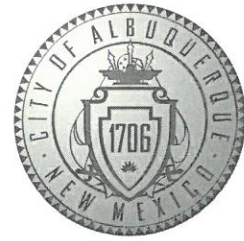


CITY OF ALBUQUERQUE



March 9, 2018

Shawn Biazar
SBS Construction & Engineering, LLC.
10209 Snowflake Ct. NW
Albuquerque, NM 87114

RE: **417 Headingly Ave, N.E**
Grading Plan
Engineer's Stamp Date 3/6/18
Hydrology File: G14D090

Dear Mr. Biazar:

Based on the information provided in your submittal received 3/7/18, the Grading Plan cannot be approved until the following are addressed:

PO Box 1293

Prior to Grading Permit:

Albuquerque

NM 87103

www.cabq.gov

1. The site must demonstrate adequate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances prior to authorizing any increase in runoff.
2. If downstream capacity cannot be demonstrated, onsite ponding of the increased runoff will be required.
3. It is recommended that the finished floor elevations be elevated at least 1 foot above the overflow to the street.

Prior to Building Permit:

4. A Private Facility Drainage Covenant is required for the stormwater ponds. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.
5. The site will need to be graded and Pad Certifications will be required prior to Hydrology approving the residential Building Permits.

CITY OF ALBUQUERQUE



Prior to Certificate of Occupancy:

6. Engineer's Certification, per the DPM Checklist, will be required to ensure the ponds remained intact following home construction.
7. The Private Facility Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: L417 HEADINGLY AVE., NE GRADING PLAN Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 2-A, BLOCK 10, MONKBRIDGE ADDITION

City Address: 417 HEADINGLY AVE., NE

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 3-7-2018 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Location
Lot 2-A, Block 10, Monkbridge Garden Addition, is located at 417 Headingly Ave., NW containing 0.1291 acre. See attached portion of Vicinity Map G-14-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvement for Lot 2-A, Block 10, Monkbridge Garden Addition.

Existing Drainage Conditions
This lot is very flat and drains south into Headingly Ave., NW and no other offsite flows enters this site. There is existing block walls to the north and east property lines.

Proposed Conditions and On-Site Drainage Management Plan
There are existing block walls to the north and east. A new block wall is proposed for west property line. Most of the runoff under the developed conditions will drain to the first flush ponds located at the back (north) of property and in the parking area. The site eventually drains into Headingly Ave., NW. First flush volume requirement for this site is 106.14 cf and total volume provided is 195.14 cf.

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS HALF (1.00) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 20_G14, HAVING AN ELEVATION OF 4971.007 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.
 - 6: ADD 4900 TO ALL PROPOSED SPOT ELEVATIONS.

PONDING VOLUME REQUIREMENTS (90TH PERCENTILE/FIRST FLUSH)

VOLUME REQUIRED = 0.34 INCHES x IMPERVIOUS AREA =
(0.34/12 x 3,746.00) = 160.14 CF

PONDING VOLUME CALCULATION

TOTAL POND AREA PROVIDED =
PONDING CALCULATIONS:

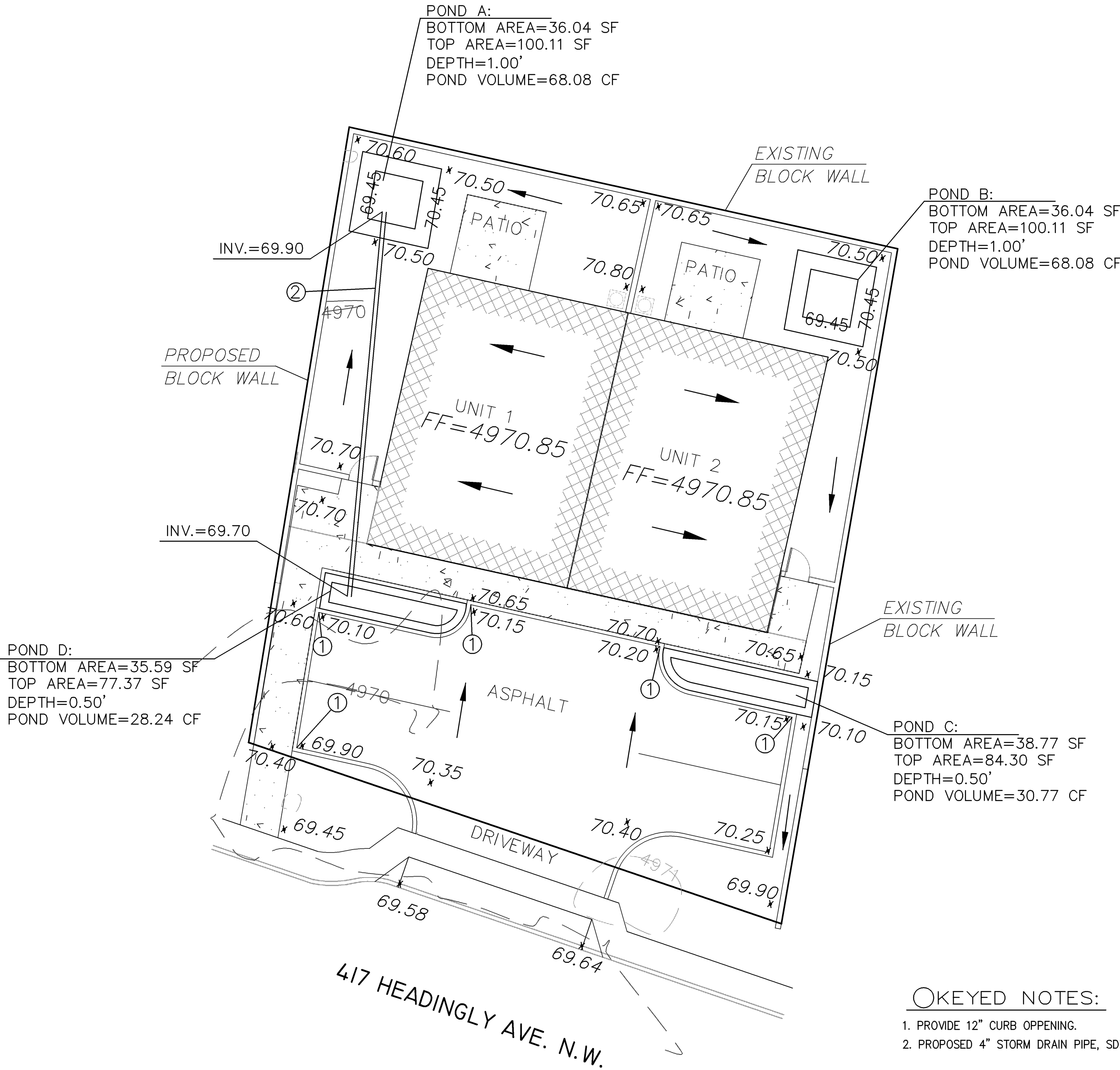
POND A:
AREA @ ELEV. 70.45 = 100.11 SF
AREA @ ELEV. 69.45 = 36.04 SF
POND VOLUME=(100.11+36.56)/2*2=68.08 CF

POND B:
AREA @ ELEV. 70.45 = 100.11 SF
AREA @ ELEV. 69.45 = 36.04 SF
POND VOLUME=(100.11+36.56)/2*2=68.08 CF

POND C:
AREA @ ELEV. 70.15 = 84.30 SF
AREA @ ELEV. 69.655 = 38.77 SF
POND VOLUME=(70.15+38.77)/2*2=30.77 CF

POND D:
AREA @ ELEV. 70.10 = 77.37 SF
AREA @ ELEV. 69.60 = 35.59 SF
POND VOLUME=(77.37+35.59)/2*2=28.24 CF

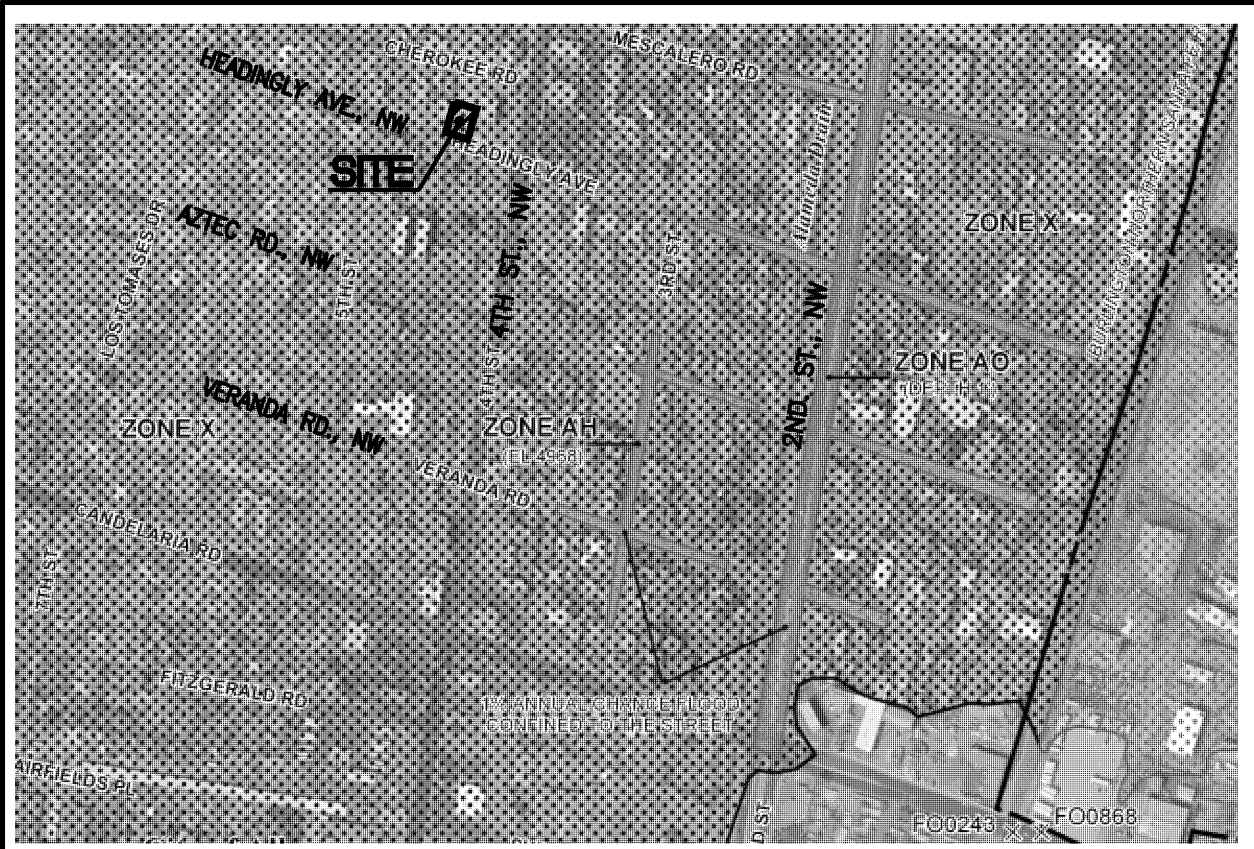
TOTAL PONDING VOLUME PROVIDED =
68.08 + 68.08 + 30.77 + 28.24 = 195.16 CF



- KEYED NOTES:**
1. PROVIDE 12" CURB OPENING.
 2. PROPOSED 4" STORM DRAIN PIPE, SDR 35 OR SCHEDULE 40.



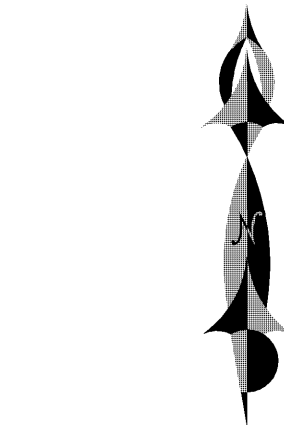
VICINITY MAP: G-14-Z



FIRM MAP: FM35001C0332G

LEGAL DESCRIPTION:
LOT 2-B, BLOCK 10, MONKBRIDGE ADDITION
ADDRESS: 417 HEADINGLY AVE., NW

LEGEND	
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
x 42.70	PROPOSED SPOT ELEVATION
x 5029.16	EXISTING GRADE
x 5075.65	EXISTING FLOWLINE ELEVATION
█	PROPOSED RETAINING WALL
BC=41.30	BOTTOM OF CHANEL
TF=42.00	TOP OF FOOTING
TRW=45.12	TOP OF RETAINING WALL
HP	HIGH POINT
42.40	AS-BUILT GRADES
x 5141.50	AS-BUILT SPOT ELEVATIONS
FF=5142.30	
FP=5142.25	



GRAPHIC SCALE

10 5 0 10
SCALE: 1"=10'



REZA AFAGHPOUR
P.E. #11814

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**417 HEADINGLY AVE., NW
GRADING PLAN**

DRAWING: 201803-GD.DWG	DRAWN BY: SH-B	DATE: 3-6-2018	SHEET # 1
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