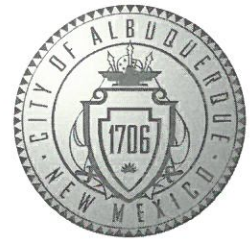


CITY OF ALBUQUERQUE



January 13, 2020

Robert Rayner
R2A Architect Design
PO Box 448
Albuquerque, NM 87103

Re: Master Tech Auto
304 Candelaria Rd NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-25-2019 (G14D093)

Dear Mr. Rayner,

The TCL submittal received 01-07-2020 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

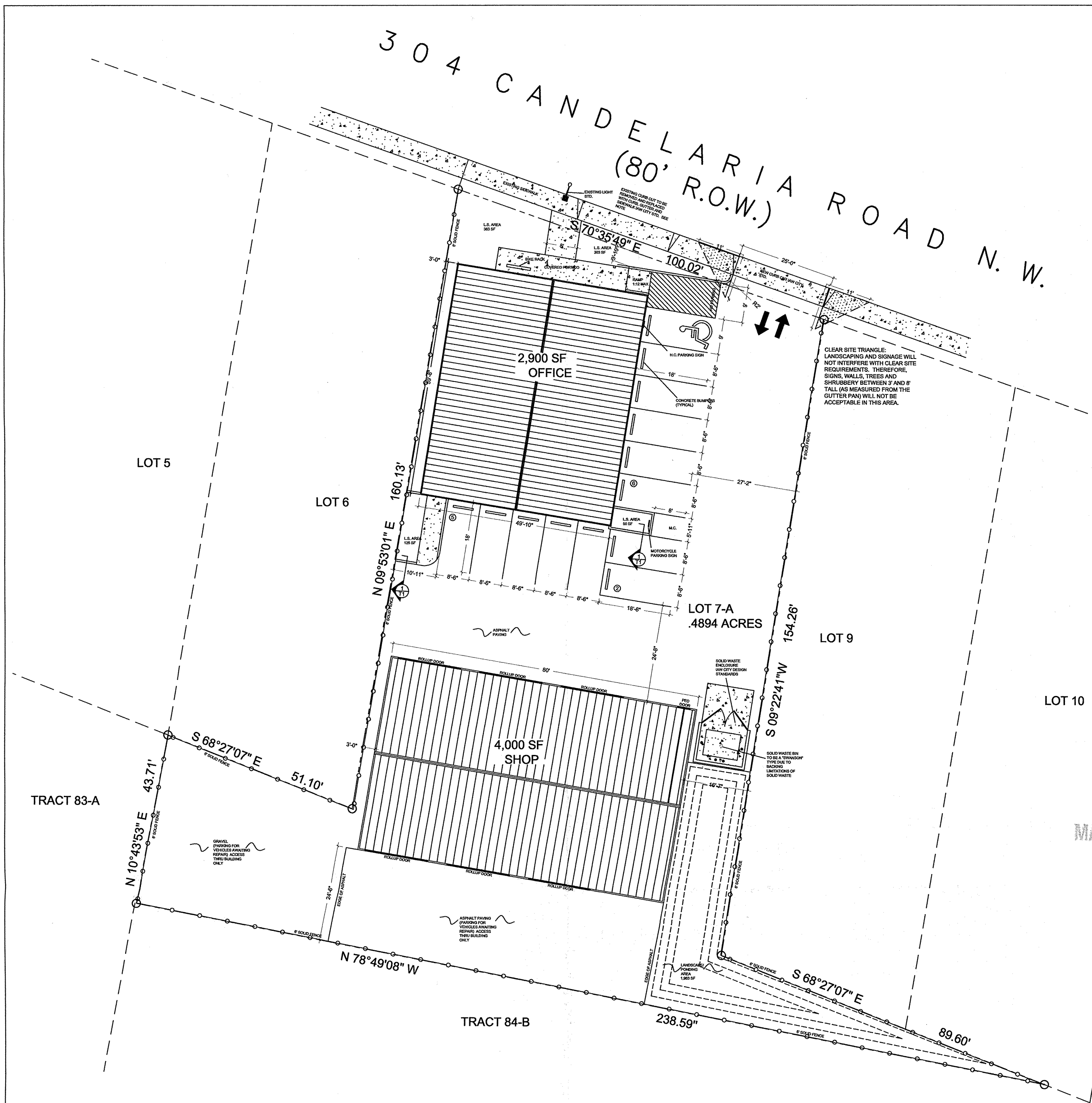
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

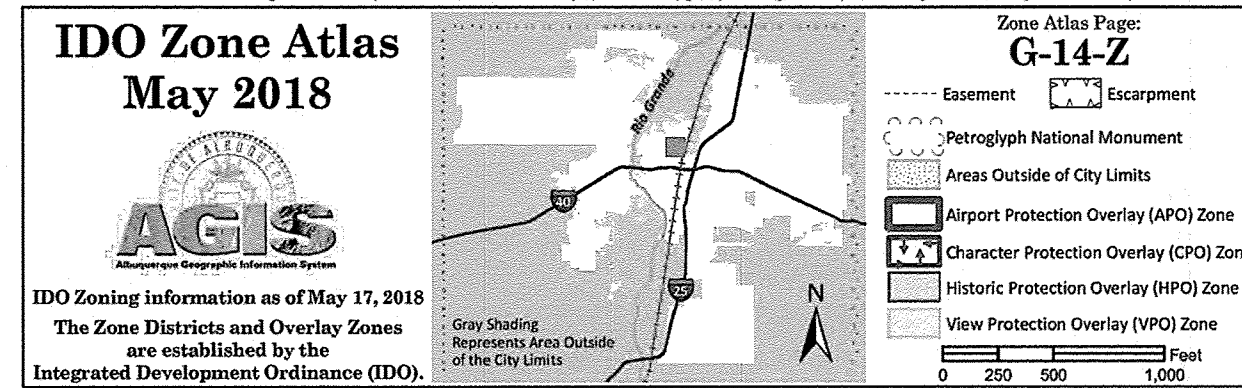
WMM via: email
C: CO Clerk, File



GENERAL NOTES:

- EXTERIOR LIGHTING SHALL BE SURFACE MOUNTED ON THE BUILDING EXTERIOR S. ALL LIGHTING SHALL BE FULLY SHIELDED PROVIDING NO UPLIGHTING AND SHALL BE IN ACCORDANCE WITH THE "DARK SKY" REQUIREMENTS.
- CONTRACTOR SHALL LOCATE ALL UTILITIES THAT ARE SHOWN OR THAT MAY NOT BE SHOWN ON THIS PLAN.
- THE ARCHITECT ACCEPTS RESPONSIBILITY ONLY FOR THOSE DRAWINGS WHICH HAVE AN ORIGINAL SEAL, SIGNATURE, CONSTRUCTION ISSUE DATE AND DATE OF FINAL REVISIONS FOR THESE DRAWINGS. ISSUANCE OF A BUILDING PERMIT IS EVIDENCE OF COMPLIANCE WITH ALL ENFORCED REQUIREMENTS BY THE CITY OF ALBUQUERQUE. CHANGES TO THE PLANS BY THE OWNER & CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. THE CONTRACTOR WILL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. IF A CONFLICT WITHIN THE PLANS IS DISCOVERED, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONSTRUCTION PROBLEMS OR DEFECTS CAUSED BY PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFYING THE ARCHITECT OF CONFLICTS WITHIN THE PLANS. DO NOT SCALE THE DRAWINGS. ALL WRITTEN DIMENSIONS WILL GOVERN.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.
- SOLID WASTE BIN TO BE A "SWANSON" TYPE CONTAINER DUE TO BACKING LIMITATIONS OF SOLID WASTE DEPARTMENT.

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED 1-13-20



VICINITY MAP



LEGAL DESCRIPTION:

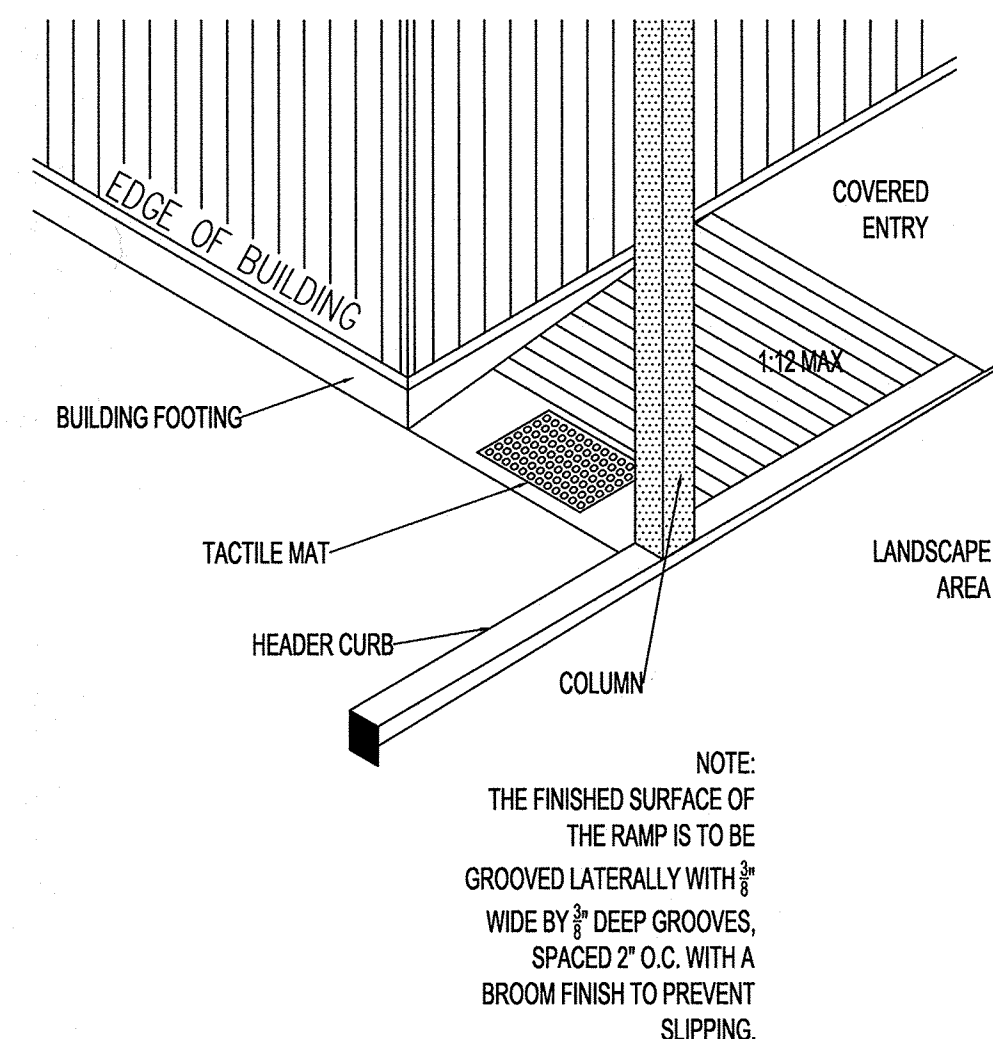
LT 7-A PLAT OF LOT 7-A DAVIDSON ADDITION
NO. 2 CONT. 4894 AC
UPC 101406039509640822

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	21,304 SF
TOTAL BUILDING AREAS	-6,900 SF
AREA NOT REQ'D PARKING	-7,979 SF
NET LOT AREA	6,429 SF
REQ'D L/S AREA (15%)	964 SF
L/S PROVIDED	2,804 SF

DESIGN STANDARDS

- ALL CURB ACCESS RAMPS (DRIVEPADS) SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2425.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO MEET THE CITY OF ALBUQUERQUE STD. DRAWING 2430.
- ALL SIDEWALK OBSTRUCTION SHALL MEET THE STANDARDS OF THE CITY OF ALBUQUERQUE STD. DRAWING 2431.
- ALL SIDEWALK JOINTS AND TRANSITIONS BETWEEN EXISTING AND NEW SIDEWALKS SHALL CONFORM TO THE CITY OF ALBUQUERQUE STD. DRAWING 2450.
- ALL NEW CURB CUTS TO THE SITE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2425 WITH THE GUTTER PROFILE MATCHING EXISTING.
- ALL NEW CURB AND GUTTERS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE CITY STANDARD 2415A, MATCHING EXISTING PROFILES.
- UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK, CUR AND GUTTER IAW CITY STD 2415A & 2430.
- ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPLACED IAW CITY STD. 2450 & 2430.

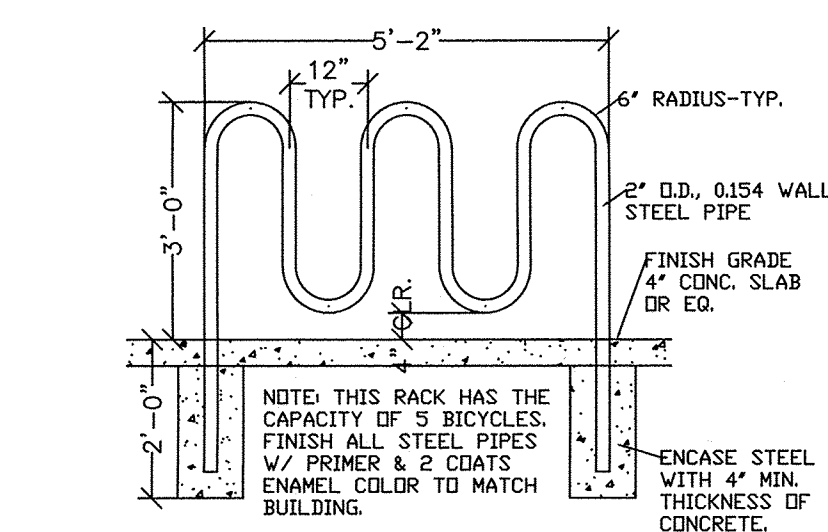


H.C. RAMP DETAIL

N.T.S.

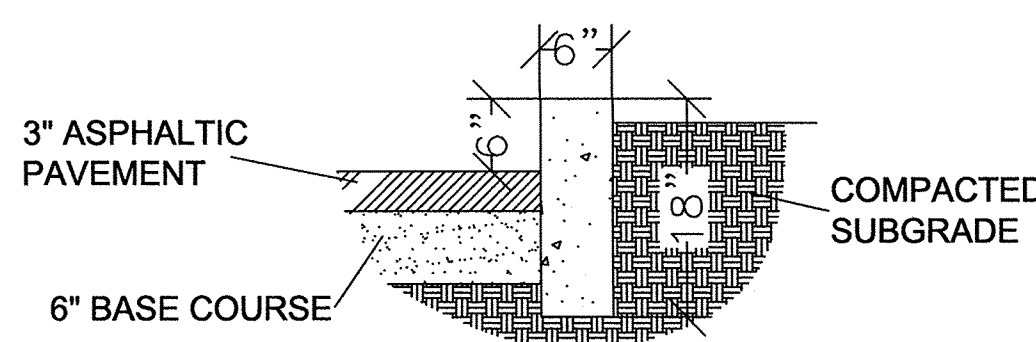
TRAFFIC CIRCULATION LAYOUT

SCALE: 1"= 20'



BIKE RACK DETAIL

N.T.S.

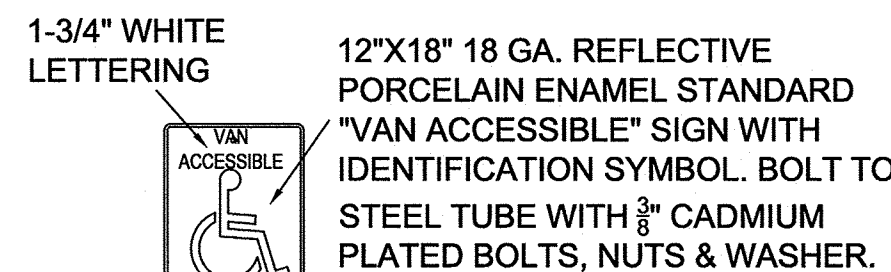


HEADER CURB DETAIL

N.T.S.N.T.S.

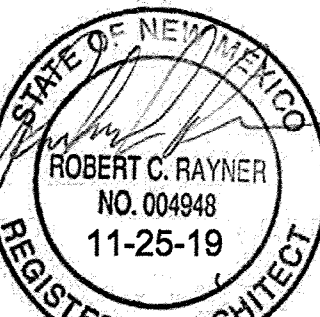
M.C. SIGN

N.T.S.



H.C. SIGN

N.T.S.



R² ARCHITECTURAL DESIGN
PO BOX 448
ALBUQUERQUE, NEW MEXICO 87103
TEL: 505.321.3932

COMMENTS

NO. DATE

RR

DRAWN BY:
CHECKED BY:
DATE:
SCALE:

MASTER TECH AUTOMOTIVE
304 CANDELARIA RD NW
ALBUQUERQUE, NM

-SHEET-

T-1

PROJECT DATA

PROJECT:	MASTER TECH AUTOMOTIVE 304 CANDELARIA RD NW ALBUQUERQUE, NM 87107
OWNER:	ANDREW FOWNER 304 CANDELARIA RD NW ALBUQUERQUE, NM 87107 505-319-3459
ARCHITECT:	ROBERT RAYNER NM REG# 004948 PO BOX 448 ALBUQUERQUE, NM 87103 505-321-3932
CONTRACTOR:	CROSS T CONSTRUCTION PO BOX 1827 SOCORRO, NM 87801 505-838-2334 LIC# (GB-98) 391576
ZONING:	MX-M
BUILDING CODE:	INTERNATIONAL BUILDING CODE (IBC) 2015 NEW MEXICO BUILDING CODE (COMMERCIAL) UNIFORM PLUMBING CODE 2015 UNIFORM MECHANICAL CODE 2015 INTERNATIONAL FIRE CODE 2015 INTERNATIONAL ELECTRIC CODE 2017
ACCESSIBILITY CODE:	ICC/ANSI A 117.1-2009
SEISMIC DESIGN CATEGORY:	D
SEISMIC FACTOR:	CAT III, (IE) 1.25
CONST. TYPE:	V-B
BUILDING AREA:	SHOP: 4000 SF OFFICE: 2900 SF
ALLOWABLE AREA & HEIGHT:	9,000 SQUARE FEET / ONE STORY
BUILDING HEIGHT:	18'-0"
OCCUPANCY:	S-1 & B
OCCUPANT LOAD-OFFICE:	OFFICE AREA: 2900 SF / 100 = 29.0 TOTAL = 29 OCCUPANTS
OCCUPANT LOAD-SHOP:	SHOP/BAYS: 4000 SF / 300 = 13.3 TOTAL = 14 OCCUPANTS
FIXTURE COUNT-OFFICE BLDG:	REQUIRED- 1 MALE AND 1 FEMALE W.C. 1 MALE AND 1 FEMALE LAV 1 DRINKING FOUNTAIN 1 SERVICE SINK PROVIDED- (2) UNISEX TOILET ROOMS 2 LAV. 2 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK
FIXTURE COUNT-SHOP BLDG:	REQUIRED- 1 MALE AND 1 FEMALE W.C. 1 MALE AND 1 FEMALE LAV 1 DRINKING FOUNTAIN 1 SERVICE SINK PROVIDED- (2) UNISEX TOILET ROOMS 2 LAV. 2 W.C. 1 DRINKING FOUNTAIN 1 SERVICE SINK
PARKING REQD:	AUTO REPAIR 1 SPACE FOR EVERY 1,000 GSF 4000 GSF/1000=4 SPACES IAW IDO 14-16-5(C)(1) COMM. SERVICES: 3 SPACE FOR EVERY 1,000 GSF (2800 GSF/1000)X3=8 SPACES IAW IDO 14-16-5(C)(1)
PARKING PROVIDED:	13 SPACES, 1 OF WHICH IS H.C. ACCESSIBLE + 1 MOTORCYCLE SPACE. (AND 3 BICYCLE SPACES IN BIKE RACK)
SEISMIC DESIGN CRITERIA:	SITE CLASSIFICATION "D" OCCUPANCY CATEGORY II SEISMIC DESIGN CATEGORY B SEISMIC IMPORTANCE FACTOR 1.25

EXECUTIVE SUMMARY:

PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 4000 SF AUTOMOBILE REPAIR SHOP AND A 2900 SF OFFICE BUILDING ON A VACANT PARCEL TO INCLUDE LANDSCAPE REQUIREMENTS AND FENCING. STRUCTURAL ELEMENTS SHALL BE OF STEEL CONSTRUCTION (PREFABRICATED METAL BUILDING). THE BUILDINGS WILL NOT BE EQUIPPED WITH A FIRE PROTECTION SPRINKLER SYSTEM. THE PROJECT WILL NOT BE PHASED, AND WILL BE COMPLETELY CONSTRUCTED UNDER ONE BUILDING PERMIT.