



**Planning Department  
Transportation Development Services**

November 6, 2014

Shawn Biazar, P.E.  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct., NW  
Albuquerque, NM 87114

**Re: Office Warehouse, 3440 2<sup>nd</sup> Street NW  
Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 11-03-14 (G14-D087)

Dear Mr. Biazar:

The TCL submittal received 11-06-14 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC or other appropriate permit is required to construct these items.**

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: 3440 2ND STREET, NW Building Permit #: \_\_\_\_\_ City Drainage #: G14-078

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 17-A-2, PAPPE ADDITION

City Address: 3440 2ND STREET, NW

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALB., NM 87114

Phone#: 505-804-5013 Fax#: \_\_\_\_\_ E-mail: AECLLC@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

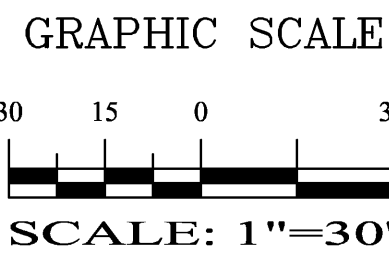
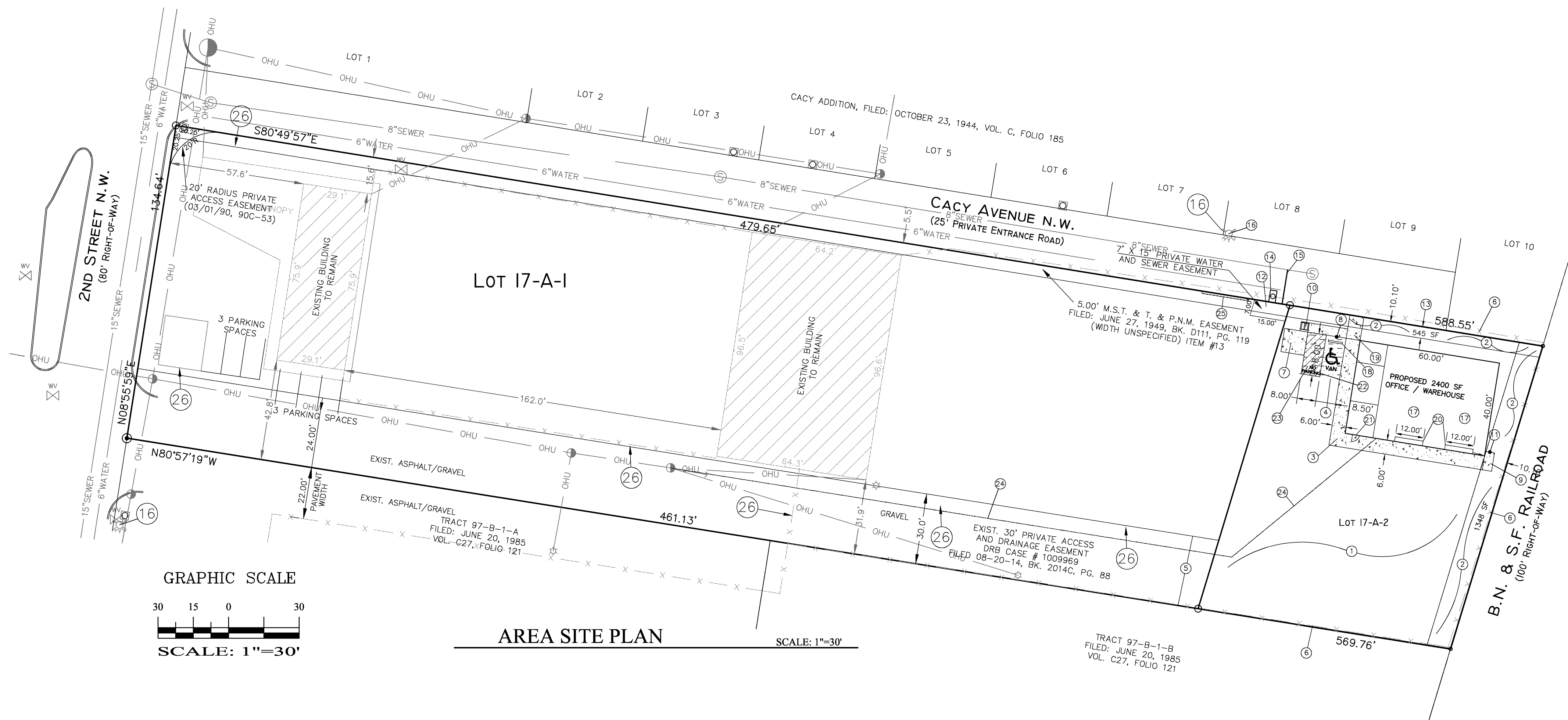
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes ☒ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 11-6-14 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

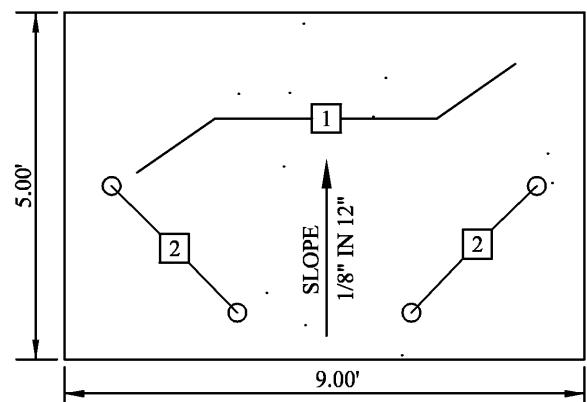
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



AREA SITE PLAN

SCALE: 1"=30'

SPECIFICATION FOR SWANSON COLLECTION SITE

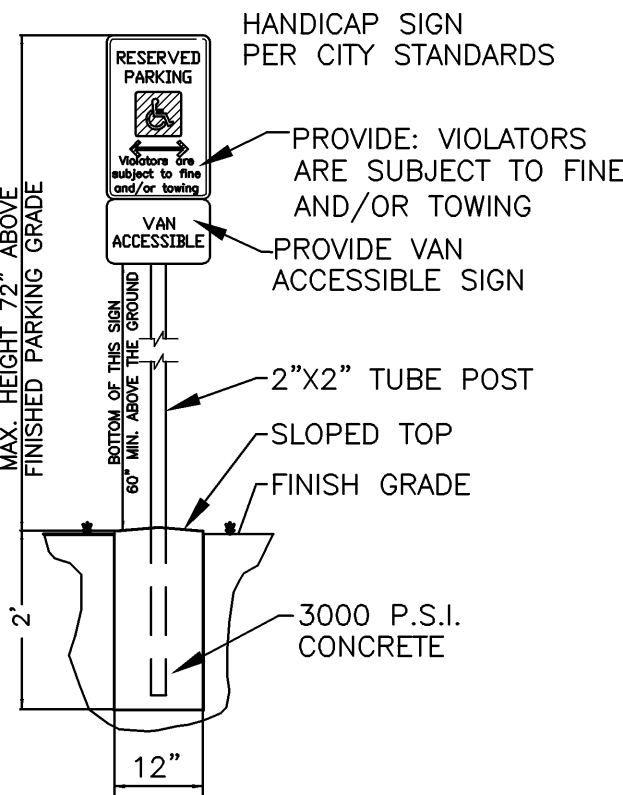


KEYED NOTES:

1. CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
2. 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

REFUSE BIN SLAB

NTS



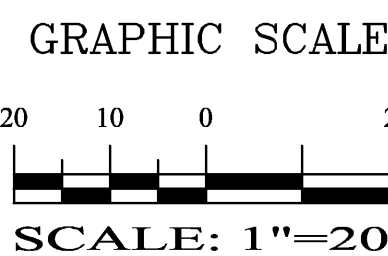
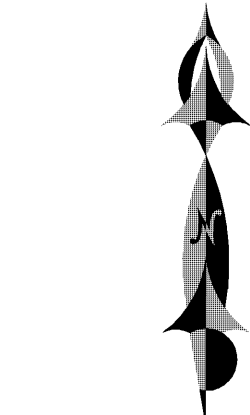
LOCATE SIGN 2' FROM FACE OF CURB OR SW

HANDICAP SIGN DETAIL

NTS

KEYED NOTES:

1. RECYCLED ASPHALT OR GRAVEL AREA, TYP.
2. LANDSCAPING AREA.
3. NEW 6" CONCRETE OR ASPHALT (3" THICK) SIDEWALK
4. 8.5' WIDE X 18' DEEP HC PARKING SPACE, 3" THICK ASPHALT.
5. EXISTING 30' ACCESS EASEMENT
6. EXISTING CHAIN LINK FENCE
7. 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
8. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
9. NEW MOTORCYCLE PARKING (4'X8')
10. BICYCLE RACK
11. MOTORCYCLE PARKING SIGN PER COA STANDARDS
12. EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
13. EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
14. NEW 3/4" WATER SERVICE (ALREADY INSTALLED)
15. NEW 4" SANITARY SEWER SERVICE (ALREADY INSTALLED)
16. EXISTING FIRE HYDRANT
17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING, MIN. 8' BY 18'
18. CONCRETE BUMPER INSTALLS
19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS
20. 12' WIDE OVERHEAD DOOR
21. PROPOSED OFFICE ENTRY DOOR, 3' WIDE
22. "NO PARKING" WORDS IN CAPITAL LETTERS, EACH MIN. 1 FOOT HIGH AND MIN. 2" WIDE
23. 8' WIDE X 18' DEEP HC ACCESSIBLE SPACE, 3" THICK ASPHALT.
24. PROPOSED UNDER GROUND PNM ELECTRIC LINE
25. EMERGENCY ACCESS GATE MIN. 20' WIDE FOR FIRE MARSHAL USE ONLY WITH KNOX BOX.
26. ACCESS LOCATIONS FOR LOT 17-A-1



PROPERTY SITE PLAN

SCALE: 1"=20'



VICINITY MAP:

G-14-Z

LEGAL DESCRIPTION:

LOT 17-A-2, PAPPE ADDITION  
CONTAINING 14,521.42 S.F. ( 0.3334 ACRE )  
ZONING: M-1

SITE DATA

PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	14,521.42 S.F. (0.3334 ACRE)
OFFICE AREA:	400.00 S.F.
WAREHOUSE AREA:	2,000.00 S.F.
	TOTAL 2,400.00 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA (14,521-2400)	12,121.00 SF ±
LANDSCAPING REQUIRED:	1,818.15 SF ±
15% OF 18,200.00 SF	
LANDSCAPE PROVIDED	1,893.00 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:		
OFFICE:	400 SF/200	= 2 SPACES
WAREHOUSE:	2000 SF/2000	= 1 SPACES
	TOTAL	3 SPACES

TOTAL PARKING REQUIRED: 3 SPACES

TOTAL PARKING PROVIDED: (1OUTSIDE AND 2 INSIDE) 3 SPACES

HC PARKING REQUIRED: 1 SPACES (1 VAN)

HC PARKING PROVIDED: 1 SPACES (1 VAN)

MOTORCYCLE SPACES REQUIRED: 1 SPACES

MOTORCYCLE SPACES PROVIDED: 1 SPACES

LEGEND

BOUNDARY LINE	BOUNDARY LINE
EASEMENT LINE	EASEMENT LINE
EXISTING OVERHEAD UTILITY	EXISTING OVERHEAD UTILITY
EXISTING CURB & GUTTER	EXISTING CURB & GUTTER
EXISTING CHAIN LINK FENCE	EXISTING CHAIN LINK FENCE
EXISTING SIDEWALK	EXISTING SIDEWALK
EXISTING FIRE HYDRANT	EXISTING FIRE HYDRANT
EXISTING WATER SERVICE	EXISTING WATER SERVICE
EXISTING DROP INLET	EXISTING DROP INLET
PROPOSED SIDEWALK	PROPOSED SIDEWALK
PROPOSED 3" THICK ASPHALT AREA	PROPOSED 3" THICK ASPHALT AREA



REZA AFAGHPOUR  
P.E. #11814

SBS CONSTRUCTION  
AND ENGINEERING, LLC

10209 SNOWFLAKE CT. NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

3440 2ND STREET, NW  
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-SP.DWG	SH-B	10-05-2014	C101

LAST REVISION: 10-21-14