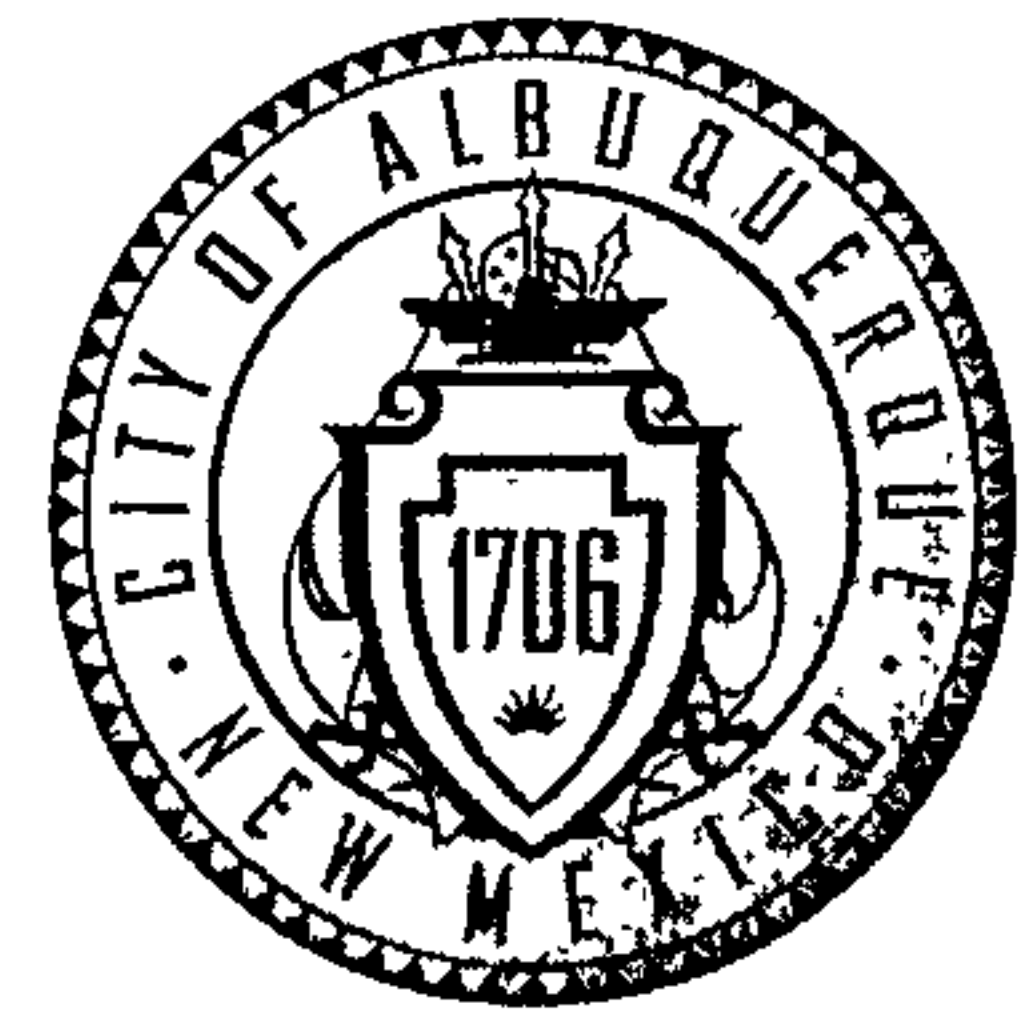


CITY OF ALBUQUERQUE



November 4, 2016

Richard J. Berry, Mayor

Joseph J. Casares, Jr., P.E.
JCII Group, LLC
7225 Arenoso Pl NW
Albuquerque, NM, 87120

**RE: Patz Warehouse
Grading and Drainage Plan
Engineer's Stamp Date 11-1-2016 (File: G14D088)**

Dear Mr. Casares:

Based upon the information provided in your submittal received 11-03-2016, the above referenced Grading and Drainage Plan is approved for Building Permit.

We do recommend that an edge treatment for the asphalt improvements is considered, but it is not a requirement.

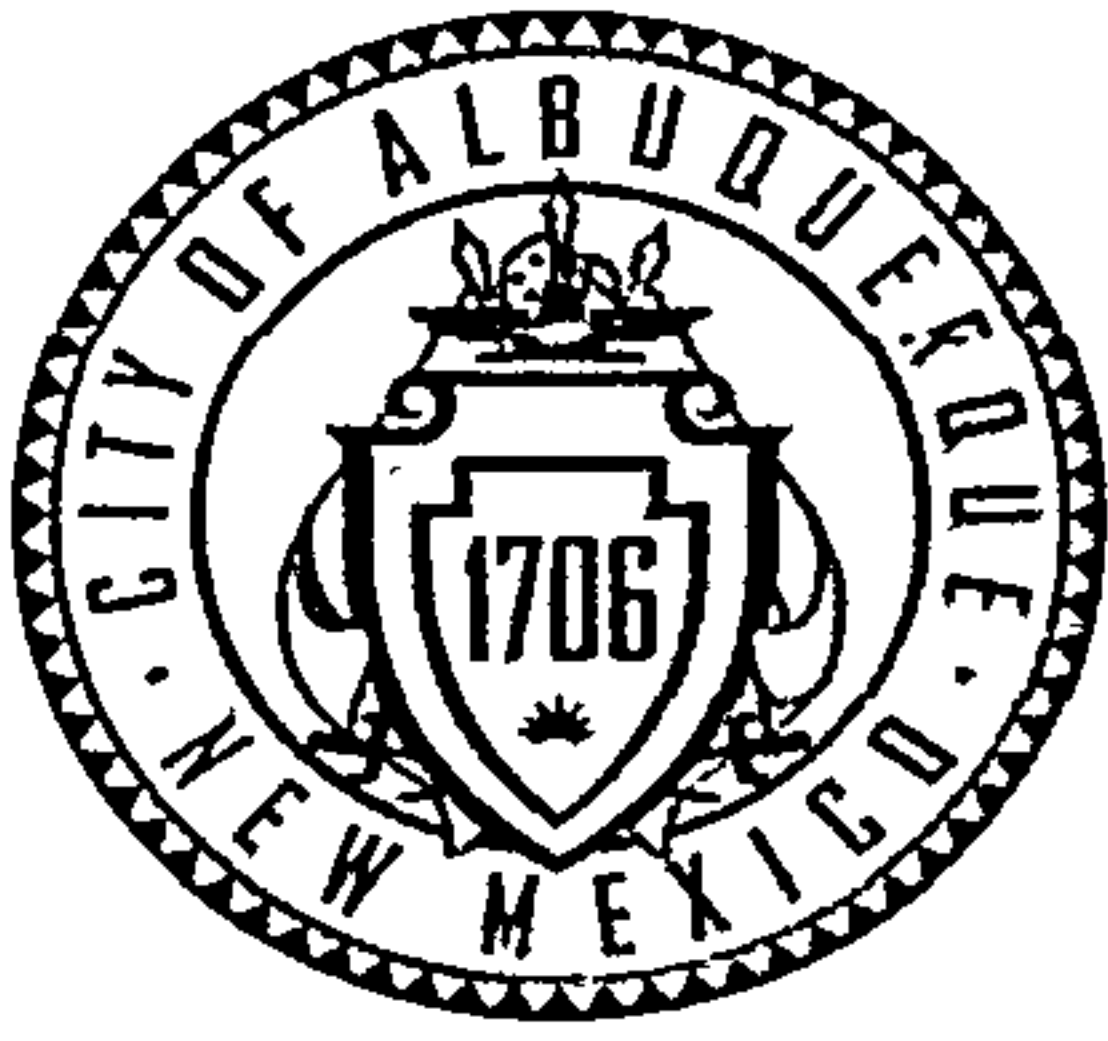
Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz Warehouse/Apartment Building Permit # 2016-00557 City Drainage #: G14-D088
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 2B Block 17 Subdivision Monk Bridge
City Address: 406 Veranda RD. NM 87107
Engineering Firm: JCI Group LLC Contact: Joe Casares
Address: 7225 Avenida PL NW Alb NM 87120
Phone#: 505-264-6918 Fax#: _____ E-mail: Joe.Casares@GMail.com
Owner: Logan Patz Contact: Logan Patz
Address: 7312 Appomattox PL NE Alb NM 87109
Phone#: _____ Fax#: _____ E-mail: LPatz@LTU.edu
Architect: David Pacheco Contact: David Pacheco
Address: 6721 Mariposa Alb NM 87120
Phone#: 239-9595 Fax#: _____ E-mail: djpacheco@AOL.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11/03/16 By: Logan Patz

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Rael, Rudy E.

From: Rael, Rudy E.
Sent: Monday, October 24, 2016 3:05 PM
To: 'Joe.Casares@gmail.com'
Subject: Patz Warehouse

Mr. Casares

This email is being sent in lieu of an attached comment letter in order to expedite our comments.

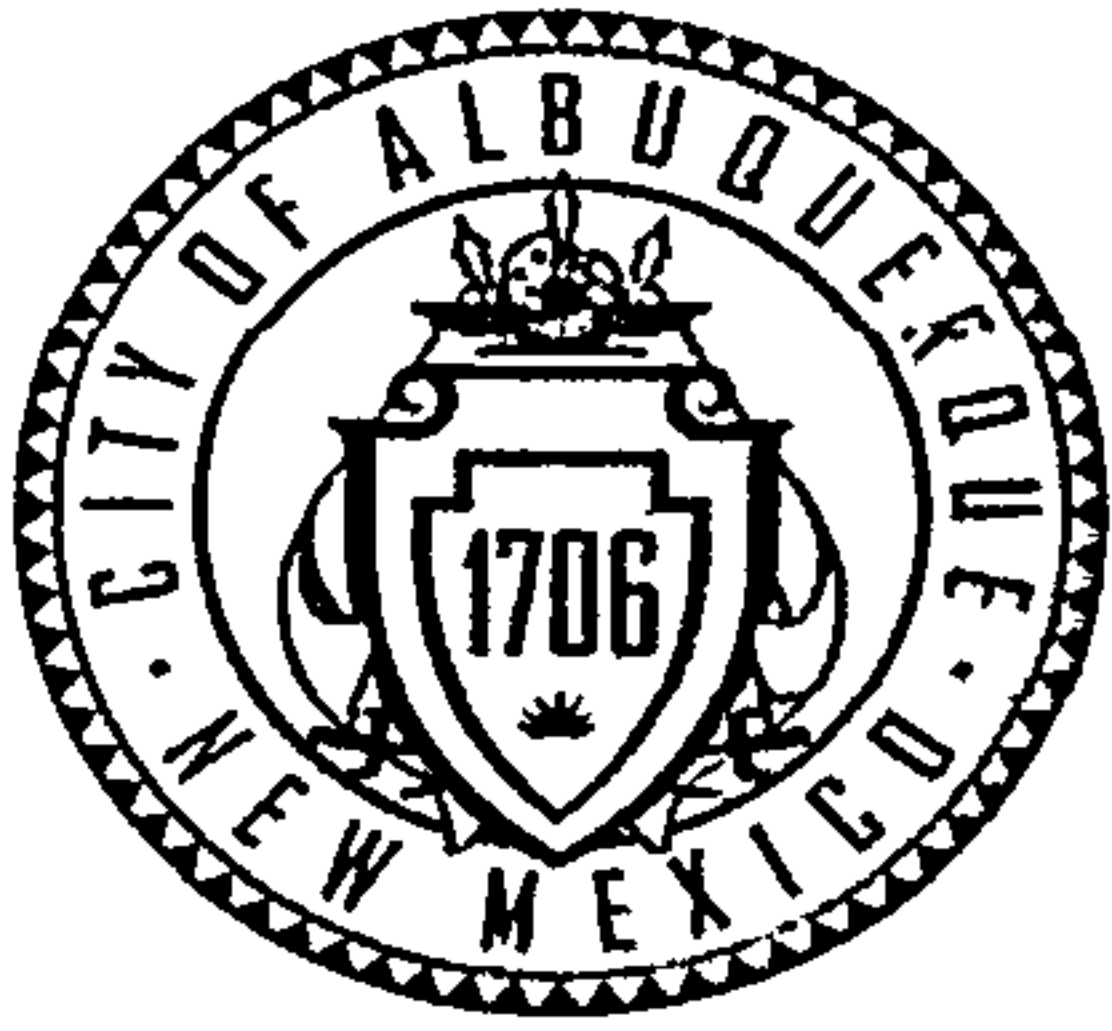
Response to comments should continue to be included in the resubmittal process. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in your submittal received 10/11/16, the above referenced Grading and Drainage plan dated 8/16/16 cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- Provide build notes on the G&D plan.
- Label the trash enclosure.
- Provide the distance's from the building to property line.
- Is curbing provided at the edge of all pavement? If so, how will flows enter the ponds or swales?
- How is roof water being harvested?
- Provide roof flows.
- Provide a FIRMette from the FEMA web site or mention the map page and what flood zone the property is located.
- Is the $\frac{3}{4}$ " rod a monument or a survey stake?

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986.

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz Warehouse / Apartment Building Permit #: 2016-00557 City Drainage #: 6114D088
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1B Block 17 Subdivision Monkbridge ADDN
City Address: 406 Veranda Rd. N.W 87107
Engineering Firm: JCI Group, LLC. Contact: Joe Casares
Address: 7225 Arenoso Pl. NW Albuquerque NM 87120
Phone#: 505-264-6918 Fax#: _____ E-mail: Joe.Casares@gmail.com
Owner: Logan Patz Contact: Logan Patz
Address: 7312 Appomattox Pl NE Albuquerque NM 87109
Phone#: 505-450-3244 Fax#: _____ E-mail: LPatz@LTU.edu
Architect: David Pacheco Contact: David Pacheco
Address: 6721 Mariposa Albuquerque NM 87120
Phone#: 239-9595 Fax#: _____ E-mail: djpabug@aol.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

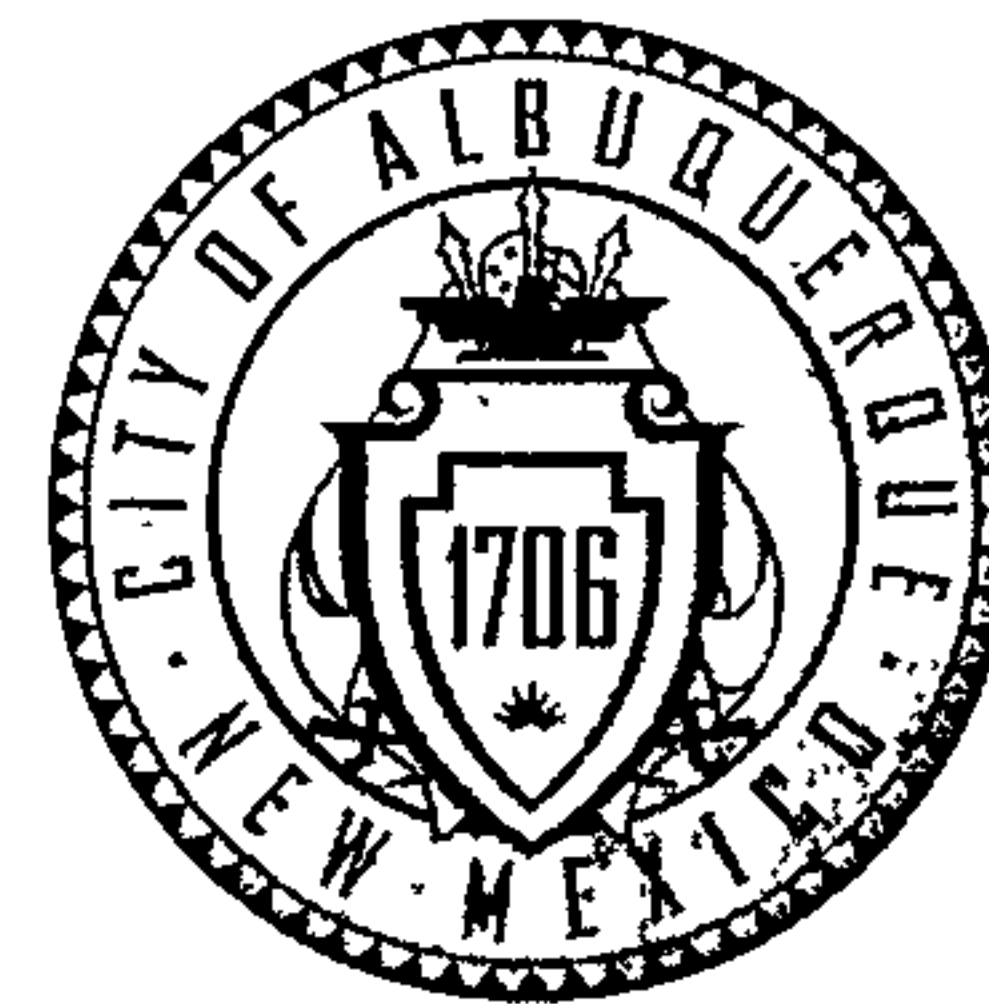
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: ☒

*Rec'd by
Monica Ortiz
10/11/2016*

CITY OF ALBUQUERQUE



November 16, 2016

David J. Pacheco
6721 Mariposa Place NW
Albuquerque, NM 87120

**Re: Patz – Warehouse/Apartment
406 Veranda NW
Traffic Circulation Layout
Architect's Stamp dated 09-14-16 (G14D088)**

Dear Mr. Pacheco,

The TCL submittal received 11-15-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

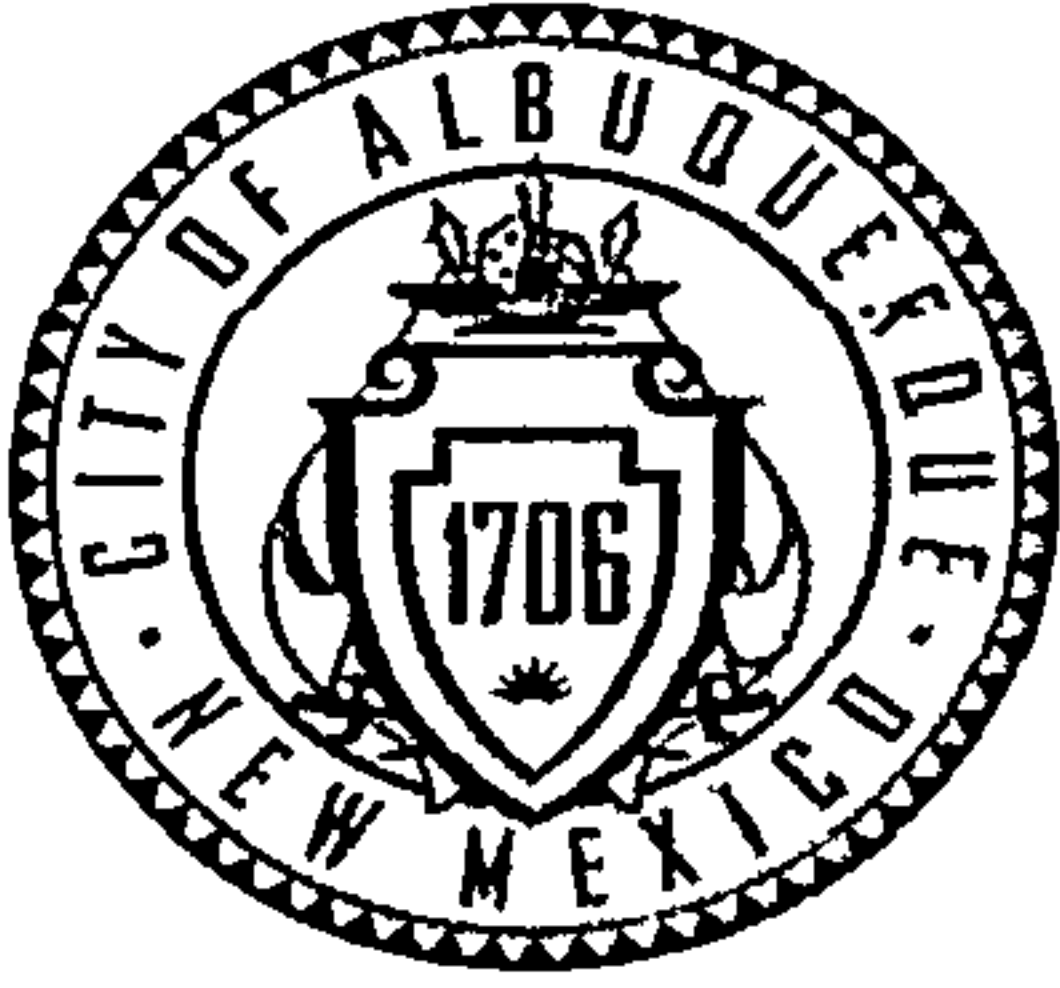
mao via: email
C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Patz Warehouse Building Permit #: 2016-00557 Hydrology File #: G14D088
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1B, Block 17, Monk Bridge ADDN Pin ABQ216080
City Address: 406 Veranda NW 87107

Applicant: Logan Patz Contact: Logan Patz
Address: 7312 Appomattox PINE
Phone#: 505-450-3244 Fax#: _____ E-mail: L.Patz@LTU.edu

Other Contact: _____ Contact: David Pacheco
Address: 6721 Navajosa Pl NW 87120
Phone#: (505) 899-1920 Fax#: _____ E-mail: djp@albug@iol.com
cell (505) 239-8585

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____

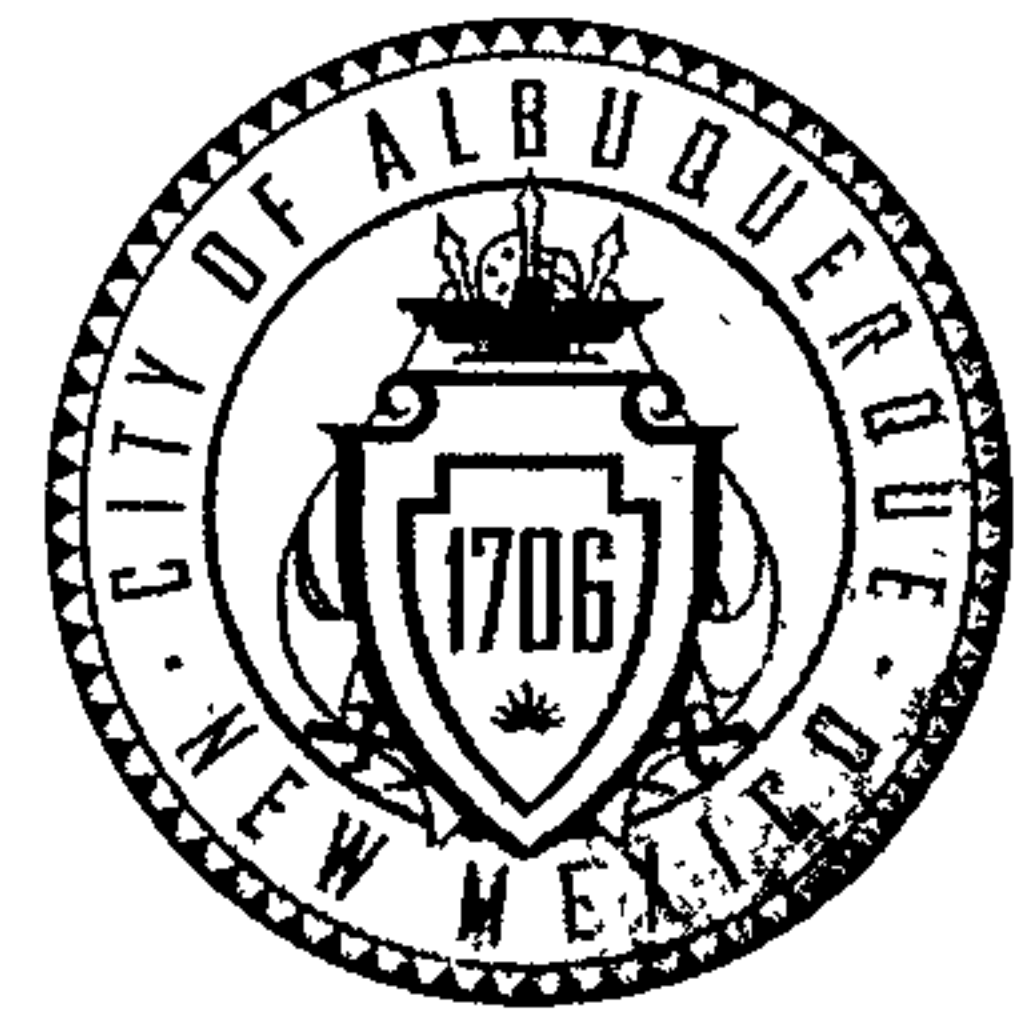
IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 11/15/16 By: Logan Patz

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: mt FEE RECEIVED: _____

11/15/2016

CITY OF ALBUQUERQUE



October 20, 2016

David J. Pacheco
6721 Mariposa Place NW
Albuquerque, NM 87120

Re: Patz – Warehouse/Apartment
406 Veranda NW
Traffic Circulation Layout
Architect's Stamp 09-14-16 (G14D088)

Dear Mr. Pacheco,

Based upon the information provided in your submittal received 10-14-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

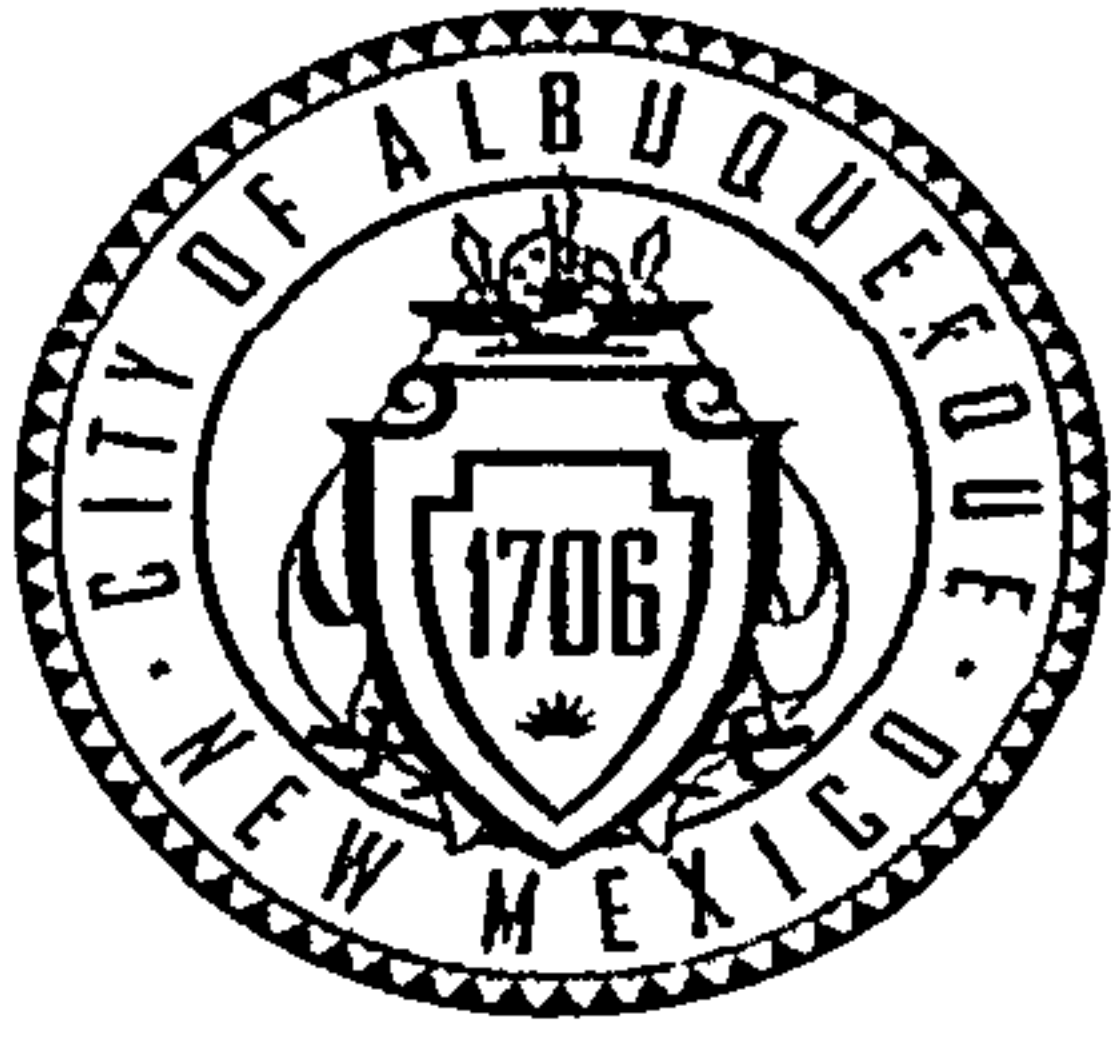
1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Identify the right of way width, medians, curb cuts, and street widths on Veranda NW.
3. The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide.
4. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
5. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
6. Please dimension the 6 ft. wide ADA accessible pedestrian pathway required from the public sidewalk to the building entrances. Please locate pedestrian path to abut next to the west end side buffer landscape area.
7. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

mao via: email
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz - Warehouse / Apartment Building Permit #: 2016-00557 City Drainage #: 614D088

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot B1 Block 17 Subdivision Monkbridge A ODN

City Address: 406 Veranda NW Albuquerque NM 87107

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: Logan Patz Contact: Logan Patz

Address: 7312 Appomattox Albuquerque NM 87109

Phone#: 505-450-3244 Fax#: _____ E-mail: LPatz@LTH.edu

Architect: David J Pacheco Architect Contact: David Pacheco

Address: 6721 Mariposa Place NW Albuquerque NM 87110

Phone#: 505-239-9595 Fax#: _____ E-mail: DJPacheco@aol.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 10/14/2016 By: Logan Patz

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____