

CITY OF ALBUQUERQUE



June 1, 2017

Shawn Biazar
SBS Construction & Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: 3440 2nd St NW,
Request for Certificate of Occupancy- Transportation Development**
Engineer's Stamp dated 11-03-14 (G14D087)
Certification dated 04-24-17

Dear Mr. Biazar,

Based upon the information provided in your submittal received 05-18-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

C: CO Clerk, File

SBS CONSTRUCTION AND ENGINEERING, LLC

APRIL 24, 2017

TRAFFIC ENGINEERING, PLANNING DEPT.
DEVELOPMENT AND BUILDING PERMIT
600 2nd STREET, SW ALBUQUERQUE, NM 87102

RE: 3440 2ND STREET, NW, LOT 17-A-2, PAPPE ADDITION
FINAL CERTIFICATE OF OCCUPANCY (G14-D087)

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC,
HEREBY CERTIFY THAT THIS PROJECT IS IN PORTION COMPLIANCE WITH AND IN
ACCORDANCE WITH THE DESIGN INTENT OF CITY OF ALBUQUERQUE TRANSPORTATION
DEPARTMENT.

I CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON APRIL 18, 2017
AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE WORK IS COMPLETED
AND HANDICAP PARKING, DRIVEWAYS, PONDS AND LANDSCAPING ARE COMPLETED. THIS
CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF
OCCUPANCY.

I AM REQUESTING FINAL CERTIFICATE OF OCCUPANCY FOR THE SITE. IF YOU
SHOULD HAVE ANY QUESTIONS REGARDING THIS CERTIFICATION, DO NOT HESITATE TO
CALL ME AT 505-804-5013.



REZA AFAGHPOUR, PE

4/24/2017

DATE





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: 3440 2nd Street, NW **Building Permit #:** _____ **Hydrology File #:** G14-D087
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 17-A-2, PAPPE ADDITION
City Address: 3440 2ND STREET, NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 4-25-2017 **By:** SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



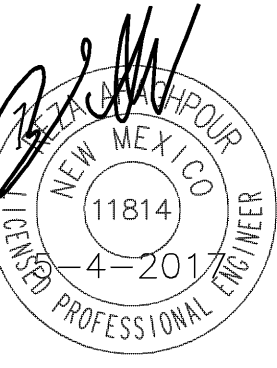
VICINITY MAP: G-14-Z

LEGAL DESCRIPTION:
LOT 17-A-2, PAPPE ADDITION
CONTAINING 14,521.42 S.F. (0.3334 ACRE)
ZONING: M-1

SITE DATA	
PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	14,521.42 S.F. (0.3334 ACRE)
OFFICE AREA:	400.00 S.F.
WAREHOUSE AREA:	2,000.00 S.F.
	TOTAL 2,400.00 S.F.
LANDSCAPE CALCULATIONS:	
NET LOT AREA (14,521-2400)	12,121.00 SF ±
LANDSCAPING REQUIRED:	1,818.15 SF ±
15% OF 18,200.00 SF	
LANDSCAPE PROVIDED	1,893.00 SF ±

PARKING CALCULATIONS:	
PARKING REQUIRED:	
OFFICE:	400 SF/200 = 2 SPACES
WAREHOUSE:	2000 SF/2000 = 1 SPACES
	TOTAL 3 SPACES
TOTAL PARKING REQUIRED:	3 SPACES
TOTAL PARKING PROVIDED: (10 OUTSIDE AND 2 INSIDE)	3 SPACES
HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES

LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	EXISTING OVERHEAD UTILITY
	EXISTING CURB & GUTTER
	EXISTING CHAIN LINK FENCE
	EXISTING SIDEWALK
	EXISTING FIRE HYDRANT
	EXISTING WATER SERVICE
	EXISTING DROP INLET
	PROPOSED SIDEWALK



REZA AFAGHPOUR
P.E. #11814

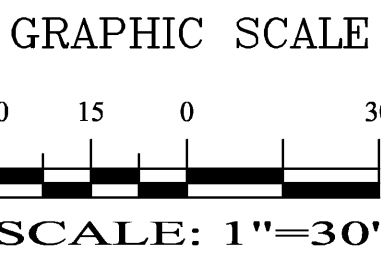
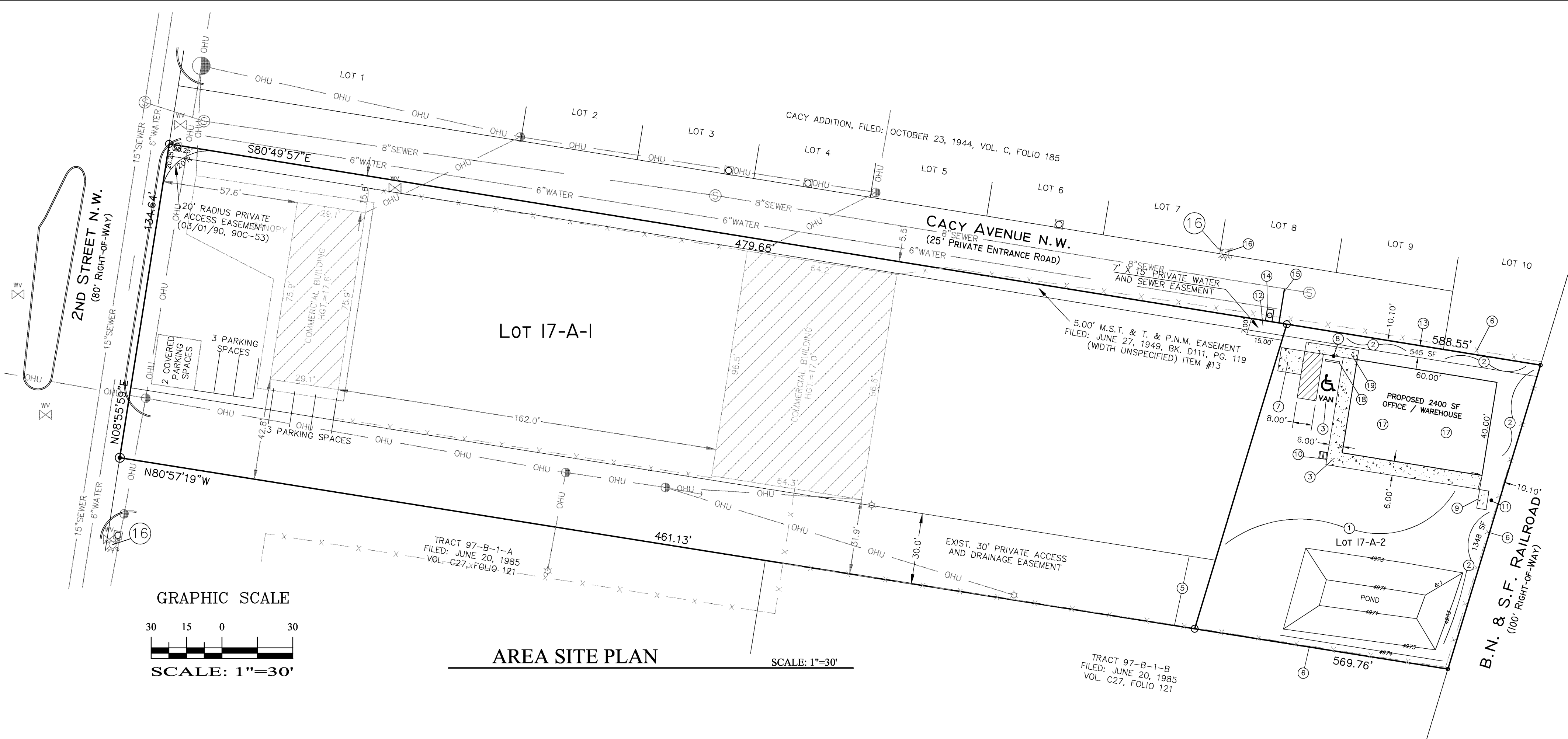
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505)804-5013

**3440 2ND STREET, NW
SITE PLAN FOR BUILDING PERMIT**

DRAWING:	DRAWN BY:	DATE:	SHEET #
201424-SP.DWG	SH-B	05-29-2013	C101

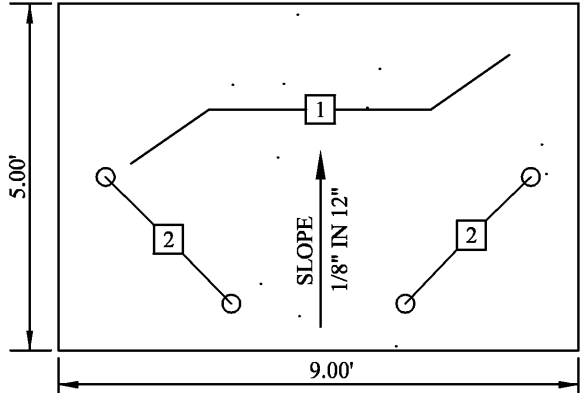
LAST REVISION: 06-18-13



AREA SITE PLAN

SCALE: 1"=30'

SPECIFICATION FOR SWANSON COLLECTION SITE

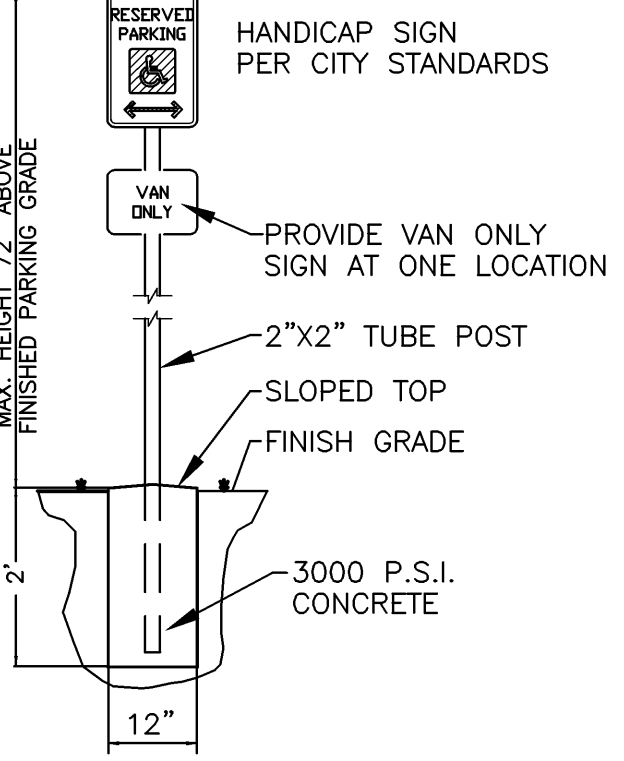


KEYED NOTES:

1. CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
2. 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

REFUSE BIN SLAB

NTS

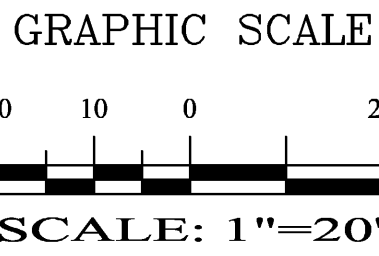
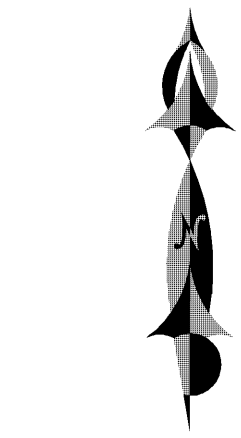


HANDICAP SIGN DETAIL

NTS

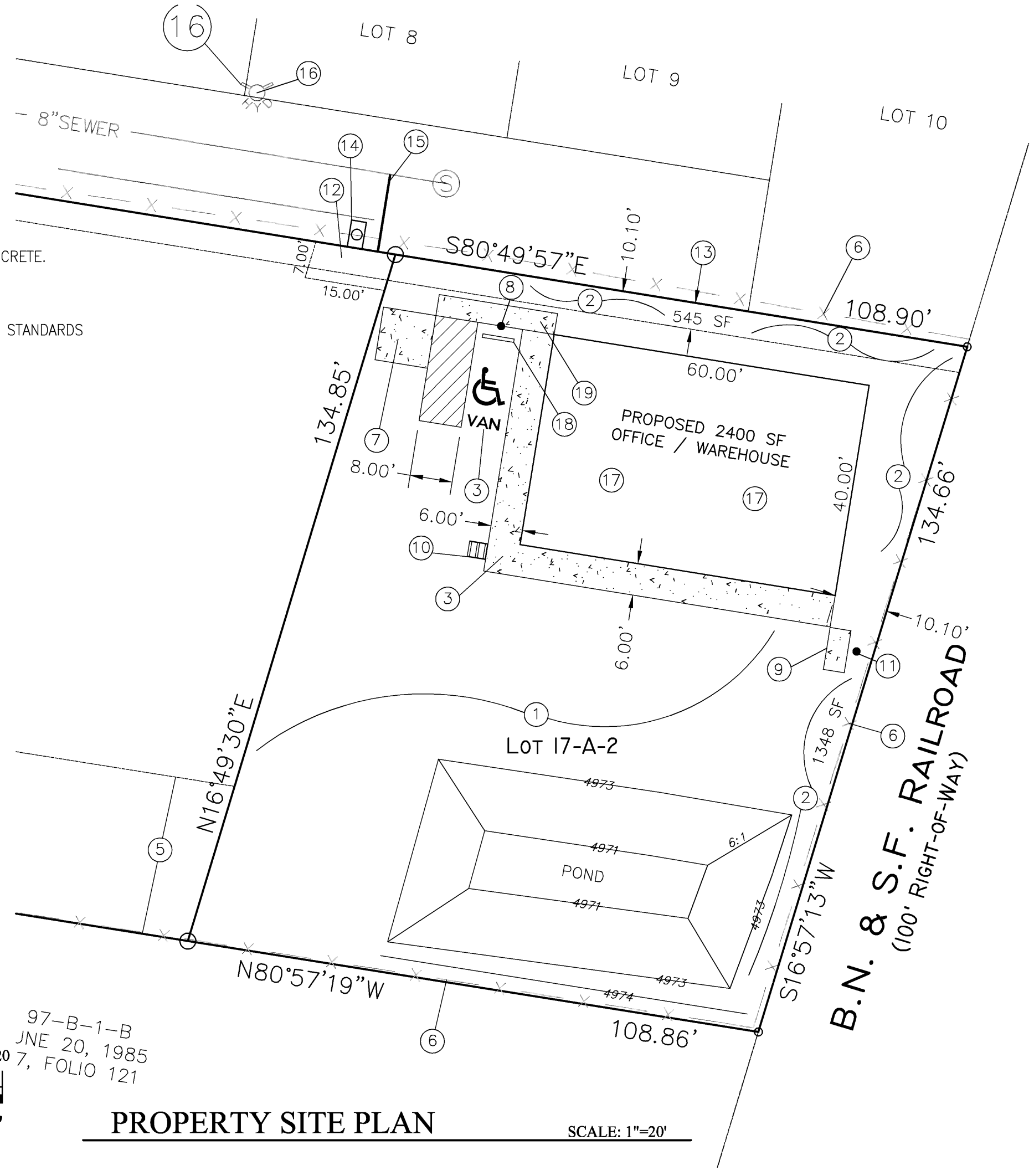
KEYED NOTES:

1. RECYCLED ASPHALT OR GRAVEL AREA, TYP.
2. LANDSCAPING AREA.
3. NEW 6" CONCRETE OR ASPHALT SIDEWALK
4. 8.5' WIDE X 20' DEEP HC PARKING SPACE, ASPHALT OR CONCRETE.
5. EXISTING 30' ACCESS EASEMENT
6. EXISTING CHAIN LINK FENCE
7. 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
8. HANDICAP SIGN PER COA STANDARDS
9. NEW MOTORCYCLE PARKING (4'X8')
10. BICYCLE RACK
11. MOTORCYCLE PARKING SIGN PER COA STANDARDS
12. EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
13. EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
14. NEW 3/4" WATER SERVICE (ALREADY INSTALLED)
15. NEW 4" SANITARY SEWER SERVICE (ALREADY INSTALLED)
16. EXISTING FIRE HYDRANT
17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING
18. CONCRETE BUMPER INSTALLS
19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS



PROPERTY SITE PLAN

SCALE: 1"=20'



97-B-1-B
JNE 20, 1985
7, FOLIO 121