



**Planning Department  
Transportation Development Services**

October 28, 2014

Shawn Biazar, P.E.  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct., NW  
Albuquerque, NM 87114

**Re: Office Warehouse, 3440 2<sup>nd</sup> Street NW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 10-20-14 (G14-D087)

Dear Mr. Biazar:

Based upon the information provided in your submittal received 10-22-14, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

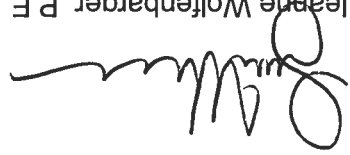
[www.cabq.gov](http://www.cabq.gov)

1. Label each existing building on Lot 17-A-1 as "Existing Building to Remain", and label the existing pavement width and/or gravel roadway width on adjacent roadways. Show existing access to Lot 17-A-1.
2. Label the DRB case number for the Existing 30-foot Private Access and Drainage Easement.
3. Please identify all the proposed doors for the proposed office and warehouse including handicapped access and the proposed garage doors for the proposed parking inside the warehouse. Show all door widths.
4. Please list the width and length for all parking spaces. The handicap accessible spaces must be a minimum of 8.5 feet in width and 18 feet long.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. For Lot 17-A-2, extend the proposed 6-foot sidewalk all of the way to the property line along the south side of Casey Avenue.
8. Handicapped access is required to be paved. Both the handicapped parking space and the van accessible space must be paved. The remaining driving area may be recycled asphalt or gravel as called out by Keyed Note 1 on the site plan. Maintain the new 6-foot sidewalk as concrete or asphalt as called out

- on the site plan as per Keyed Note 3 as long as a different surface is provided for the pedestrian walkway than the driving area. For the asphalt surface, show the thickness of asphalt proposed.
9. The bike rack called out by Keyed Note 10 on the site plan is in the way of the handicapped access from the van accessible aisle and needs to be moved to a location where it does not interfere with wheelchair access.
  10. "Chain link fence" is misspelled on Keyed Note 6.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. Include two copies of the traffic circulation layout at the next submittal. If you have any questions, please contact me at (505) 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 17-A-2, PAPPE ADDITION Building Permit #: \_\_\_\_\_ City Drainage #: 6140087  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 17-A-2, PAPPE ADDITION  
City Address: 3440 2ND. STREET, NW, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR  
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

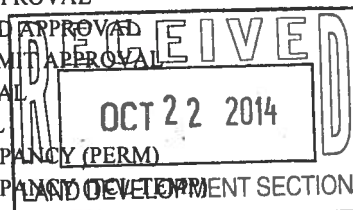
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (LAND DEVELOPMENT SECTION)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☒ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_

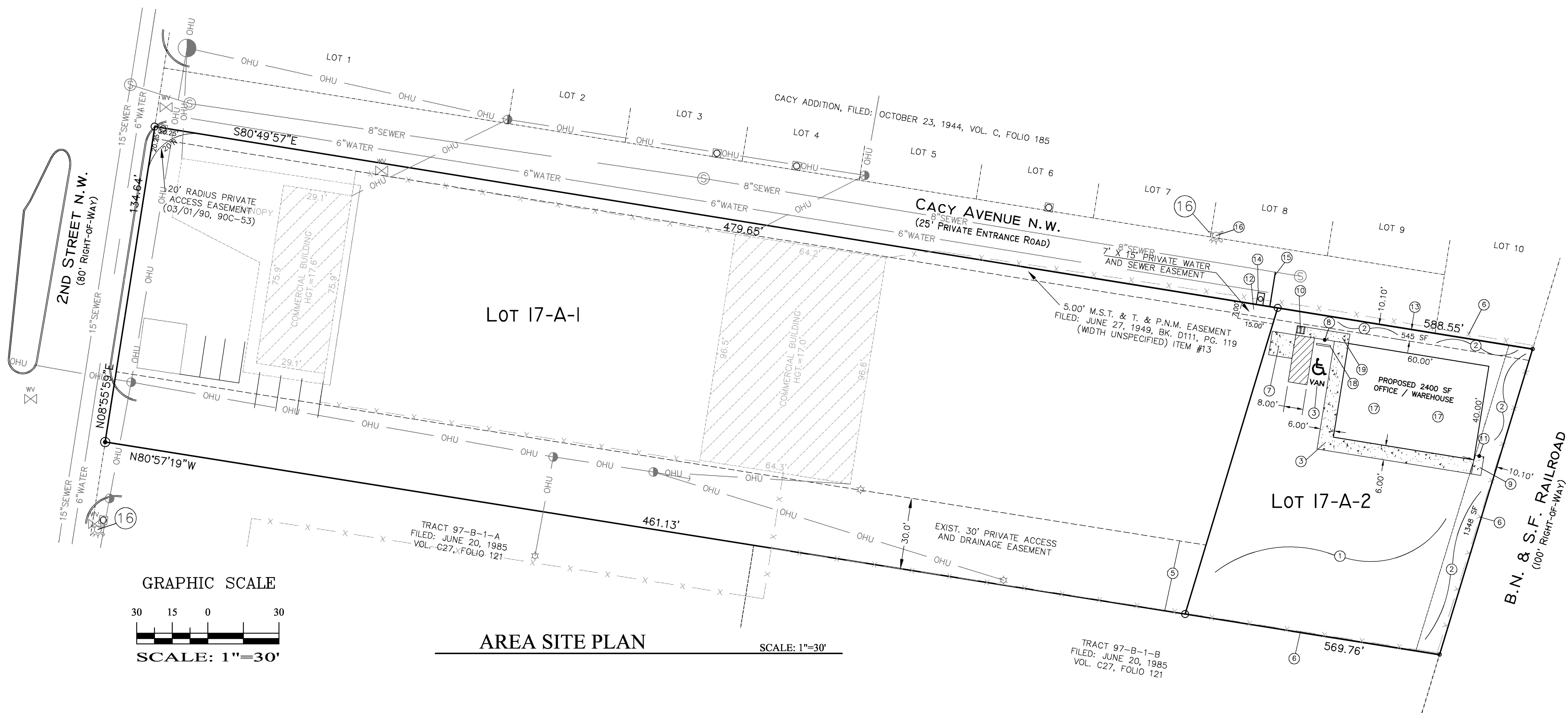
Yes \_\_\_\_\_ No \_\_\_\_\_ ☒ Copy Provided

DATE SUBMITTED: 10/20/2014

By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



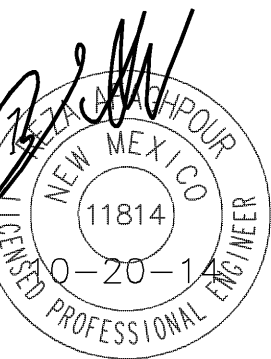
VICINITY MAP: G-14-Z

LEGAL DESCRIPTION:  
LOT 17-A-2, PAPPE ADDITION  
CONTAINING 14,521.42 S.F. ( 0.3334 ACRE )  
ZONING: M-1

SITE DATA	
PROPOSED USAGE:	OFFICE/WAREHOUSE
LOT AREA:	14,521.42 S.F. (0.3334 ACRE)
OFFICE AREA:	400.00 S.F.
WAREHOUSE AREA:	2,000.00 S.F.
	TOTAL 2,400.00 S.F.
LANDSCAPE CALCULATIONS:	
NET LOT AREA (14,521-2400)	12,121.00 SF ±
LANDSCAPING REQUIRED:	1,818.15 SF ±
15% OF 18,200.00 SF	
LANDSCAPE PROVIDED	1,893.00 SF ±

PARKING CALCULATIONS:	
PARKING REQUIRED:	
OFFICE:	400 SF/200 = 2 SPACES
WAREHOUSE:	2000 SF/2000 = 1 SPACES
	TOTAL 3 SPACES
TOTAL PARKING REQUIRED:	3 SPACES
TOTAL PARKING PROVIDED: (1OUTSIDE AND 2 INSIDE)	3 SPACES
HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES

LEGEND	
	BOUNDARY LINE
	EASEMENT LINE
	EXISTING OVERHEAD UTILITY
	EXISTING CURB & GUTTER
	EXISTING CHAIN LINK FENCE
	EXISTING SIDEWALK
	EXISTING FIRE HYDRANT
	EXISTING WATER SERVICE
	EXISTING DROP INLET
	PROPOSED SIDEWALK

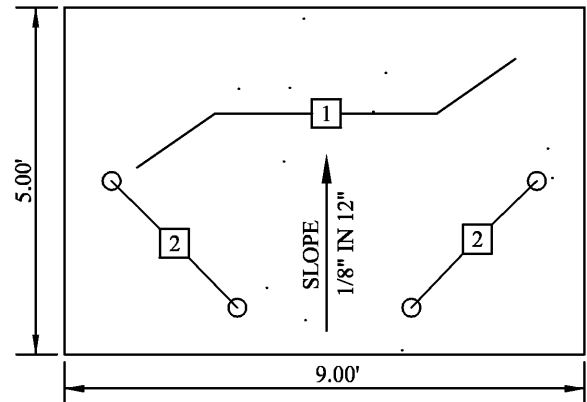


SBS CONSTRUCTION  
AND ENGINEERING, LLC

REZA AFAGHPOUR  
P.E. #11814

10209 SNOWFLAKE CT. NW  
ALBUQUERQUE, NEW MEXICO 87114  
(505)804-5013

SPECIFICATION FOR SWANSON COLLECTION SITE

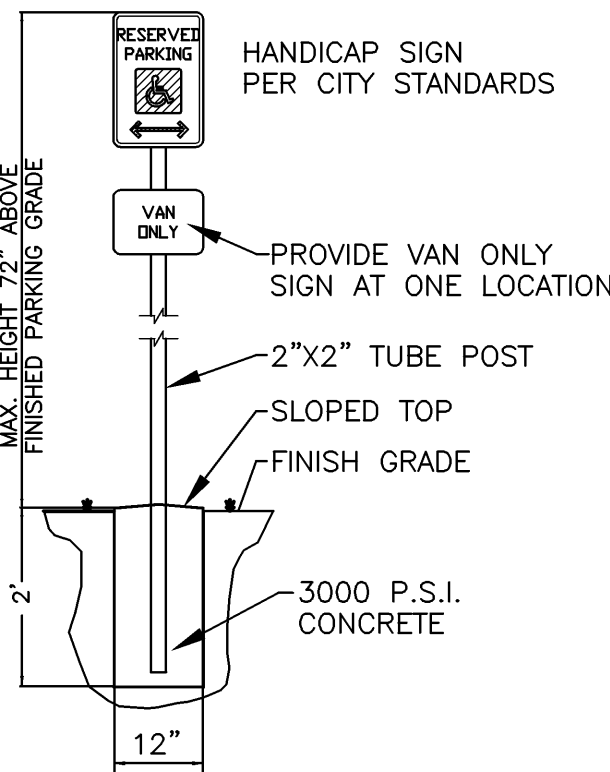


KEYED NOTES:

1. CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
2. 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

REFUSE BIN SLAB

NTS



LOCATE SIGN 2' FROM  
FACE OF CURB OR SW

HANDICAP SIGN DETAIL

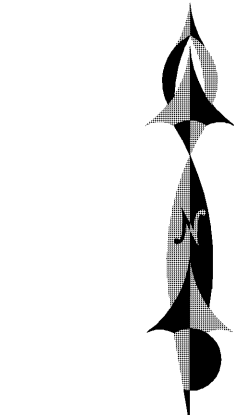
NTS

AREA SITE PLAN

SCALE: 1"=30'

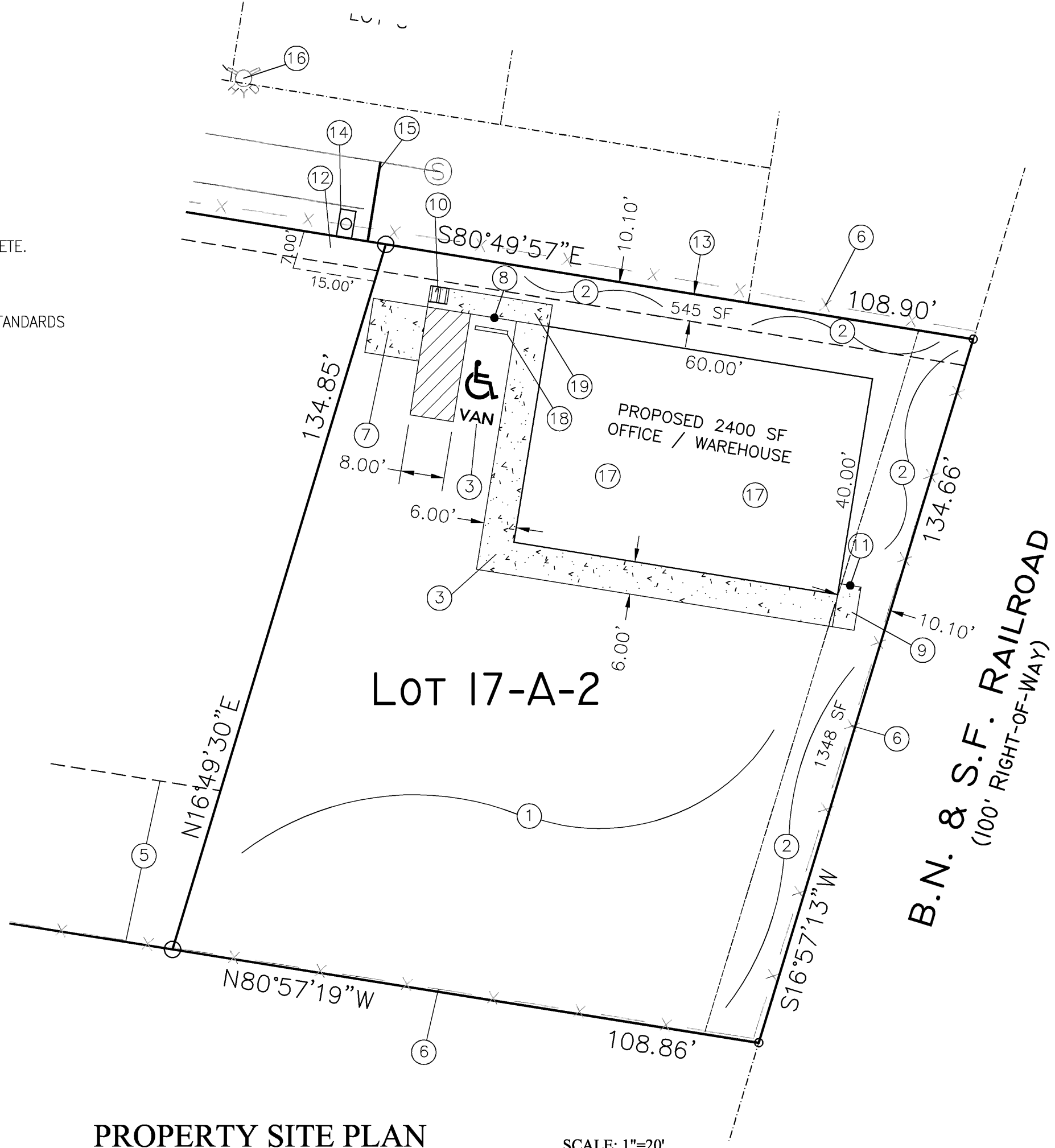
KEYED NOTES:

1. RECYCLED ASPHALT OR GRAVEL AREA, TYP.
2. LANDSCAPING AREA.
3. NEW 6" CONCRETE OR ASPHALT SIDEWALK
4. 8.5' WIDE X 20' DEEP HC PARKING SPACE, ASPHALT OR CONCRETE.
5. EXISTING 30' ACCESS EASEMENT
6. EXISTING CHAIN LINK FENCE
7. 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
8. HANDICAP SIGN PER COA STANDARDS
9. NEW MOTORCYCLE PARKING (4'X8')
10. BICYCLE RACK
11. MOTORCYCLE PARKING SIGN PER COA STANDARDS
12. EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
13. EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
14. NEW 3/4" WATER SERVICE ( ALREADY INSTALLED )
15. NEW 4" SANITARY SEWER SERVICE ( ALREADY INSTALLED )
16. EXISTING FIRE HYDRANT
17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING
18. CONCRETE BUMPER INSTALLS
19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS



GRAPHIC SCALE

20 10 0 20  
SCALE: 1"=20'



PROPERTY SITE PLAN

SCALE: 1"=20'