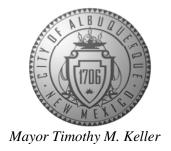
# CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



December 18, 2018

Shawn Biazar SBS Construction & Engineering, LLC. 10209 Snowflake Ct. NW Albuquerque, NM 87114

RE: 417 Headingly Ave, N.E

**Request for Certificate of Occupancy - Permanent** 

**Hydrology Final Inspection - Approved** 

**Grading Plan Stamp Date 3/18/18** 

**Engineer's Certification Dated: 12/17/18** 

**Hydrology File: G14D090** 

Dear Mr. Biazar:

PO Box 1293 Based on the submittal received on 12/17/18, this certification is approved in support of

Permanent Certificate of Occupancy by Hydrology.

Albuquerque If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

NM 87103 Sincerely,

www.cabq.gov Dana Peterson, P.E.

Senior Engineer, Planning Dept. Development and Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle

#### Location

Lot 2-A, Block 10, Monkbridge Garden Addition, is located at 417 Headingly Ave., NW containing 0.1291 acre. See attached portion of Vicinity Map G-14-Z for exact location.

#### Purpose

The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvement for Lot 2-A, Block 10, Monkbridge Garden Addition.

## **Existing Drainage Conditions**

This lot is very flat and drains south into Headingly Ave., NW and no other offiste flows enters this site. There is existing block walls to the north and east property lines. There are existing gravel on site and some grading has been done.

#### **Proposed Conditions and On-Site Drainage Management Plan**

There are existing block walls to the north and east. A new block wall is proposed for west property line. We are porposing to retain all the developed flow minus the historical flow. The total volume requirement under this condition is 1,026.56 CF. We are proposing four ponds with total volume provided of 1,135.72 CF wich includes the first flush volume requirement of 106.14 CF.

## VOLUME CALCULATIONS FOR 10 DAY STORM (UNDER EXISTING CONDITIONS)

	BASIN	AREA	(SF)	AREA	(AC)	AREA	(MI²)
ſ	ON-SITE	5,624	4.00	0.12	291	0.00	7375

 $E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$ 

V-360 = E(AA + AB + AC + AD)

EA = 0.35 EB = 0.78 EC = 1.13 ED = 2.12 AA = 50.00% AB = 50.00% AC = 0.00% AD = 0.00% P-60 = 2.01 P-360 = 2.35 P-1440 = 2.75

P-10 Day = 3.95

E = 0.5650 IN

V-360 = 0.0061 AC-FT

AD = 0.0000 AC

V-10 DAY = 0.0061 AC-FT

V-10 DAY = 264.80 CF

VOLUME CALCULATIONS FOR 10 DAY STORM (UNDER PROPOSED CONDITIONS)

BASIN	AREA (SF)	AREA (AC)	AREA (MI²)	
ON-SITE	5,624.00	0.1291	0.007375	

 $E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$ 

V-360 = E(AA + AB + AC + AD)

EB = 0.78 EC = 1.13 ED = 2.12 AA = 0.00% AB = 24.00% AC = 10.00% AD = 66.00% P-60 = 2.01 P-360 = 2.35 P-1440 = 2.75 P-10 Day = 3.95 E = 1.6994 IN

EA = 0.35

E = 1.6994 IN V-360 = 0.0183 AC-FT AD = 0.0852 AC V-10 DAY = 0.2187 AC-FT V-10 DAY = 1,291.71 CF

### V (REQUIRED) = 1,291.36 - 264.80 = 1,026.56 CF

#### PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)

VOLUME REQUIRED = 0.34 INCHES x IMPERVIOUS AREA =  $(0.34/12 \times 3,746.00) = 160.14$  CF

## PONDING VOLUME CALCULATION

TOTAL POND AREA PROVIDED = PONDING CALCULATIONS:

POND A:
AREA @ ELEV. 70.60 = 739.00 SF
AREA @ ELEV. 69.85 = 650.00 SF
POND VOLUME=(739.00+650.00)/2\*0.75=520.88 CF

POND B:
AREA @ ELEV. 70.60 = 535.00 SF
AREA @ ELEV. 69.85 = 430.00 SF
POND VOLUME=(535.00+430.00)/2\*0.75=361.88 CF

POND C:
AREA @ ELEV. 70.10 = 248.30 SF
AREA @ ELEV. 69.35 = 248.10 SF
POND VOLUME=(248.30+248.30)/2\*0.75=186.22 CF

POND D:
AREA @ ELEV. 70.10 = 89.00 SF

## DRAINAGE CERTIFICATION

POND VOLUME=(89.00+89.00)/2\*0.75=66.75 CF

520.88 + 361.88 + 186.22 + 66.75 = 1,135.72 CF

AREA @ ELEV. 69.60 = 89.00 SF

TOTAL PONDING VOLUME PROVIDED =

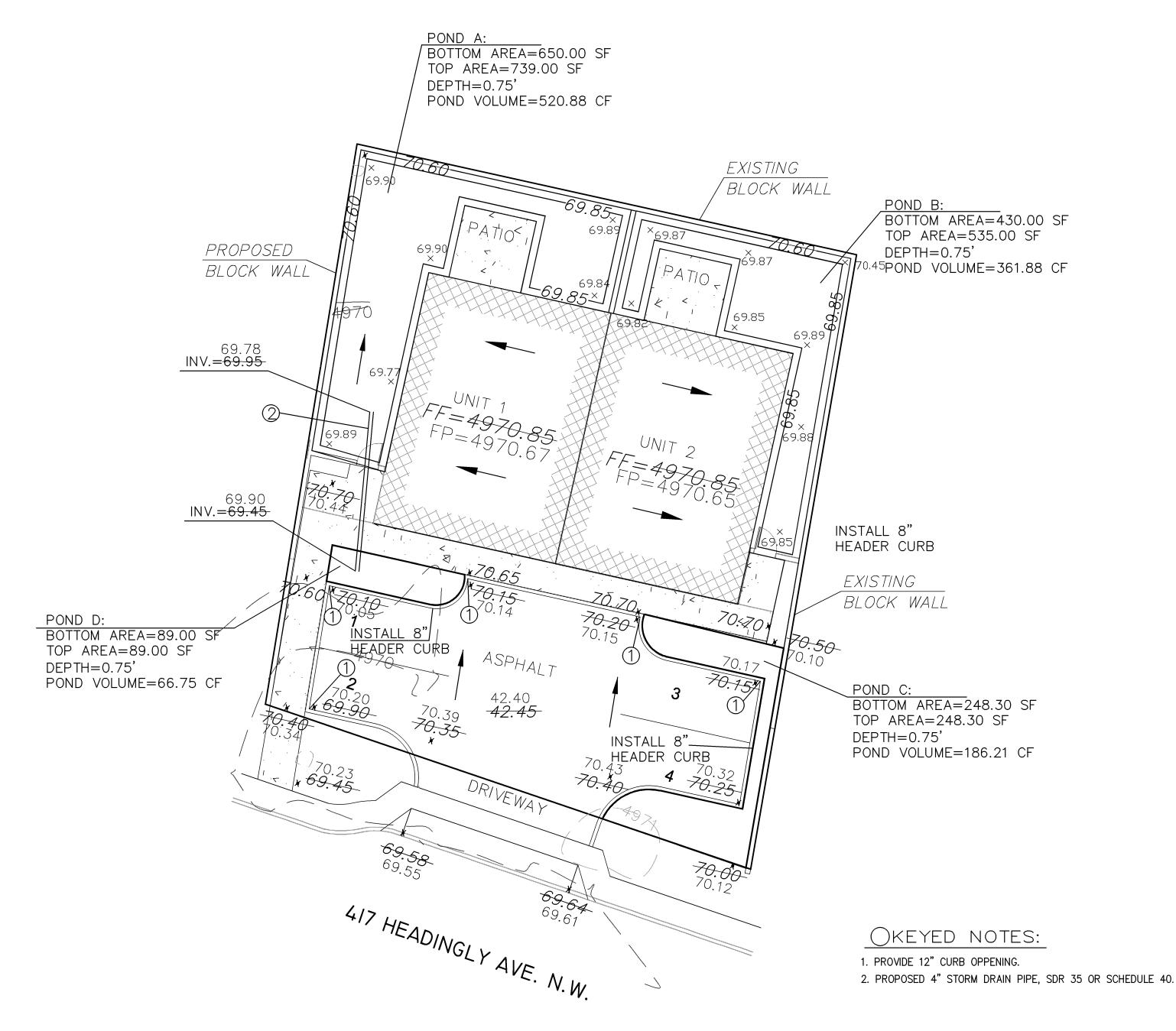
I, REZA AFAGHPOUR , NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC , HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03-18-2018 . THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 9801 LEONARD MARTINEZ , OF SBS CONSTRUCTION AND ENGINEERING . I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY .

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

12/17/2018

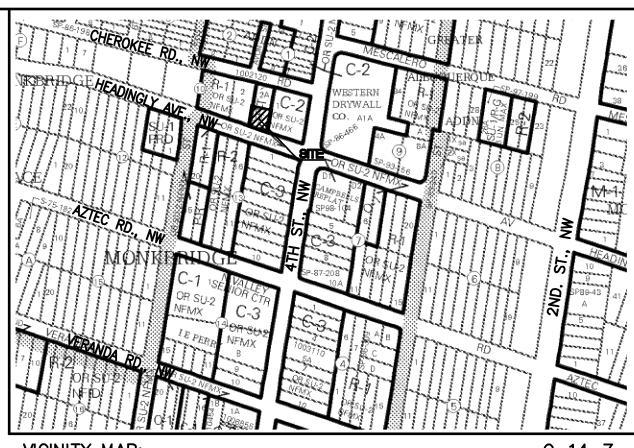
REZA AFAGHPOUR, NMPE 11814

DATE



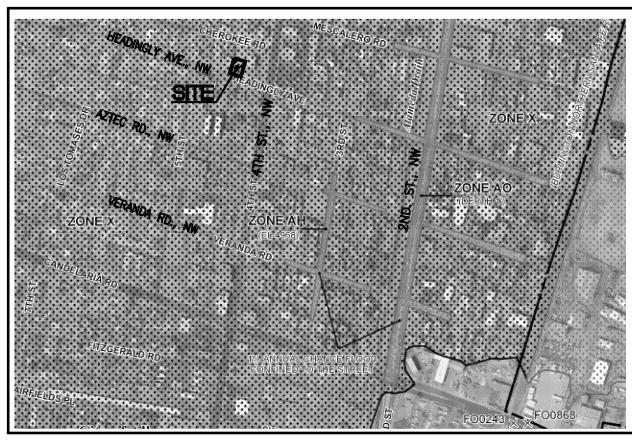
## GENERAL NOTES:

- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 20\_G14, HAVING AN ELEVATION OF 4971.007 FEET ABOVE SEA LEVEL.
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS—BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON—SIDERATIONS.
- 4: THIS IS <u>NOT</u> A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR <u>INFORMATIONAL PURPOSES ONLY.</u>
- 5: SLOPES ARE AT 3:1 MAXIMUM.
- 6: ADD 4900 TO ALL PROPOSED SPOT ELEVATIONS.



VICINITY MAP:

G-14-Z



FIRM MAP:

FM35001C0332G

#### LEGAL DESCRIPTION:

LOT 2-B, BLOCK 10, MONKBRIDGE ADDITION

ADDRESS: 417 HEADINGLY AVE., NW

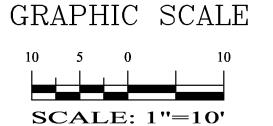
## LEGEND

- - - 5030- - EXISTING CONTOUR (MAJOR) - - 5029- EXISTING CONTOUR (MINOR) BOUNDARY LINE PROPOSED SPOT ELEVATION ¥ 42.70 EXISTING GRADE  $\times$  5029.16 EXISTING FLOWLINE ELEVATION × 5075.65 PROPOSED RETAINING WALL BC = 41.30BOTTOM OF CHANEL TF = 42.00TOP OF FOOTING TRW=45.12 TOP OF RETAINING WALL HIGH POINT 42.40 **42.45** AS-BUILT GRADES 69.77 AS-BUILT SPOT ELEVATIONS FF=5142.30 FP=5142.25



# SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW ALBUQUERQUE, NEW MEXICO 87114 (505)899-5570



417 HEADINGLY AVE., NV
GRADING PLAN

DRAWING: DRAWN BY: DATE: SHEET # 201803-GD.DWG SH-B 3-6-2018



6-14-015

# PRIVATE FACILITY DRAINAGE COVENANT

This Drainage Covenant ("Covenant"), between A&D, LLC							
"Owner"), whose address is <u>5539 Timberfalls Rd., NW, Albuquerque, NM 87114</u>							
and the City of Albuquerque, Nev							
Mexico, a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico							
37103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date							
Owner signs this Covenant.							
1. <u>Recital</u> . The Owner is the current owner of the following described real property							
ocated at [give legal description, and street address]							
LOT 2-A, BLOCK 10, MONKBRIDGE ADDITION							
Address is 417 Headingly Avenue, NW, Albuquerque, NM 87107							
ook 2014C folio 7, as Document No in the records of the Bernalillo							
County Clerk, State of New Mexico (the "Property").							
Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to							
onstruct and maintain certain drainage facilities on the Property, and the parties wish to enter into							
his Covenant to establish the obligations and responsibilities of the parties.							
2. <u>Description and Construction of Drainage Facility</u> . The Owner shall construct the							
ollowing "Drainage Facility" within the Property at the at the Owner's sole expense in accordance							
vith the standards, plans and specifications approved by the City:							
Storm Drain Ponds, Approved Grading And Drainage Plan Engineer Stamp Dated 3-18-2018,							
Iydrology File #G14D090, See Attached Exhibit "A"							

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and made a part hereof.

- 3. <u>Maintenance of Drainage Facility</u>. The Owner shall maintain the Drainage Facility at Owner's sole cost in accordance with the approved Drainage Report and plans.
- 4. <u>Benefit to Property</u>. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit and protection of the Owner's property and that failure to maintain such facility could result in damage or loss to the Property.
- 5. <u>Inspection of Drainage Facility</u>. The City shall have no duty or obligation whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in accordance with approved plans and specifications.

- 6. <u>Liability of City</u>. The Owner understands and agrees that the City shall not be liable to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.
- 7. <u>Indemnification</u>. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.
- 8. <u>Assessment.</u> Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.
- 9. <u>Binding on Owner's Property</u>. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.
- 10. <u>Entire Covenant</u>. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.
- 11. <u>Changes to Covenant</u>. Changes to this Covenant are not binding unless made in writing, signed by both parties.
- 12. <u>Effective Date of Covenant</u>. This Covenant shall be effective as of the date of signature of the Owner.

OWNER:	CITY OF ALBUQUERQUE:						
By [signature]:	By Hon						
Name [print]: Alex Vasquez	Shahab Biazar, P.E., City engineer						
Title:Managing Member	Dated: 5/22/18						
Dated: <u>5-11-2018</u>							
OWNER'S ACKNOWLEDGMENT							
STATE OF NEW MEXICO )							
COUNTY OF BERNALILLO )							
This instrument was acknowledged before me on the	•						
20_18_, byAlex Vasquez Managing Member(title of pe	(name of person signing permit), erson signing permit) of						
A & D, LLC	(Owner).						
(SEAL)							
OFFICIAL SEAL PHYLLIS DIAZ NOTATIV PUBLIC State of New Medico Notary Public My Commission							
CITY'S ACKNOWLEDG	MENT						
STATE OF NEW MEXICO )							
COUNTY OF BERNALILLO )ss							
This instrument was acknowledged before me on the 2018 by Shahab Biazar, P.E., City I a municipal corporation, on behalf of said corporation.	is <u>22nd</u> day of Engineer, of the City of Albuquerque,						
Notary My Co	Public pmmission Expires: 10/4/2021						

