



July 17, 2020

Robert C Rayner, RA  
R2 Architectural Design  
PO Box 448  
Albuquerque NM 87103

**Re: Master Tech Automotive**  
**304 Candelaria Road NW**  
**Traffic Circulation Layout**  
Architect's Stamp 07-13-2020 (G14-D093)

Dear Mr. Rayner,

The TCL submittal received 07-15-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

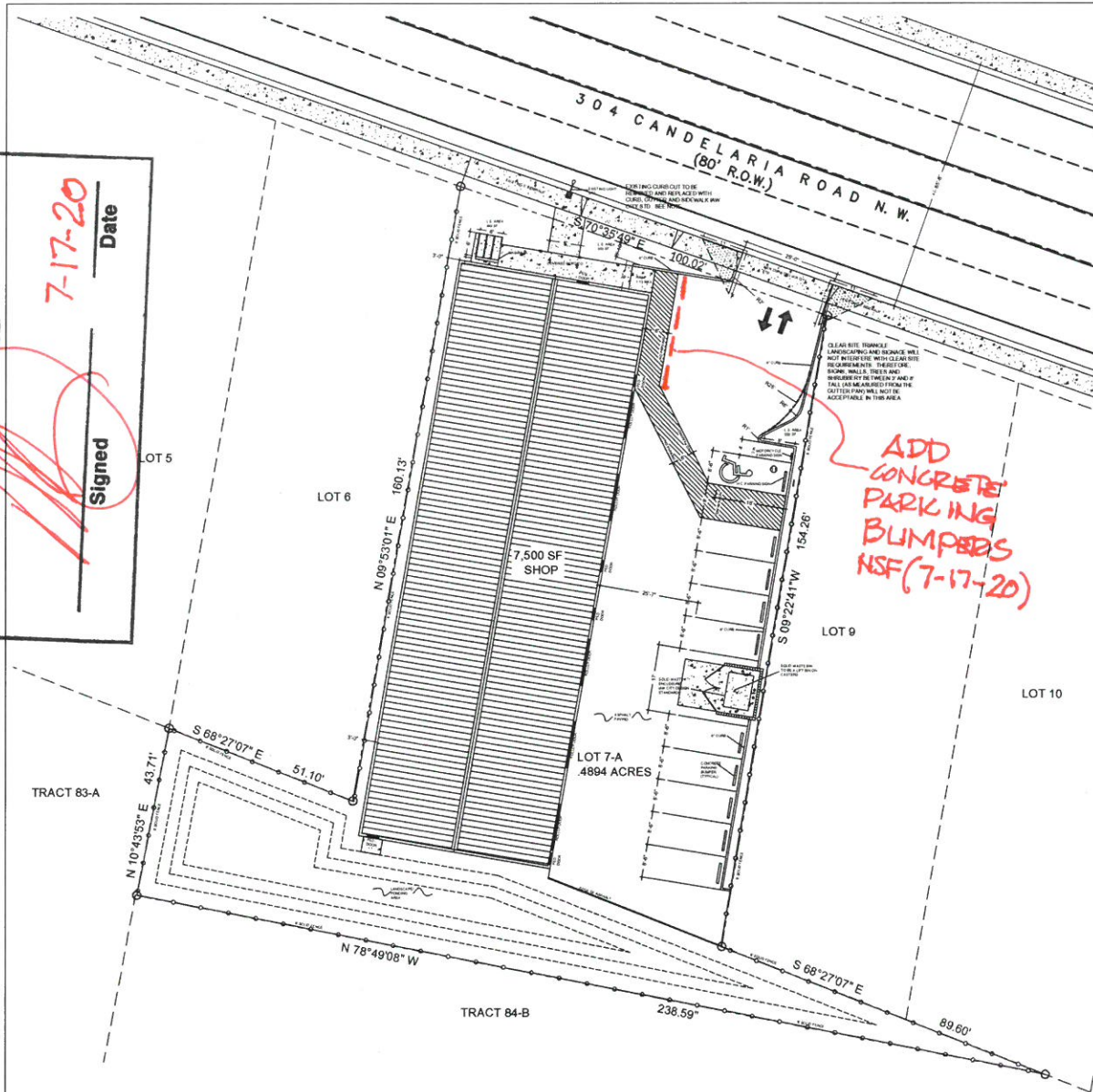
Sincerely,

Nile Salgado-Fernandez, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

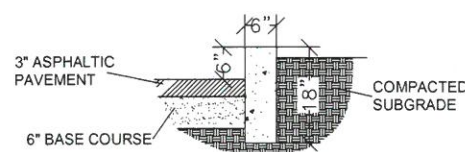
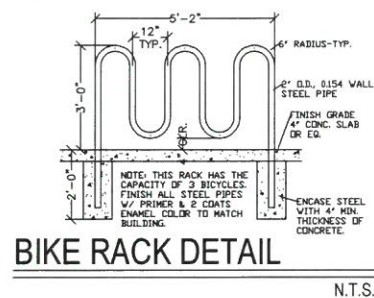
C: CO Clerk, File



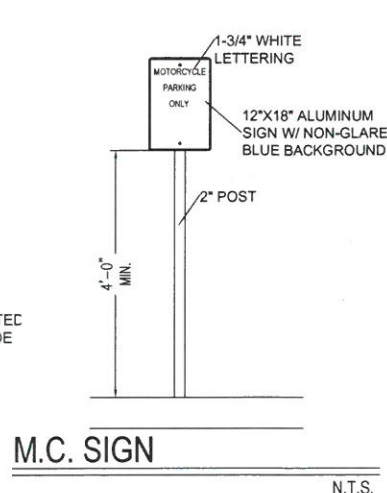
TRAFFIC CIRCULATION LAYOUT  
APPROVED  
7-17-20  
Signed  
Date



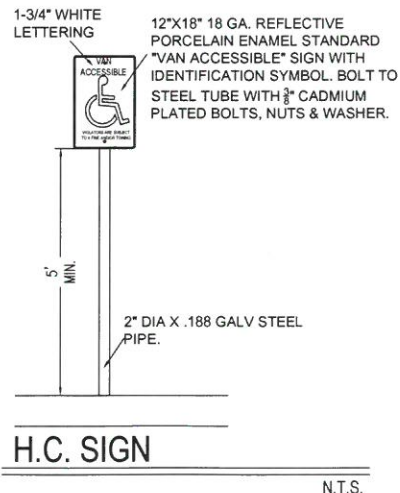
TRAFFIC CIRCULATION LAYOUT  
SCALE: 1"= 20'



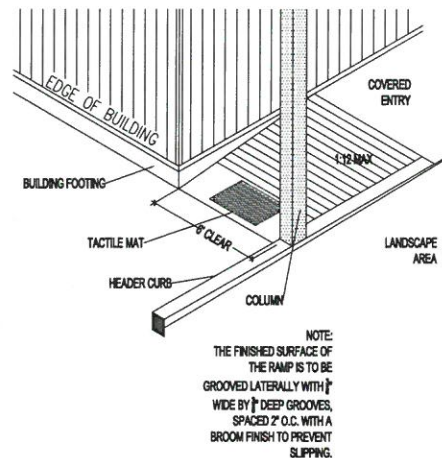
1  
T1  
HEADER CURB DETAIL  
N.T.S.



M.C. SIGN  
N.T.S.



H.C. SIGN  
N.T.S.



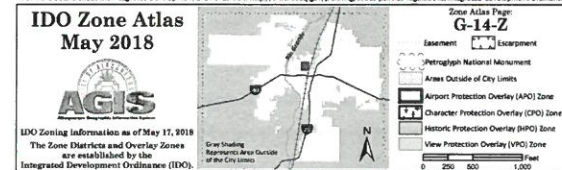
H.C. RAMP DETAIL  
N.T.S.

### GENERAL NOTES:

- EXTERIOR LIGHTING SHALL BE SURFACE MOUNTED ON THE BUILDING EXTERIOR S. ALL LIGHTING SHALL BE FULLY SHIELDED PROVIDING NO UPLIGHTING AND SHALL BE IN ACCORDANCE WITH THE "DARK SKY" REQUIREMENTS. CONTRACTOR SHALL LOCATE ALL UTILITIES THAT ARE SHOWN OR THAT MAY NOT BE SHOWN ON THIS PLAN.
- THE ARCHITECT ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS FOR THESE DRAWINGS. ISSUANCE OF A BUILDING PERMIT IS EVIDENCE OF COMPLIANCE WITH ALL ENFORCED REQUIREMENTS BY THE CITY OF ALBUQUERQUE. CHANGES TO THE PLANS BY THE OWNER & CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR WILL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. IF A CONFLICT WITHIN THE PLANS IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEMS OR DEFECTS CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS WITHIN THE PLANS. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS WILL GOVERN.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.
- SOLID WASTE BIN TO BE A LIFT BIN ON CASTERS.

### BICYCLE RACK NOTES

- ALL BICYCLE RACKS SHALL BE DESIGNED AND INSTALLED ACCORDING TO THE FOLLOWING CRITERIA:
  - THE RACK SHALL BE A MINIMUM OF 30" TALL AND 18" WIDE.
  - THE RACK FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMB. TOASTER RACKS ARE NOT ALLOWED.
  - THE RACK SHALL BE DESIGNED TO SUPPORT THE BICYCLE IN AN UPRIGHT POSITION.
  - THE RACK ALLOWS VARYING BICYCLE FRAME SIZES AND STYLE TO BE ATTACHED.
  - THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK.
  - EACH BICYCLE PARKING SPACE IS ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
- BICYCLE RACKS SHALL BE STURDY AND ANCHORED TO A CONCRETE PAD.
- A 1 FOOT CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED.
- BICYCLE PARKING SPACES SHALL BE AT LEAST 6' LONG AND 2' WIDE.



VICINITY MAP  
N.T.S.

### LEGAL DESCRIPTION:

LT 7-A PLAT OF LOT 7-A DAVIDSON ADDITION  
NO. 2CONT. 4894 AC  
UPC 101406039509640822

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA	21,304 SF
TOTAL BUILDING AREAS	-7,500 SF
AREA NOT REQ'D PARKING	7,067 SF
NET LOT AREA	6,737 SF
REQ'D L/S AREA (15%)	1,011 SF
L/S PROVIDED	1,176 SF

### DESIGN STANDARDS

- ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430.
- ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431.
- ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450.
- ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING.
- ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES.
- UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK, CUR AND GUTTER IAW CITY STD. 2415A & 2430.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED IAW CITY STD. 2450 & 2430.

### EXECUTIVE SUMMARY:

PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 7,500 SF AUTOMOBILE REPAIR SHOP ON A VACANT PARCEL TO INCLUDE LANDSCAPE REQUIREMENTS AND FENCING. STRUCTURAL ELEMENTS SHALL BE OF STEEL CONSTRUCTION (PREFABRICATED METAL BUILDING). THE BUILDINGS WILL NOT BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM. THE PROJECT WILL NOT BE PHASED, AND WILL BE COMPLETELY CONSTRUCTED UNDER ONE BUILDING PERMIT.



R<sup>2</sup> ARCHITECTURAL DESIGN  
PO BOX 448  
ALBUQUERQUE, NEW MEXICO 87103  
TEL: 505.321.3932

NO.	DATE	COMMENTS
1	7-17-20	AS SHOWN

MASTER TECH AUTOMOTIVE  
304 CANDELARIA RD NW  
ALBUQUERQUE, NM  
TRAFFIC CIRCULATION LAYOUT

SHEET  
T-1