# CITY OF ALBUQUERQUE

November 4, 2016

Richard J. Berry, Mayor

Joseph J. Casares, Jr., P.E. JCII Group, LLC 7225 Arenoso Pl NW Albuquerque, NM, 87120

RE: Patz Warehouse

Grading and Drainage Plan

Engineer's Stamp Date 11-1-2016 (File: G14D088)

Dear Mr. Casares:

Based upon the information provided in your submittal received 11-03-2016, the above referenced Grading and Drainage Plan is approved for Building Permit.

We do recommend that an edge treatment for the asphalt improvements is considered, but it is not a requirement.

PO Box 1293

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Albuquerque

New Mexico 87103

www.cabq.gov

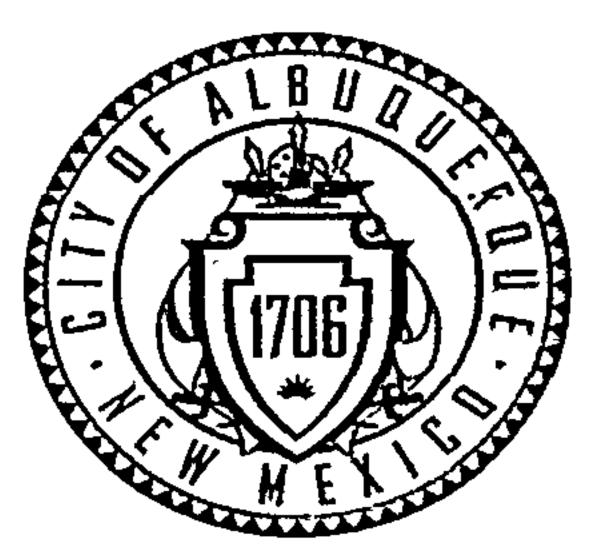
Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.

Development Review Services

Orig:

Drainage file



### Planning Department

#### Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz Whaw	house/Apartment	Building Permit #2016-00557 City Drainage #: 614-008
DRB#:	' EPC#:	Work Order#:
Legal Description: Lot 1B	Block 17 Subdivision Monk La RD. NM 87107	Bridge
City Address: 406 /cran	da RD. NM 87107	
Engineering Firm: 5/11	Commo 1-10	Contact: Joe Ca Soure 5
Address: 700C Arongo	Group LLC. PL NN. Alb NM-87120	Comaca <u>Ope Casques</u>
Phone#: 505-264-6918	Fax#:	E-mail: Joe. Casques @G.Mail.com
$\Omega . I =$		
	matter PLNG Alb NM 6710	Contact: Logun Patz
Phone#:	Fax#:	E-mail: LPa+2 P/TU.edu
Architect: Pavid Pache		Contact: David Pachao
Address: 6721 May 100	sa Alb NM 87120	
Phone#: 234-4545	Fax#:	E-mail: dj palhou @ AOL. com
Other Contact:		Contact:
Address:		• • • • • • • • • • • • • • • • • • • •
Phone#:	Fax#:	E-mail:
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GRADING PLAN		SIA/ RELEASE OF FINANCIAL GUARANTEE
DRAINAGE MASTER PI	LAN	FOUNDATION PERMIT APPROVAL
DRAINAGE REPORT		GRADING PERMIT APPROVAL
CLOMR/LOMR		SO-19 APPROVAL
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EROSION & SEDIMENT		WORK ORDER APPROVAL CLOMR/LOMR
		CLOMIC/LOMIC
OTHER (SPECIFY)		PRE-DESIGN MEETING
IS THIS A RESUBMITTAL?:	Yes No	OTHER (SPECIFY)
DATE SUBMITTED: 11/		agan Pat2

#### Rael, Rudy E.

From:

Rael, Rudy E.

Sent:

Monday, October 24, 2016 3:05 PM

To:

'Joe.Casares@gmail.com'

Subject:

Patz Warehouse

#### Mr. Casares

This email is being sent in lieu of an attached comment letter in order to expedite our comments.

Response to comments should continue to be included in the resubmittal process. A reply to these comments via email will not be considered a resubmittal.

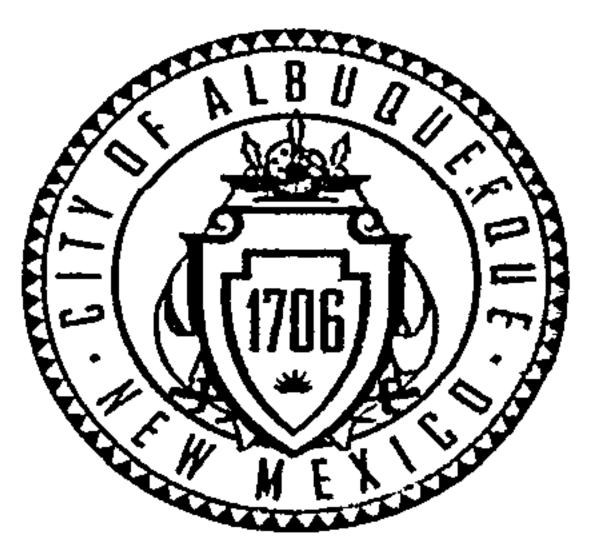
Based upon the information provided in your submittal received 10/11/16, the above referenced Grading and Drainage plan dated 8/16/16

cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- Provide build notes on the G&D plan.
- Label the trash enclosure.
- Provide the distance's from the building to property line.
- Is curbing provided at the edge of all pavement? If so, how will flows enter the ponds or swales?
- How is roof water being harvested?
- Provide roof flows.
- Provide a FIRMette from the FEMA web site or mention the map page and what flood zone the property is located.
- Is the 3/4" rod a monument or a survey stake?

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986.

Rudy E. Rael, CE, CFM
Engineer Associate, Hydrology
Planning Department
600 2nd St. NW Suite 201
Albuquerque NM 87102
(505) 924-3977



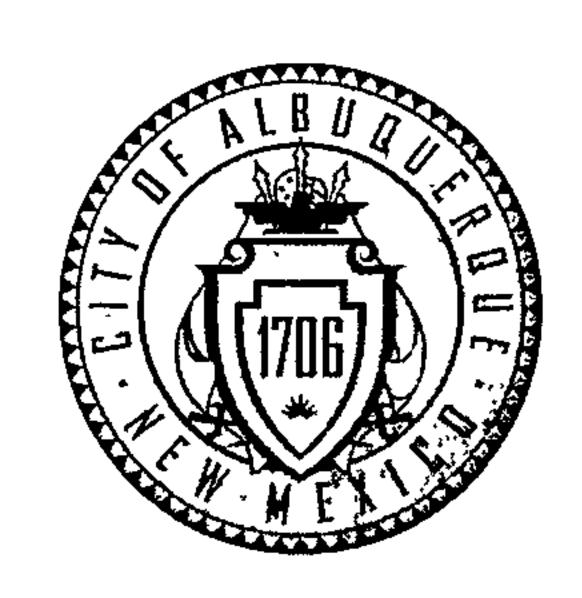
#### Planning Department

#### Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz WHavehouse / Appartment	Building Permit #: 2016-00557 City Drainage #: (2141)0
DRB#:	Work Order#:
Legal Description: Lot 1B Block 17 Subdivision Man	
City Address: 406 Vevanda Rd. N.W 87107	
Engineering Firm: J(// Group, LLC.	Contact: Joe Goves
Address: 7225 Avenoso PL. NW Albaguer 200 NM	
Phone#: $605-264-6918$ Fax#: 0	E-mail: Joe. Crisques @ Gimail. Co
Owner: Logan Patz	Contact: Logan Pat 2
Address: 73/2 Appoination Pl 1/8 Alberg	WALL ALAN STING
Phone#: 505-450-3244 Fax#:	E-mail: LPatz@LTU.edu
_	
Architect: David Pacheco	Contact: David Pacheco
Address: 6721 Mariposa Albagurgu NM 87/2	
Phone#: 2399595 Fax#:	E-mail: djpalbug@A-01.Com
Other Contact:	Contact:
Address:	
Phone#: Fax#:	E-mail:
	X BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY
TYPE OF SUBMITTAL:	PRELIMINARY PLAT APPROVAL
ENGINEER/ ARCHITECT CERTIFICATION	SITE PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	SITE PLAN FOR BLDG. PERMIT APPROVAL
GRADING PLAN	FINAL PLAT APPROVAL
DRAINAGE MASTER PLAN	SIA/ RELEASE OF FINANCIAL GUARANTEE
DRAINAGE REPORT	FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL
CLOMR/LOMR	SO-19 APPROVAL
	PAVING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	GRADING/ PAD CERTIFICATION
TRAFFIC IMPACT STUDY (TIS)	WORK ORDER APPROVAL
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LOMR
OTHER (SPECIFY)	
	PRE-DESIGN MEETING OTHER (SPECIFY)
IS THIS A RESUBMITTAL?: Yes No	OTHER (SPECIFI)
DATE SUBMITTED:	
OA STAFF: ELECTRONIC SUBMITTAL RECEIVED:	

# CITY OF ALBUQUERQUE



November 16, 2016

David J. Pacheco 6721 Mariposa Place NW Albuquerque, NM 87120

Patz – Warehouse/Apartment

406 Veranda NW

**Traffic Circulation Layout** 

Architect's Stamp dated 09-14-16 (G14D088)

Dear Mr. Pacheco,

The TCL submittal received 11-15-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Albuquerque

PO Box 1293

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

via: email mao File

Sincerely,



## Planning Department

#### Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Pat 2 When house Building Pe	rmit #: 2016-00557 Hydrology File #: G14D088
DRB#: EPC#:	Work Order#:
Legal Description: Lot 1B, Block 17, Monk Bridge City Address: 406 Vevanda NW 87107	e ADDN Pin ABQ216080
City Address: 406 Vevanda NW 87107	
City riddioss.	
Applicant: Logan Patz	Contact: Logan Pat 8
Address: 73/2 Appoint fox PINE	10.5.5
Phone#: 505-450-3244 Fax#:Fax#:	E-mail: LPatz@LTU.edu
Other Contact:	Contact: David Pacheco
Address: 6721 Maviposa PL NW 87120	
Phone#: (505) 899-1920 Fax#:	E-mail: dipalhug@dol.com
cell (505) 239-1595	
Check all that Apply:	
DEPARTMENT:	TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
HYDROLOGY/ DRAINAGE	BUILDING PERMIT APPROVAL
TRAFFIC/ TRANSPORTATION	CERTIFICATE OF OCCUPANCY
MS4/ EROSION & SEDIMENT CONTROL	GRADING/ESC PERMIT APPROVAL
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CLOMR/LOMR	SIA/ RELEASE OF FINANCIAL GUARANTEE
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TRAFFIC CIRCULATION LAYOUT (TCL)	SO-19 APPROVAL
	PAVING PERMIT APPROVAL
TRAFFIC IMPACT STUDY (TIS)	GRADING/ PAD CERTIFICATION
NEIGHBORHOOD IMPACT ASSESMENT (NIA)	WORK ORDER APPROVAL
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EROSION & SEDIMENT CONTROL PLAN (ESC)	**** ** ******************************
OTHER (SPECIFY)	PRE-DESIGN MEETING?
	OTHER (SPECIFY)
IS THIS A RESUBMITTAL?: Y Yes No	
DATE SUBMITTED: 11/15/16 By:	ogan Patz
······································	<u>Y</u>
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:	FEE RECEIVED:
11/15/2014	

# CITY OF ALBUQUERQUE

October 20, 2016

David J. Pacheco 6721 Mariposa Place NW Albuquerque, NM 87120

Re: Patz – Warehouse/Apartment

406 Veranda NW

**Traffic Circulation Layout** 

Architect's Stamp 09-14-16 (G14D088)

Dear Mr. Pacheco,

Based upon the information provided in your submittal received 10-14-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.

2. Identify the right of way width, medians, curb cuts, and street widths on Veranda NW.

The handicap accessible spaces must include an access aisle. Van accessible aisles should be 8ft wide.

The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." Please call out detail and location of HC signs.

PO Box 1293

buquerque

The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

Please dimension the 6 ft. wide ADA accessible pedestrian pathway required from the public sidewalk to the building entrances. Please locate pedestrian path to abut next to the west end side buffer landscape area.

1/2. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to PLNDRS@cabq.gov at time of resubmittal. If you have any questions, please contact

me at (505) 924-3981.

Sincerely,

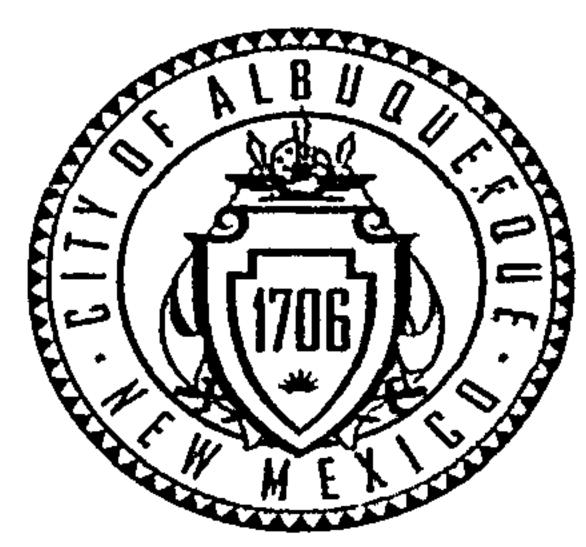
Monica Ortiz

Plan Checker/Transportation & Hydrology

**Development Review Services** 

mao via: email C: File

Albuquerque - Making History 1706-2006



#### Planning Department

#### Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Patz-Whavehouse [appointment]  ORB#:  EPC#:	Building Permit #: 2016-00557City Drainage #: 614  Work Order#:
egal Description: Lot BI Block17 Subdivision Mo	
ity Address: 406 Veranda NW Albuquer gan	NM 87107
ngineering Firm:	Contact:
ddress:	Contact.
hone#:	E-mail:
wner: <u>Logan Pet 2</u>	Contact: Logan Pat &
ddress: 73/2 Appoma Hox Albuguerque hone#: 505-450-3244 Fax#:	VNM 97104
hone#: <u>505-450-3244</u> Fax#:	E-mail: <u>LPatz@LTU·edu</u>
rchitect: David J Pacheco Architect	Contact: David Packeco
Address: 6721 Mariposa Place NW Albuquerge Hone#: 505-239-9595 Fax#:	w 11M 9710
hone#: 505-239-9595 Fax#:	E-mail: DIPalbug @ acol. cow
Other Contact:	Contact:
Address:	
Phone#:	E-mail:
Check all that Apply:  DEPARTMENT:  HYDROLOGY/ DRAINAGE  TRAFFIC/ TRANSPORTATION	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT  BUILDING PERMIT APPROVAL  CERTIFICATE OF OCCUPANCY
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