From: Wolfenbarger, Jeanne
To: "aecllc@aol.com"

Subject: LOt 17-A-@, Pappe Addition (G14-D087)

Date: Monday, November 03, 2014 11:25:50 AM

Attachments: Scanned from a Xerox multifunction device.pdf

Shawn, I have received the updated site plan for the subject project but still have the following comments:

- 1. I do not see Keyed Note 23 on the plans. I think you meant to put in Keyed Note 23 where keyed note 22 is shown for the van accessible space.
- 2. The site plan needs to be clear that both the van accessible space and the handicapped space are asphalt. Right now only the handicapped space is shown to be asphalt. It may be more clear if some type of hatching/lineweights are shown to differentiate the asphalt area from the remaining area.
- 3. The "No Parking" words need to be placed in the van accessible aisle, not where the handicapped people park (See attached scan).
- 4. Also see the attached scan for exact required language on the handicap sign. The "van only" sign needs to be shown as "van accessible".

Feel free to e-mail me the revised site plan before coming in with two hard copies for my signature for this next goaround.

Thanks!

Jeanne

----Original Message-----

From: plnnh11@cabq.gov [mailto:plnnh11@cabq.gov]

Sent: Monday, November 03, 2014 11:08 AM

To: Wolfenbarger, Jeanne

Subject: Scanned from a Xerox multifunction device

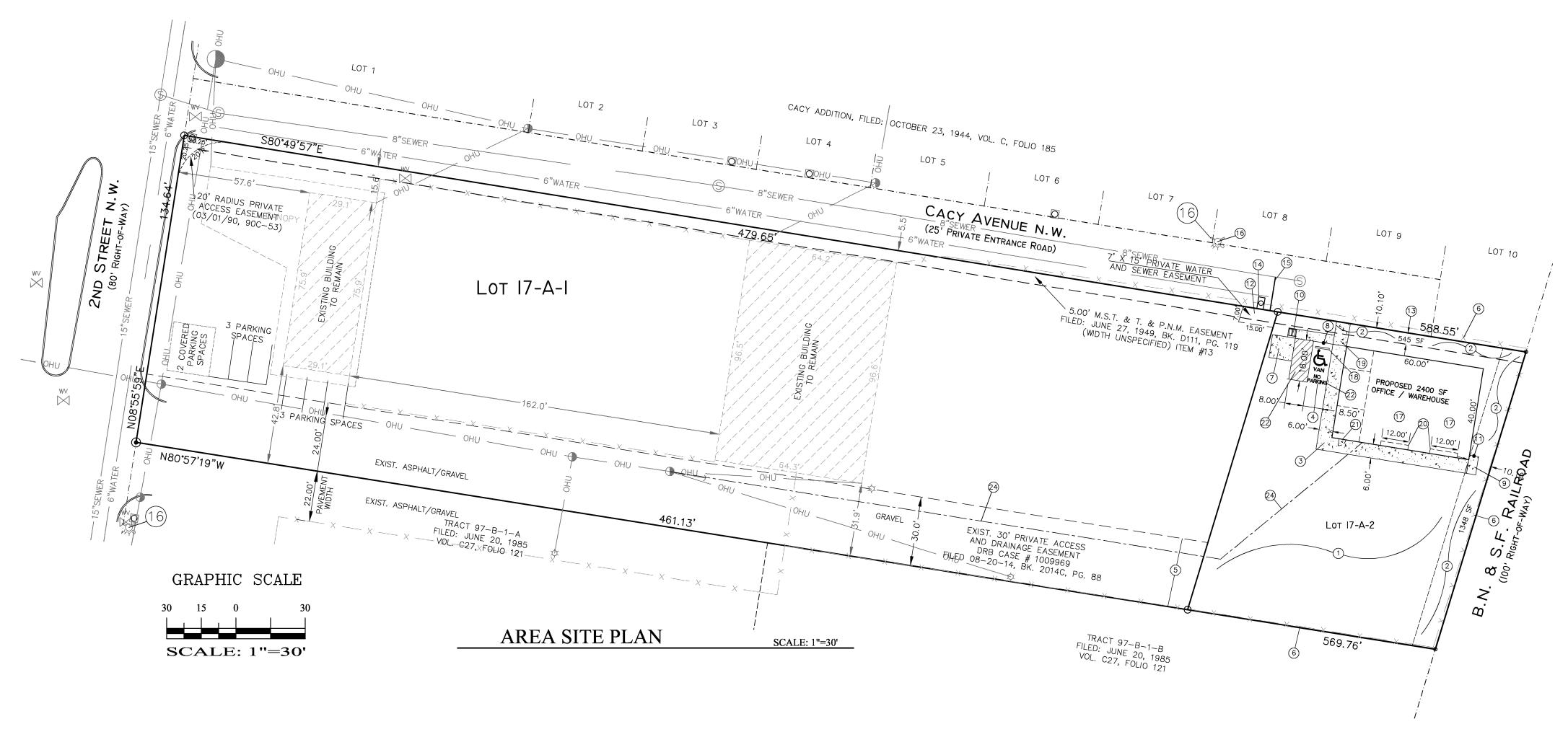
Please open the attached document. It was scanned and sent to you using a Xerox multifunction device.

Attachment File Type: pdf, Multi-Page

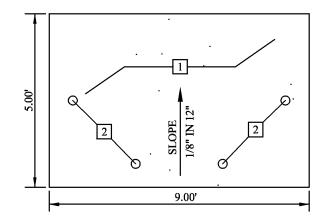
multifunction device Location: machine location not set

Device Name: PWDNH07

For more information on Xerox products and solutions, please visit <a href="http://www.xerox.com">http://www.xerox.com</a>



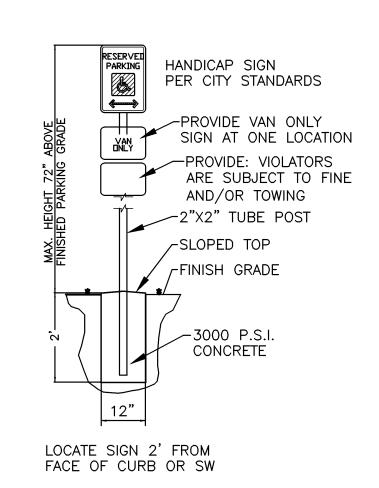
#### SPECIFICATION FOR SWANSON COLLECTION SITE



### KEYED NOTES: $\square$

- 1. CONCRETE SLAB, 4" THICK 3000 PSI (28 DAYS) WITH 3/4" AGGREGATE AND 4X4X1.4 WWF.
- 2. 4" O.D. STEEL PIPE FILLED WITH CONCRETE AND ENCASED IN 6" THICK CONCRETE MINIMUM ALL AROUND BELOW GRADE. CONCRETTE TO BE MINIMUM 30" BELOW GRADE AND POSTS TO BE ABOVE SLAB.

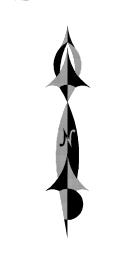
# REFUSE BIN SLAB



HANDICAP SIGN DETAIL NTS

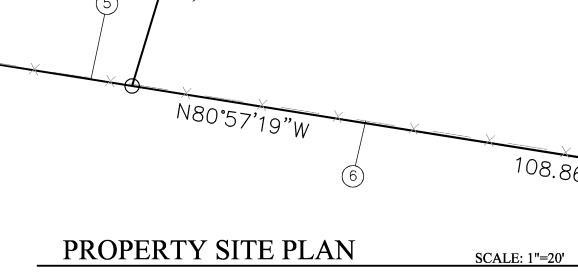
## KEYED NOTES:

- 1. RECYCLED ASPHALT OR GRAVEL AREA, TYP.
- 2. LANDSCAPING AREA.
- 3. NEW 6' CONCRETE OR ASPHALT (3" THICK) SIDEWALK
- 4. 8.5' WIDE X 18' DEEP HC PARKING SPACE, 3" THICK ASPHALT.
- 5. EXISTING 30' ACCESS EASEMENT
- 6. EXISTING CHAIN LINK FENCE 7. 10' BY 10' REFUSE SLAB FOR SWANSON TYPE BIN, PER COA STANDARDS
- 8. HANDICAP SIGN PER COA STANDARDS, MUST HAVE REQUIRED LANGUAGE PER
- 66-7-352.4C NMSA 1978, "VIOLATORS ARE SUBJECT TO FINE AND/OR TOWING"
- 9. NEW MOTORCYCLE PARKING (4'X8')
- 10. BICYCLE RACK
- 11. MOTORCYCLE PARKING SIGN PER COA STANDARDS
- 12. EXISTING 7' X 15' PRIVATE WATER AND SEWER EASEMENT
- 13. EXISTING 5.00' M.S.T. & T. & P.N.M. EASEMENT
- 14. NEW 3/4" WATER SERVICE ( ALREADY INSTALLED ) 15. NEW 4" SANITARY SEWER SERVICE ( ALREADY INSTALLED )
- 16. EXISTING FIRE HYDRANT 17. TWO PARKING SPACE PROVIDED INSIDE THE BUILDING, MIN. 8' BY 18'
- 18. CONCRETE BUMPER INSTALLS
- 19. 4' ASPHALT OR CONCRETE PAD FOR HC ACCESS
- 20. 12' WIDE OVERHEAD DOOR
- 21. PROPOSED OFFICE ENTRY DOOR, 3' WIDE
- 22. "NO PARKING" WORDS IN CAPITAL LETTERS, EACH MIN. 1 FOOT HIGH AND MIN. 2" WIDE
- 23. 8' WIDE X 18' DEEP HC ACCESSIBLE SPACE, 3" THICK ASPHALT.
- 24. PROPOSED UNDER GROUND PNM ELECTRIC LINE.



GRAPHIC SCALE

SCALE: 1"=20'



PROPOSED 2400 SF

Lot 17-A-2

108.86



#### LEGAL DESCRIPTION:

LOT 17-A-2, PAPPE ADDITION CONTAINING 14,521.42 S.F. ( 0.3334 ACRE ) ZONING: M-1

#### SITE DATA

OFFICE/WAREHOUSE PROPOSED USAGE: LOT AREA: 14,521.42 S.F. (0.3334 ACRE) OFFICE AREA: 400.00 S.F. 2,000.00 S.F. WAREHOUSE AREA:

LANDSCAPE CALCULATIONS:

NET LOT AREA (14,521-2400) 12,121.00 SF ± LANDSCAPING REQUIRED: 1,818.15 SF ± 15% OF 18,200.00 SF LANDSCAPE PROVIDED 1,893.00 SF ±

#### PARKING CALCULATIONS

### PARKING REQUIRED:

OFFICE: 400 SF/200 = 2 SPACES = 1 SPACES WAREHOUSE: 2000 SF/2000 TOTAL 3 SPACES TOTAL PARKING REQUIRED: 3 SPACES TOTAL PARKING PROVIDED: (10UTSIDE AND 2 INSIDE) 3 SPACES HC PARKING REQUIRED: 1 SPACES (1 VAN)

TOTAL 2,400.00 S.F.

HC PARKING PROVIDED: 1 SPACES (1 VAN)

1 SPACES MOTORCYCLE SPACES PROVIDED: 1 SPACES

### LEGEND

BOUNDARY LINE ---- EASEMENT LINE EXISTING OVERHEAD UTILITY ======== EXISTING CURB & GUTTER EXISTING CHAIN LINK FENCE ---- x ---- x ---- x ---- x ----EXISTING SIDEWALK EXISTING FIRE HYDRANT EXISTING WATER SERVICE [፬] EXISTING DROP INLET PROPOSED SIDEWALK



REZA AFAGHPOUR P.E. #11814

SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW ALBUQUERQUE, NEW MEXICO 87114 (505)804-5013

3440 2ND STREET, NW SITE PLAN FOR BUILDING PERMIT			
DRAWING:	DRAWN BY:	DATE:	SHEET#
 201424-SP.DWG	SH-B	10-05-2014	C101