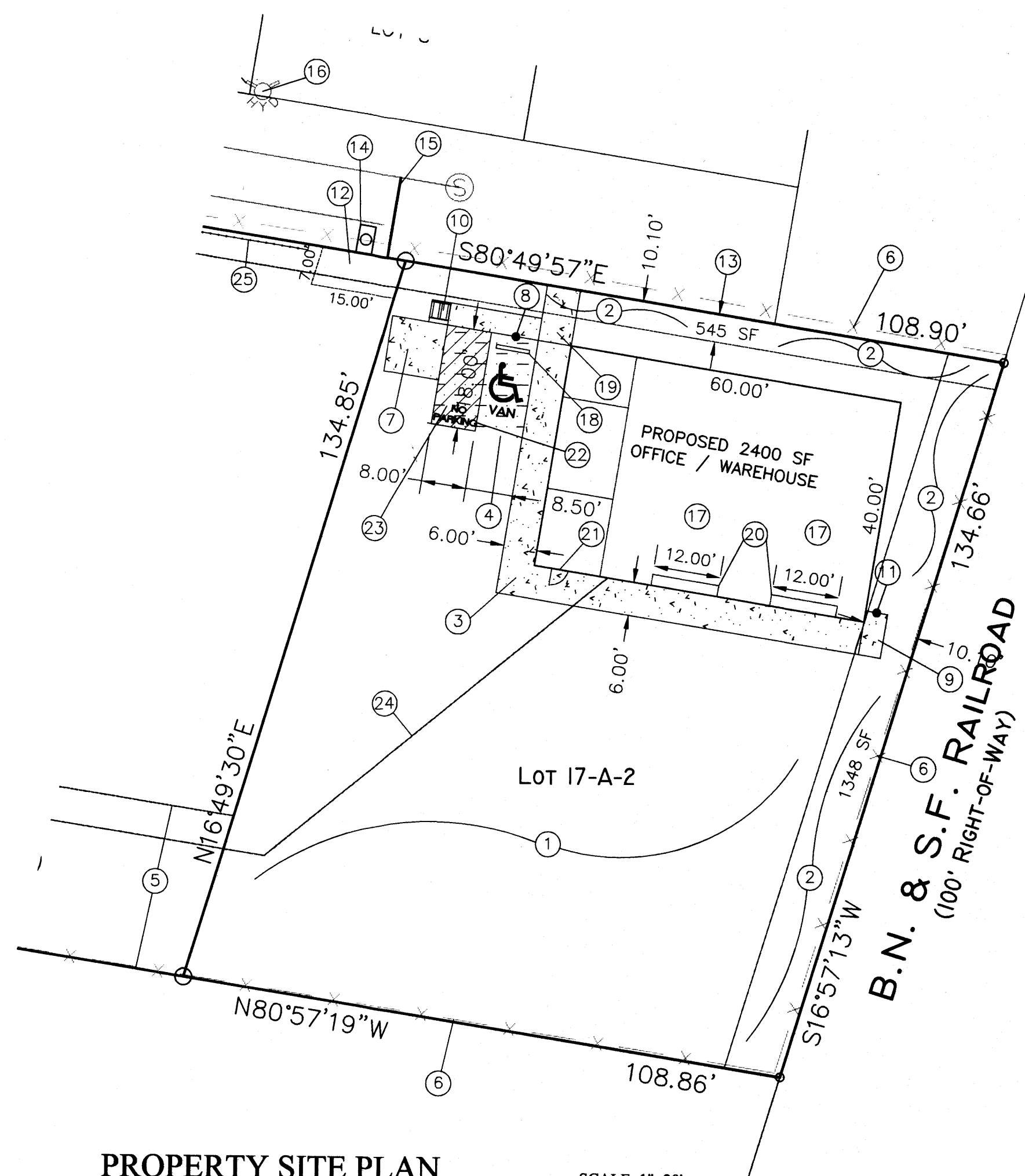
KEYED NOTES:

- RECYCLED ASPHALT OR GRAVEL AREA, TYP.
- LANDSCAPING AREA
- NEW 6" CONCRETE OR ASPHALT (3" THICK) SIDEWALK
- 8.5' WIDE X 18' DEEP HC PARKING SPACE, 3" THICK ASPHALT.
- EXISTING 30' ACCESS EASEMENT
- EXISTING CHAIN LINK FENCE
- 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
- HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
- NEW MOTORCYCLE PARKING (4'X8')
- BICYCLE RACK
- MOTORCYCLE PARKING SIGN PER COA STANDARDS
- EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
- EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
- NEW 3/4" WATER SERVICE (ALREADY INSTALLED)
- NEW 4" SANITARY SEWER SERVICE (ALREADY INSTALLED)
- EXISTING FIRE HYDRANT
- TWO PARKING SPACE PROVIDED INSIDE THE BUILDING, MIN. 8' BY 18'
- CONCRETE BUMPER INSTALLS
- 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS
- 12' WIDE OVERHEAD DOOR
- PROPOSED OFFICE ENTRY DOOR, 3' WIDE
- "NO PARKING" WORDS IN CAPITAL LETTERS, EACH MIN. 1 FOOT HIGH AND MIN. 2" WIDE
- 8' WIDE X 18' DEEP HC ACCESSIBLE SPACE, 3" THICK ASPHALT.
- PROPOSED UNDER GROUND PNM ELECTRIC LINE
- EMERGENCY ACCESS GATE MIN. 20' WIDE FOR FIRE MARSHAL USE ONLY WITH KNOX BOX.
- ACCESS LOCATIONS FOR LOT 17-A-1

GRAPHIC SCALE

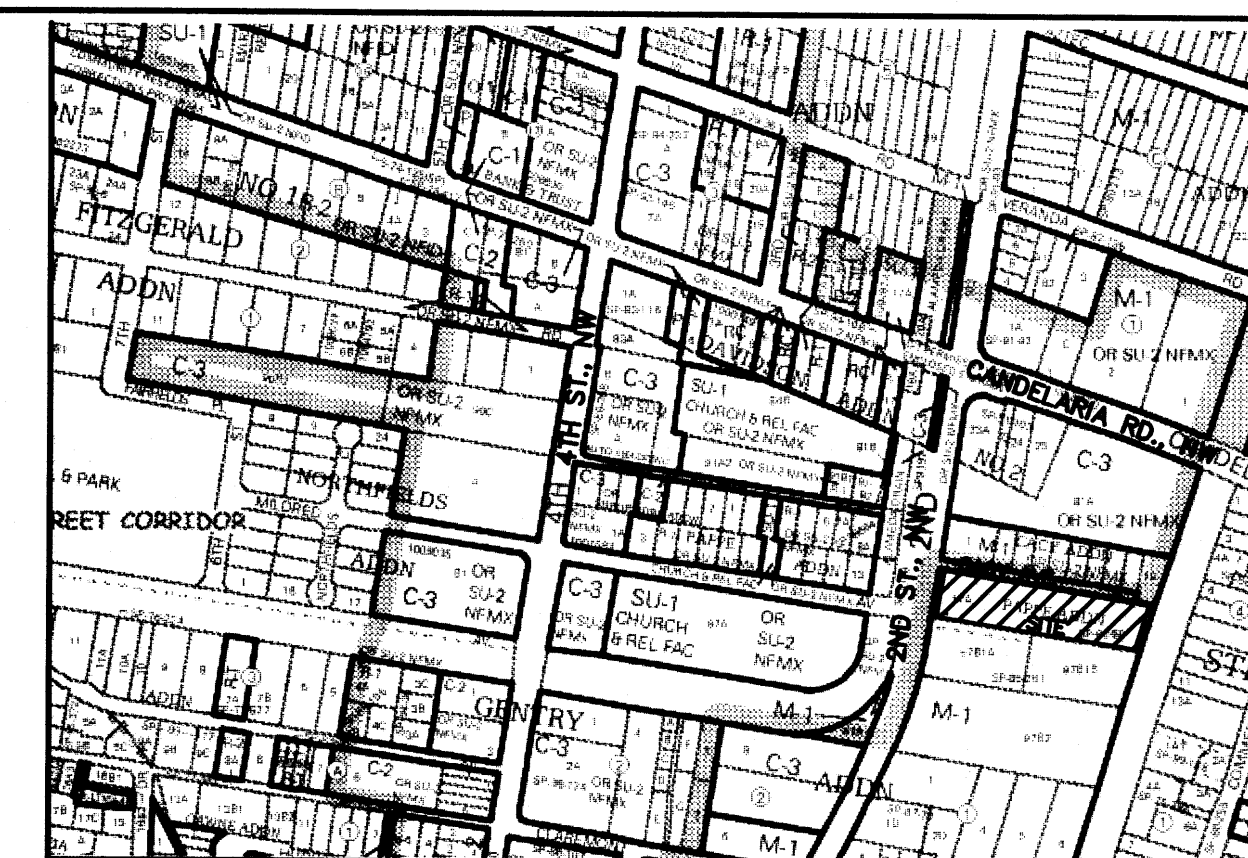


SCALE: 1"=20'



PROPERTY SITE PLAN

SCALE: 1"=20'



LEGAL DESCRIPTION:

LOT 17-A-2, PAPPE ADDITION
CONTAINING 14,521.42 S.F. (0.3334 ACRE)
ZONING: M-1

SITE DATA

PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	14,521.42 S.F. (0.3334 ACRE)
OFFICE AREA:	400.00 S.F.
WAREHOUSE AREA:	2,000.00 S.F.
TOTAL	2,400.00 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA (14,521-2400)	12,121.00 SF ±
LANDSCAPING REQUIRED:	1,818.15 SF ±
15% OF 18,200.00 SF	
LANDSCAPE PROVIDED	1,893.00 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:		
OFFICE:	400 SF/200	= 2 SPACES
WAREHOUSE:	2000 SF/2000	= 1 SPACES
TOTAL		3 SPACES
TOTAL PARKING REQUIRED:		3 SPACES
TOTAL PARKING PROVIDED: (10UTSIDE AND 2 INSIDE)		3 SPACES
HC PARKING REQUIRED:		1 SPACES (1 VAN)
HC PARKING PROVIDED:		1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:		1 SPACES
MOTORCYCLE SPACES PROVIDED:		1 SPACES

LEGEND

BOUNDARY LINE
EASEMENT LINE
EXISTING OVERHEAD UTILITY
EXISTING CURB & GUTTER
EXISTING CHAIN LINK FENCE
EXISTING SIDEWALK
EXISTING FIRE HYDRANT
EXISTING WATER SERVICE
EXISTING DROP INLET
PROPOSED SIDEWALK
PROPOSED 3" THICK ASPHALT AREA



REZA AFAGHPOUR
P.E. #11814

SBS CONSTRUCTION
AND ENGINEERING, LLC

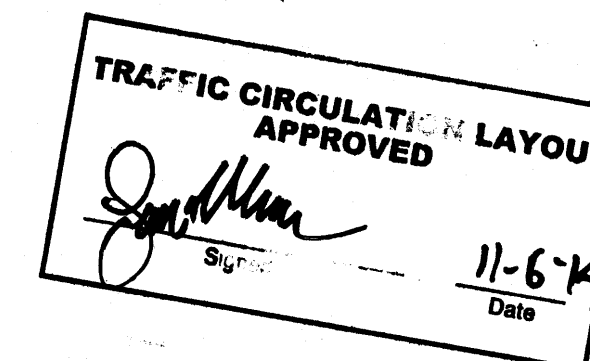
10209 SNOWFLAKE CT., NW
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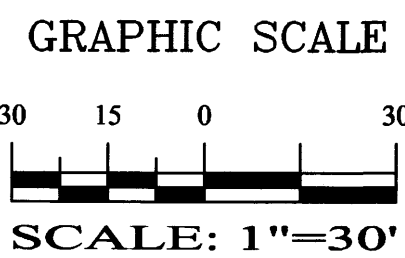
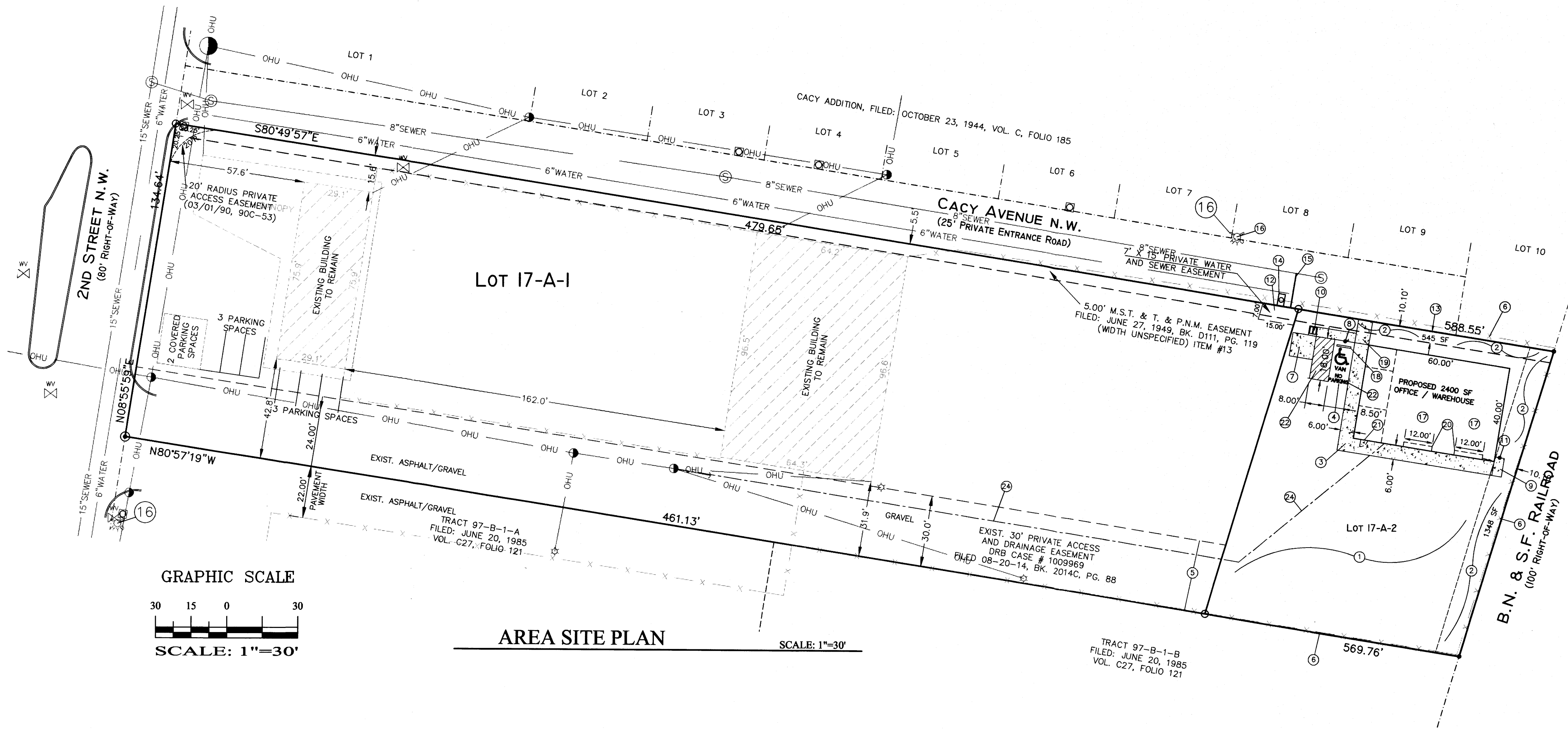
3440 2ND STREET, NW
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-SP.DWG	SH-B	10-05-2014	C101

LAST REVISION: 10-31-14

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.

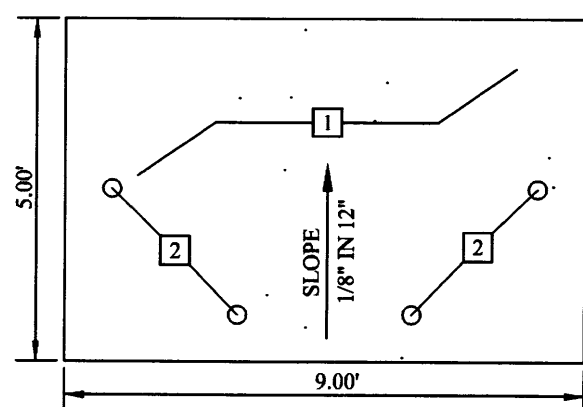




AREA SITE PLAN

SCALE: 1"=30'

SPECIFICATION FOR SWANSON COLLECTION SITE

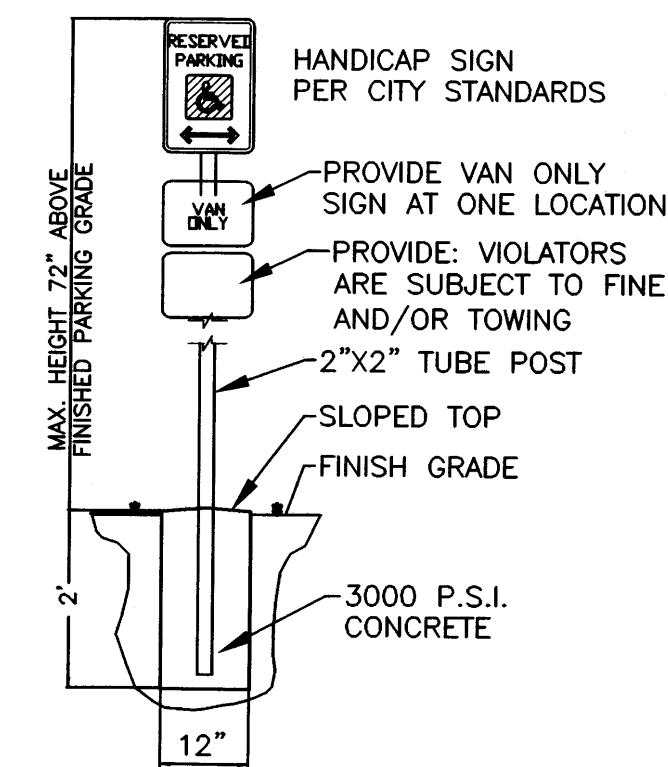


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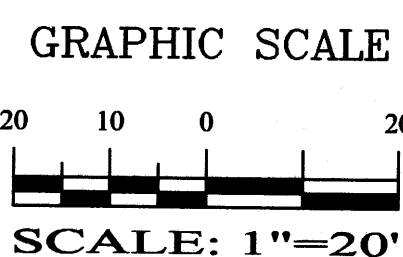
LOCATE SIGN 2' FROM FACE OF CURB OR SW

HANDICAP SIGN DETAIL

NTS

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TOTAL		3 SPACES

TOTAL PARKING REQUIRED:	3 SPACES
TOTAL PARKING PROVIDED: (10 OUTSIDE AND 2 INSIDE)	3 SPACES

HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)

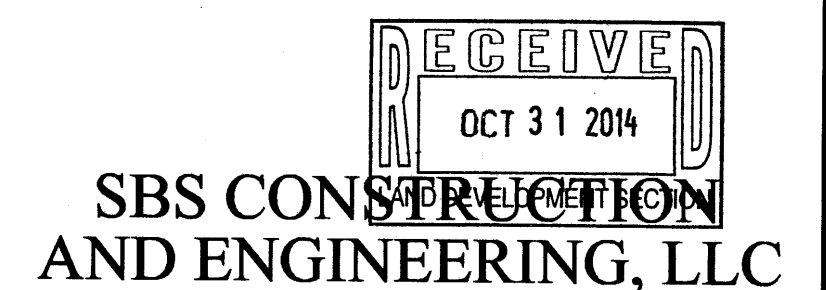
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES

LEGEND

BOUNDARY LINE	---
EASEMENT LINE	- - - - -
EXISTING OVERHEAD UTILITY	OHU
EXISTING CURB & GUTTER	---
EXISTING CHAIN LINK FENCE	---
EXISTING SIDEWALK	---
EXISTING FIRE HYDRANT	---
EXISTING WATER SERVICE	---
EXISTING DROP INLET	---
PROPOSED SIDEWALK	---



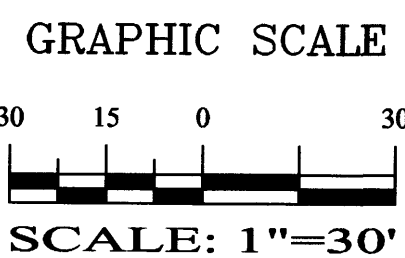
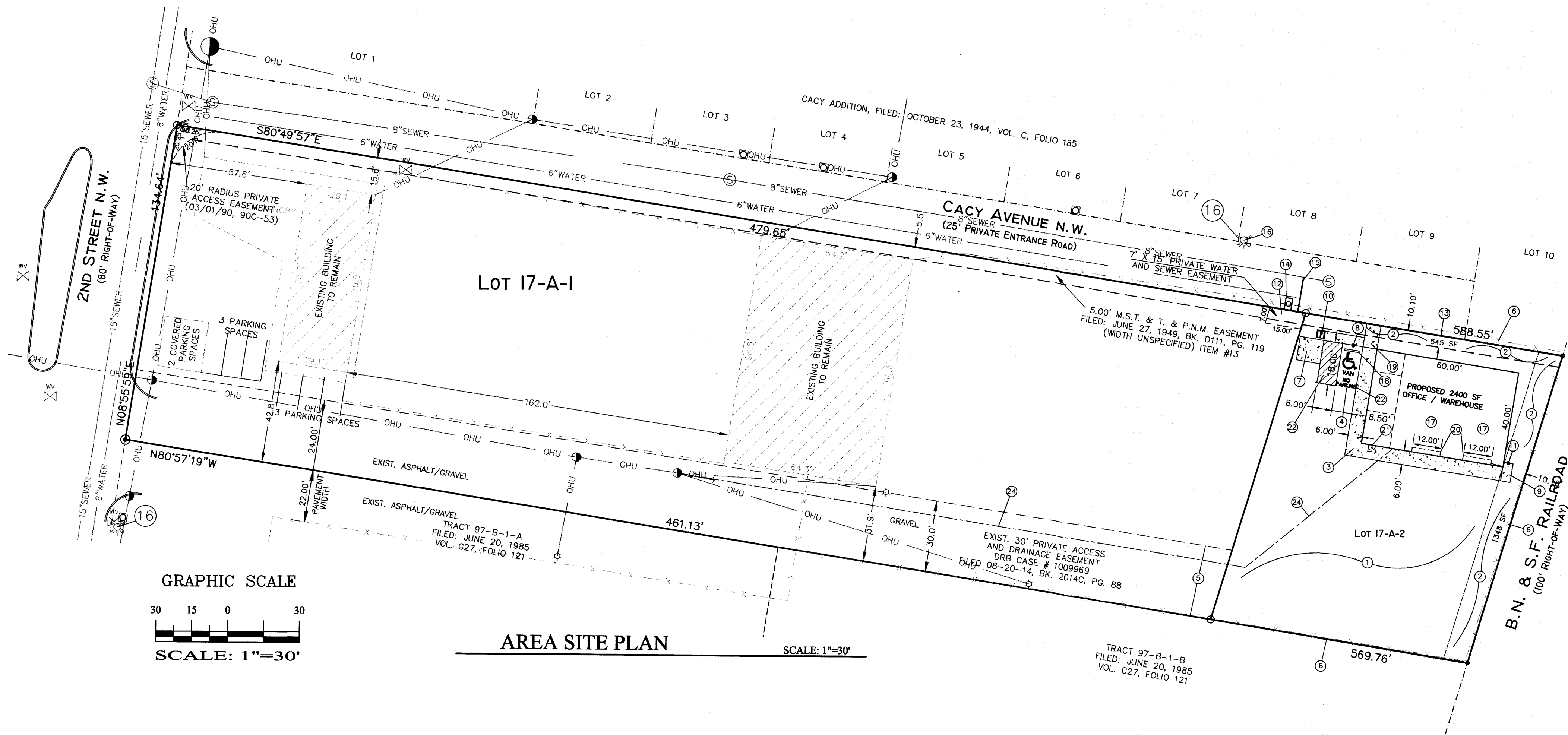
REZA AFAGHPOUR
P.E. #11814



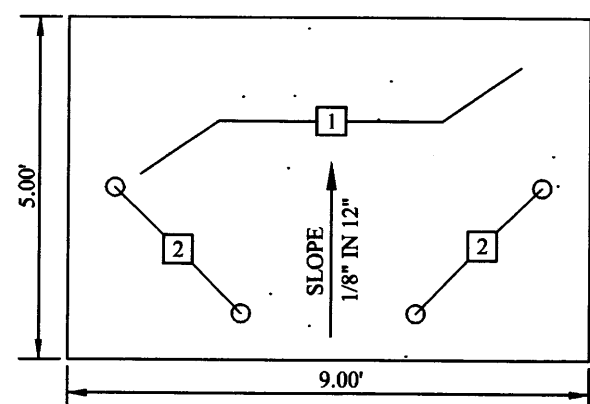
3440 2ND STREET, NW
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-SP.DWG	SH-B	10-05-2014	C101

LAST REVISION: 10-31-14



SPECIFICATION FOR SWANSON COLLECTION SITE

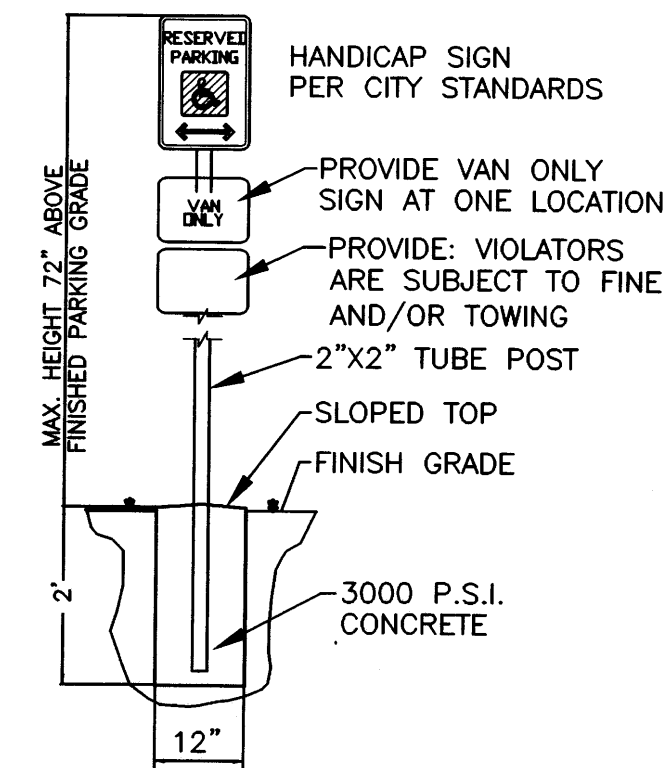


KEYED NOTES:

1. CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
2. 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

REFUSE BIN SLAB

NTS



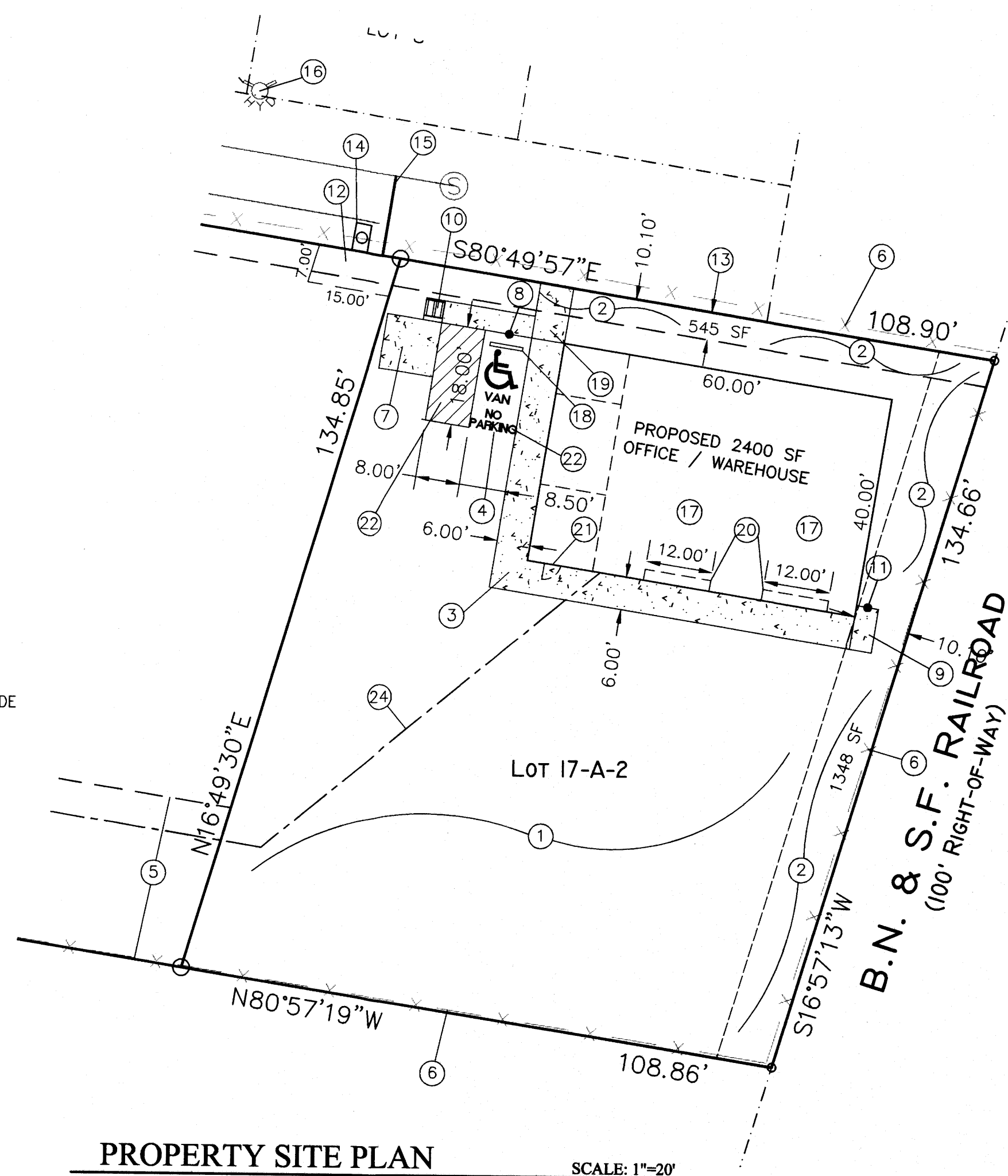
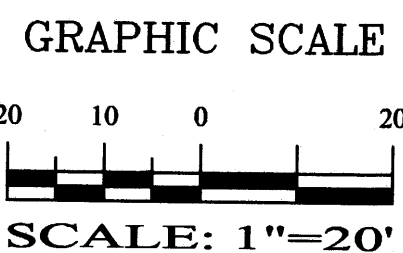
LOCATE SIGN 2' FROM FACE OF CURB OR SW

HANDICAP SIGN DETAIL

NTS

KEYED NOTES:

1. RECYCLED ASPHALT OR GRAVEL AREA, TYP.
2. LANDSCAPING AREA.
3. NEW 6" CONCRETE OR ASPHALT (3" THICK) SIDEWALK
4. 8.5' WIDE X 18' DEEP HC PARKING SPACE, 3" THICK ASPHALT.
5. EXISTING 30' ACCESS EASEMENT
6. EXISTING CHAIN LINK FENCE
7. 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
8. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
9. NEW MOTORCYCLE PARKING (4'X8')
10. BICYCLE RACK
11. MOTORCYCLE PARKING SIGN PER COA STANDARDS
12. EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
13. EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
14. NEW 3/4" WATER SERVICE (ALREADY INSTALLED)
15. NEW 4" SANITARY SEWER SERVICE (ALREADY INSTALLED)
16. EXISTING FIRE HYDRANT
17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING, MIN. 8' BY 18'
18. CONCRETE BUMPER INSTALLS
19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS
20. 12' WIDE OVERHEAD DOOR
21. PROPOSED OFFICE ENTRY DOOR, 3' WIDE
22. "NO PARKING" WORDS IN CAPITAL LETTERS, EACH MIN. 1 FOOT HIGH AND MIN. 2" WIDE
23. 8' WIDE X 18' DEEP HC ACCESSIBLE SPACE, 3" THICK ASPHALT.
24. PROPOSED UNDER GROUND PNM ELECTRIC LINE.



LEGAL DESCRIPTION:

LOT 17-A-2, PAPPE ADDITION
CONTAINING 14,521.42 S.F. (0.3334 ACRE)
ZONING: M-1

SITE DATA

PROPOSED USAGE: OFFICE/WAREHOUSE
LOT AREA: 14,521.42 S.F. (0.3334 ACRE)
OFFICE AREA: 400.00 S.F.
WAREHOUSE AREA: 2,000.00 S.F.
TOTAL 2,400.00 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA (14,521-2400) 12,121.00 SF ±
LANDSCAPING REQUIRED: 1,818.15 SF ±
15% OF 18,200.00 SF
LANDSCAPE PROVIDED 1,893.00 SF ±

PARKING CALCULATIONS:

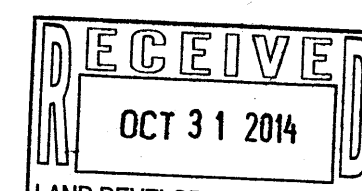
PARKING REQUIRED:
OFFICE: 400 SF/200 = 2 SPACES
WAREHOUSE: 2000 SF/2000 = 1 SPACES
TOTAL 3 SPACES
TOTAL PARKING REQUIRED: 3 SPACES
TOTAL PARKING PROVIDED: (10OUTSIDE AND 2 INSIDE) 3 SPACES
HC PARKING REQUIRED: 1 SPACES (1 VAN)
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MOTORCYCLE SPACES REQUIRED: 1 SPACES
MOTORCYCLE SPACES PROVIDED: 1 SPACES

LEGEND

---	BOUNDARY LINE
---	EASEMENT LINE
---	EXISTING OVERHEAD UTILITY
---	EXISTING CURB & GUTTER
---	EXISTING CHAIN LINK FENCE
---	EXISTING SIDEWALK
---	EXISTING FIRE HYDRANT
---	EXISTING WATER SERVICE
---	EXISTING DROP INLET
---	PROPOSED SIDEWALK



REZA AFAGHPOUR
P.E. #11814



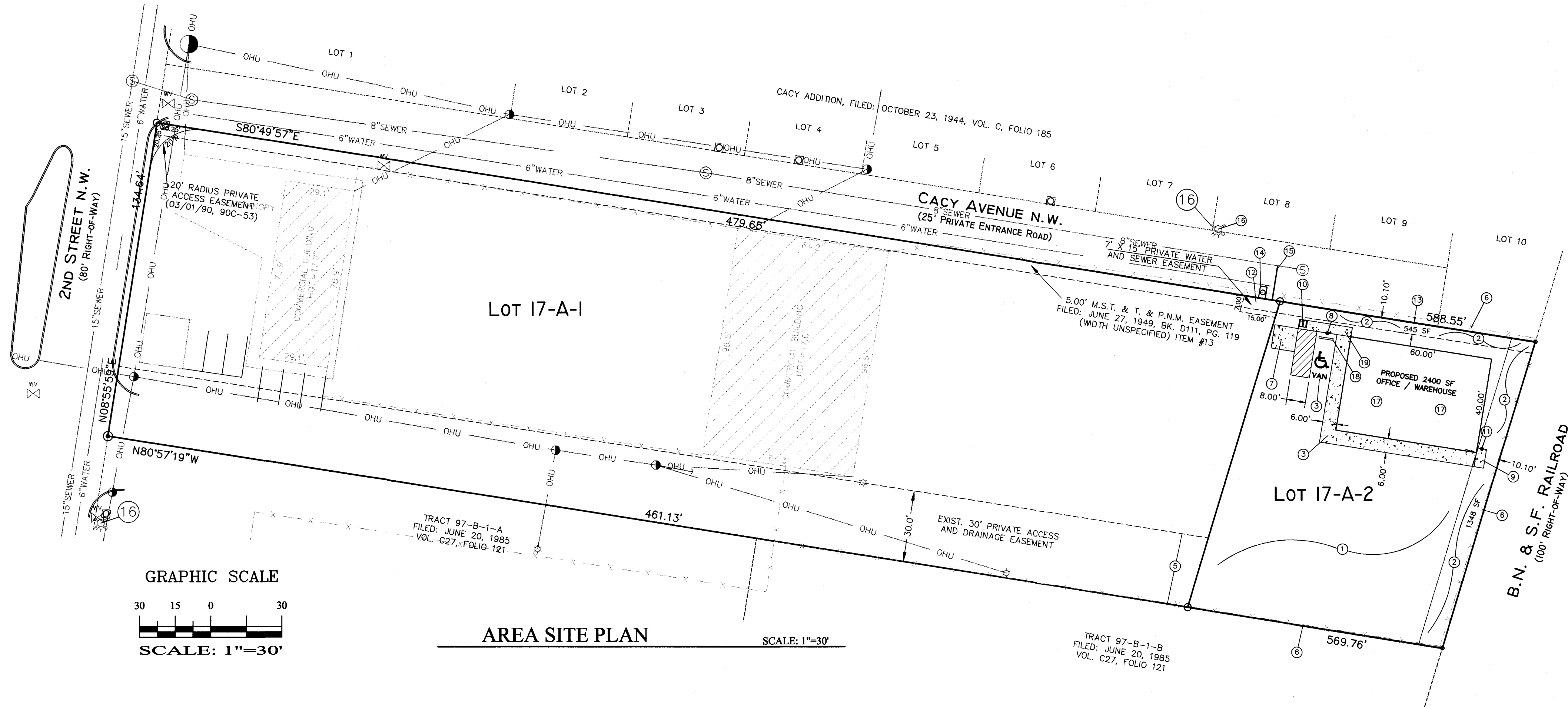
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

3440 2ND STREET, NW SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-SP.DWG	SH-B	10-05-2014	C101

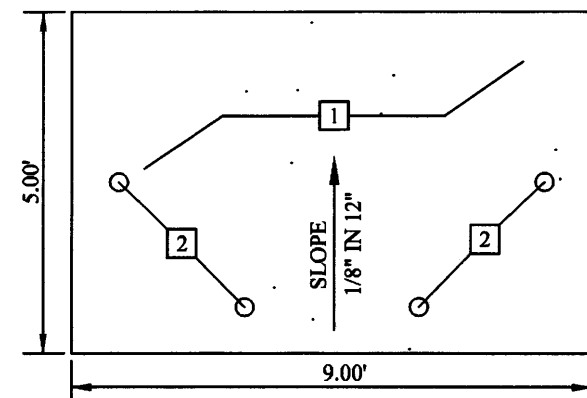
LAST REVISION: 10-31-14



AREA SITE PLAN

SCALE: 1"=30'

SPECIFICATION FOR SWANSON COLLECTION SITE

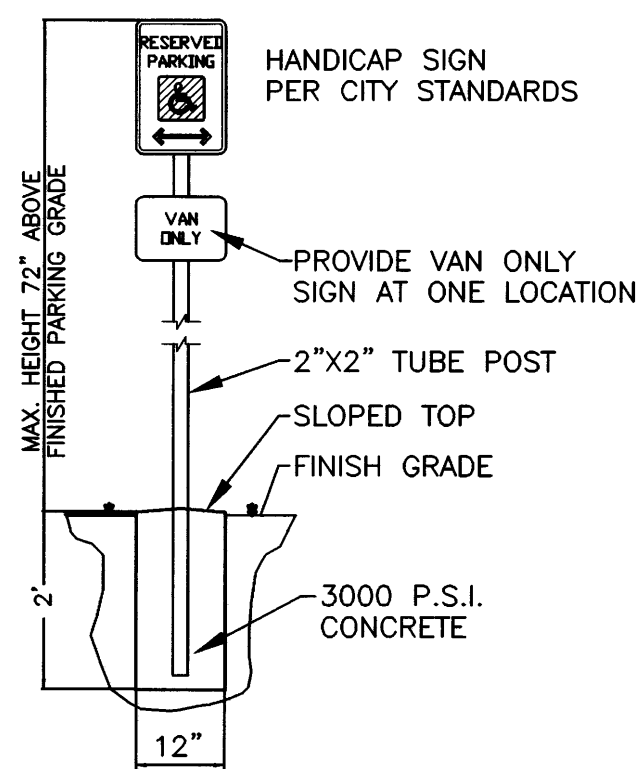


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REFUSE BIN SLAB

NTS



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HANDICAP SIGN DETAIL

NTS

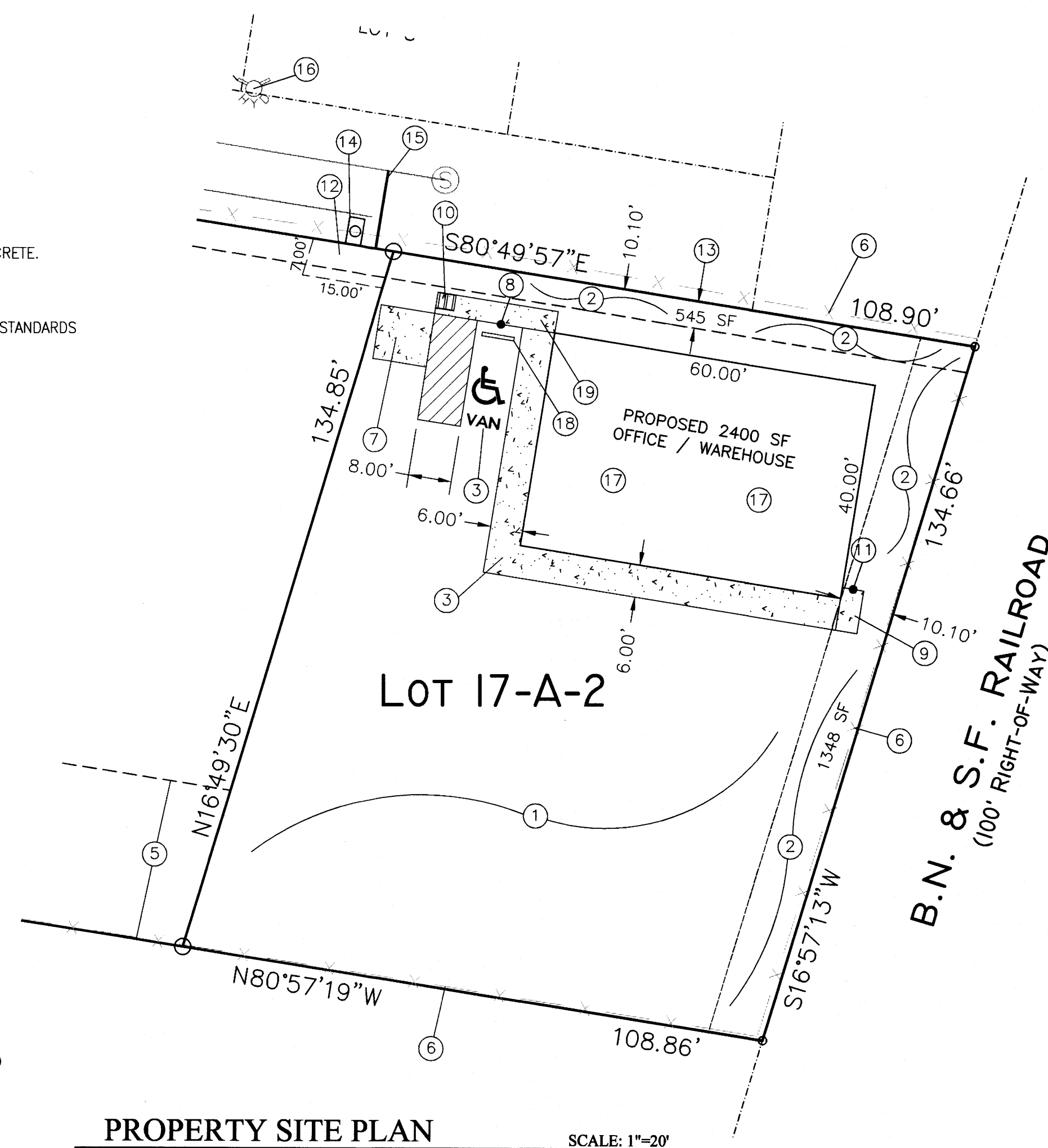
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17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING
18. CONCRETE BUMPER INSTALLS
19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS

GRAPHIC SCALE

20 10 0 20

SCALE: 1"=20'



PROPERTY SITE PLAN

SCALE: 1"=20'



VICINITY MAP:

G-14-Z

LEGAL DESCRIPTION:

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- EASEMENT LINE
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- EXISTING WATER SERVICE
- EXISTING DROP INLET
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SBS CONSTRUCTION AND ENGINEERING, LLC

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ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

3440 2ND STREET, NW
SITE PLAN FOR BUILDING PERMIT

DRAWING: 201424-SP.DWG
DRAWN BY: SH-B
DATE: 05-29-2013
SHEET # C101

LAST REVISION: 06-18-13