CITY OF ALBUQUERQUE

July 17, 2020

Robert C Rayner, RA R2 Architectural Design PO Box 448 Albuquerque NM 87103

Master Tech Automotive 304 Candelaria Road NW **Traffic Circulation Layout** Architect's Stamp 07-13-2020 (G14-D093)

Dear Mr. Rayner,

The TCL submittal received 07-15-2020 is approved for Buildir the stamped and signed plan will be needed for each of the build keep the original to be used for certification of the site for final

When the site construction is completed and an inspection for (C.O.) is requested, use the original City stamped approved TCL any minor changes and adjustments that were made in the architect or engineer must stamp, sign, and date the certif indicating that the development was built in "substantial cor Submit this certification, the TCL, and a completed Drains Information Sheet to front counter personnel for log in and evaluation

Once verification of certification is completed and approved, no Building Safety to issue Final C.O. To confirm that a final C. Building Safety at 924-3690.

Sincerely,

www.cabq.gov

PO Box 1293

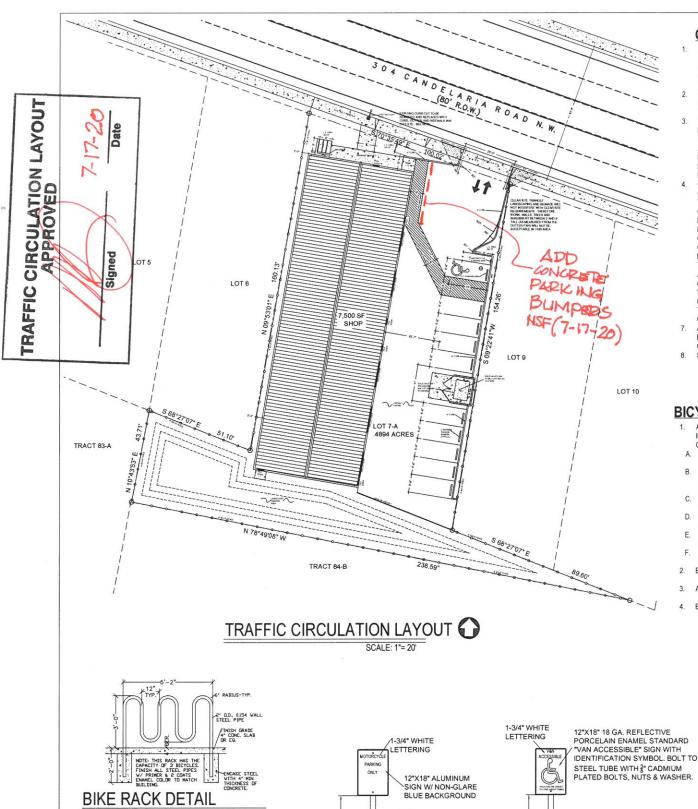
Albuquerque

NM 87103

Nite Salgado-Fernandez, P.E. Senior Engineer, Planning Dept. Development Review Services

CO Clerk, File

| (1706) A F | |
|--|----|
| | |
| | |
| ng Permit with. A copy of ding permit plans. Please C.O. for Transportation. | |
| Certificate of Occupancy for certification. Redline field. A NM registered fication TCL along with mpliance" with the TCL age and Transportation uation by Transportation. | |
| otification will be made to O. has been issued, call | |
| | |
| | |
| | |
| Albuquerque - Making History 1706-200 | 06 |



COMPACTED

SUBGRADE

N.T.SN.T.S.

M.C. SIGN

3" ASPHALTIC PAVEMENT

6" BASE COURSE

HEADER CURB DETAIL

- EXTERIOR LIGHTING SHALL BE SURFACE MOUNTED ON THE BUILDING EXTERIOR S. ALL LIGHTING SHALL BE FULLY SHIELDED PROVIDING NO UPLIGHTING AND SHALL BE IN ACCORDANCE WITH THE "DARK SKY" REQUIREMENTS.
- CONTRACTOR SHALL LOCATE ALL UTILITIES THAT ARE SHOWN OR THAT MAY NOT BE SHOWN ON
- THE ARCHITECT ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS FOR THESE DRAWINGS. ISSUANCE OF A BUILDING PERMIT IS EVIDENCE OF COMPLIANCE WITH ALL ENFORCED REQUIREMENTS BY THE CITY OF ALBUQUERQUE
- CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR WILL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION IF A CONFLICT WITHIN THE PLANS IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT. BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEMS OR DEFECTS CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS WITHIN THE PLANS. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS WILL
- 7. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK

BICYCLE RACK NOTES

- ALL BICYCLE RACKS SHALL BE DESIGNED AND INSTALLED ACCORDING TO THE FOLLOWING
- THE RACK SHALL BE A MINIMUM OF 30" TALL AND
- 18" WIDE. THE RACK FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES COMB. TOASTER RACKS ARE NOT ALLOWED THE RACK SHALL BE DESIGNED TO SUPPORT
- THE BICYCLE IN AN LIPRIGHT POSITION THE RACK ALLOWS VARYING BICYCLE FRAME
- SIZES AND STYULE TO BE ATTACHED. THE USER IS NOT REQUIRED TO LIFT THE BICYCLE ONTO THE BICYCLE RACK. EACH BICYCLE PARKING SPACE IS ACCESSIBLE
- WITHOUT MOVING ANOTHER BICYCLE.
 BICYCLE RACKS SHALL BE STURDY AND
- ANCHORED TO A CONCRETE PAD A 1 FOOT CLEAR ZONE AROUND THE BICYCLE PARKING STALL SHALL BE PROVIDED
- BICYCLE PARKING SPACES SHALL BE AT LEAST 6' LONG AND 2' WIDE.

GENERAL NOTES:

- THIS PLAN.
- CHANGES TO THE PLANS BY THE OWNER &
- ORDER
- 8. SOLID WASTE BIN TO BE A LIFT BIN ON CASTERS.

IDO Zone Atlas G-14-Z May 2018 Arms Outside of City Limits

VICINITY MAP

N.T.S.

LEGAL DESCRIPTION:

LT 7-A PLAT OF LOT 7-A DAVIDSON ADDITION NO. 2CONT .4894 AC UPC 101406039509640822

LANDSCAPE CALCULATIONS

| TOTAL LOT AREA | 21,304 SF |
|------------------------|-----------|
| TOTAL BUILDING AREAS | -7,500 SF |
| AREA NOT REQ'D PARKING | 7,067 SF |
| NET LOT AREA | 6,737 SF |
| REQ'D L/S AREA (15%) | 1,011 SF |
| L/S PROVIDED | 1,176 SF |

DESIGN STANDARDS

- ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING
- ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD DRAWING 2431
- ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD DRAWING 2450
- ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING
- ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES.
- UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK, CUR AND GUTTER IAW CITY STD 2415A & 2430 ALL BROKEN OR CRACKED SIDEWALKS MUST BE

PROJECT DATA

PROJECT: MASTER TECH AUTOMOTIVE 304 CANDALARIA RD NW

ALBUQUERQUE, NM 87107

OWNER 304 CANDALARIA RD NW ALBUQUERQUE, NM 87107 505-319-3459

ARCHITECT: ROBERT RAYNER NM REG# 004948 PO BOX 448 ALBUQUERQUE, NM 87103 505-321-3932

CONTRACTOR: CROSS T CONSTRUCTION PO BOX 1827 SOCORRO, NM 87801

505-838-2334 LIC# (GB-98) 391576

BUILDING CODE: INTERNATIONAL BUILDING CODE (IBC) 2015

NEW MEXICO BUILDING CODE (COMMERCIAL) UNIFORM PLUMBING CODE 2015 UNIFORM MECHANICAL CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL ELECTRIC CODE 2017

ACCESSIBILITY ICC/ANSI A 117.1-2009

SEISMIC DESIGN CATEGORY:

SEISMIC FACTOR: CAT III. (IE) 1.25

CONST. TYPE: V-R BUILDING AREA: 7,500 SF

ALLOWABLE AREA 9,000 SQUARE FEET / ONE STORY

BUILDING 18'-0"

OCCUPANCY: S-1 & B

OCCUPANT LOAD:

CRITERIA:

OFFICE AREA: 312 SF / 100 = 3.12 SHOP/BAYS: TOTAL = 7188 SF / 300 = 23.96 27 OCCUPANTS

FIXTURE COUNT-REQUIRED- 1 MALE AND 1 FEMALE W.C. 1 MALE AND 1 FEMALE LAV

1 DRINKING FOUNTAIN 1 SERVICE SINK

PROVIDED- (2) UNISEX TOILET ROOMS 2 LAV. 2 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK

OCCUPANCY CATEGORY II SEISMIC DESIGN CATEGORY B

SEISMIC IMPORTANCE FACTOR 1.25

PARKING REOD: AUTO REPAIR 1 SPACE FOR EVERY 1,000 GSF IAW IDO 14-16-5-5(C)(1)

PARKING PROVIDED: 13 SPACES , 1 OF WHICH IS H.C. ACCESSIBLE +1 MOTORCYCLE SPACE.
(AND 3 BICYCLE SPACES IN BIKE RACK)

SEISMIC DESIGN SITE CLASSIFICATION "D"

TECH

2 MASTE!
304 CANDELAR
ALBUQUERQUE

AUTOMOTIVE

-SHEET--1

R² ARCHITECTURAL DESIGN
PO BOX 448
ALBUQUERQUE, NEW MEXICO 87
TEL: 505.321.3932

2 m > − 0 − 0 z 0

-20

STRUCTURAL ELEMENTS SHALL BE OF STEEL CONSTRUCTION (PREFABRICATED METAL BUILDING). THE BUILDINGS WILL NOT BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM. THE PROJECT WILL NOT BE PHASED, AND WILL BE COMPLETELY CONSTRUCTED

EXECUTIVE SUMMARY:

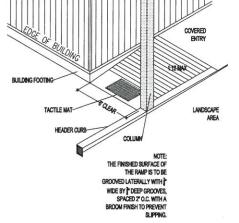
PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 7,500 SF AUTOMOBILE REPAIR SHOP ON A VACANT PARCEL TO INCLUDE LANDSCAPE REQUIREMENTS AND FENCING. UNDER ONE BUILDING PERMIT.

/2" POST 2" DIA X .188 GALV STEEL

N.T.S.



N.T.S.



H.C. RAMP DETAIL

N.T.S.