

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 27, 2023

Jose Castillo
Insight Construction
3909 12th St. NW
Albuquerque, NM 87107

**Re: Insight Cabinet Shop
2017 Ridgecrest Dr. SE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 05-17-21 (G14-D096)
Certification dated 11-02-22**

Dear Mr. Castillo,

Based upon the information provided in your submittal received 04-21-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved site plan, please install concrete parking bumpers in each parking space.
- Key note N: Please provide directions signage for the site driveway accesses, as mentioned on the approved site plan keynote N.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services
Ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Insight Cabinet Shop **Building Permit #** BP-2021-09295 **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Renovation/addition for new cabinet shop **City Address OR Parcel** 3821 12th Street NW Albuquerque, NM 87107

Applicant/Agent: Jose Castillo **Contact:** _____

Address: 3909 12th Street NW Albuquerque, NM 87107 **Phone:** 505-888-7927 ext 1007

Email: jose.castillo@insightnm.com

Applicant/Owner: Damian Chimenti **Contact:** _____

Address: 3909 12th Street NW Albuquerque, NM 87107 **Phone:** 505-888-7927

Email: Damian@insightnm.com

TYPE OF DEVELOPMENT: ☒ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____
RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

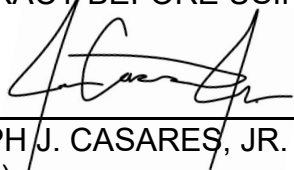
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____

TRAFFIC CERTIFICATION

I, JOSEPH J. CASARES, JR., NMPE 19014, OF THE FIRM JCII GROUP, LLC, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MAY 17, 2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAMIAN CHIMENTI OF THE FIRM INSIGHT CONSTRUCTION. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 2, 2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



JOSEPH J. CASARES, JR. NMPE 19014
(SEAL)

11/2/22
DATE

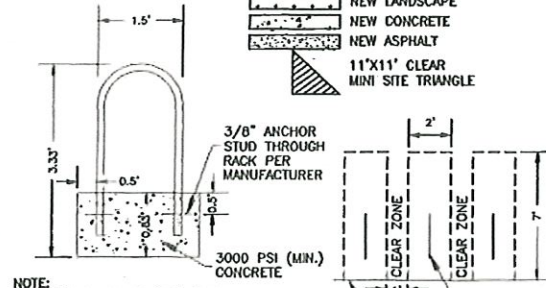


GENERAL CONSTRUCTION NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
7. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
8. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
9. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
11. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
12. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
13. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
14. SITE SURVEY IS BASED FROM ARBITRARY HORIZONTAL AND VERTICAL VALUES SET FOR CONTROL POINT CP-201. PROPOSED ELEVATIONS SHOWN ON THIS PLAN SHALL BE RELATIVE TO CP-201 MAG NL, WHICH IS SET AT X=10,000 FEET (EASTING) AND Y=30,000 FEET (NORTHING) AND Z=200.00 (ELEVATION).
15. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
16. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
17. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND CURB AND GUTTER PER COA DETAIL 2430 AND 2415.
18. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE. SEE PLAN FOR CLEAR SITE TRIANGLE LINES.

3821 12TH. ST. NW LOT NUMBERED ONE ANDERSON-HARRIS ADDITION ALBUQUERQUE, NEW MEXICO

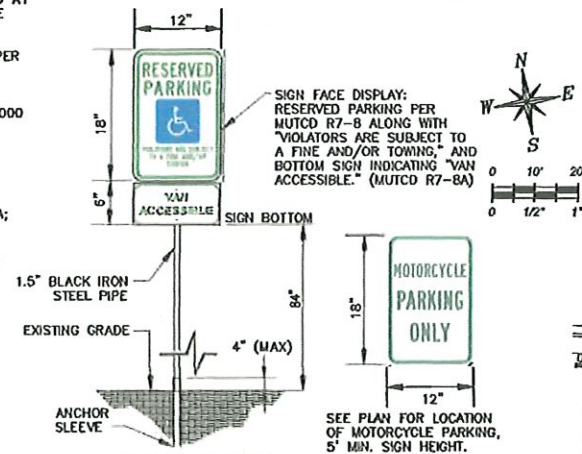
LEGEND



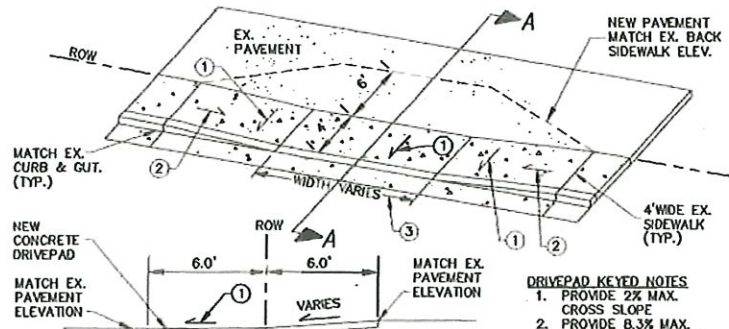
NOTE:
1-7/8\"/>

BIKE RACK DETAIL
SCALE: NONE

BIKE PARKING
SCALE: NONE



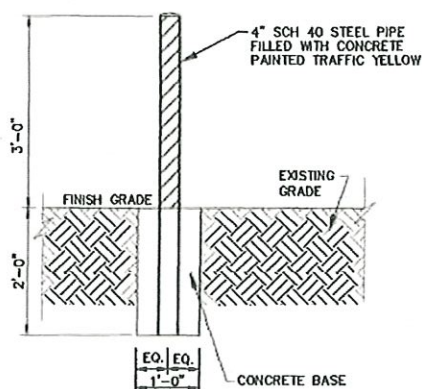
SIGN DETAIL
SCALE: NONE



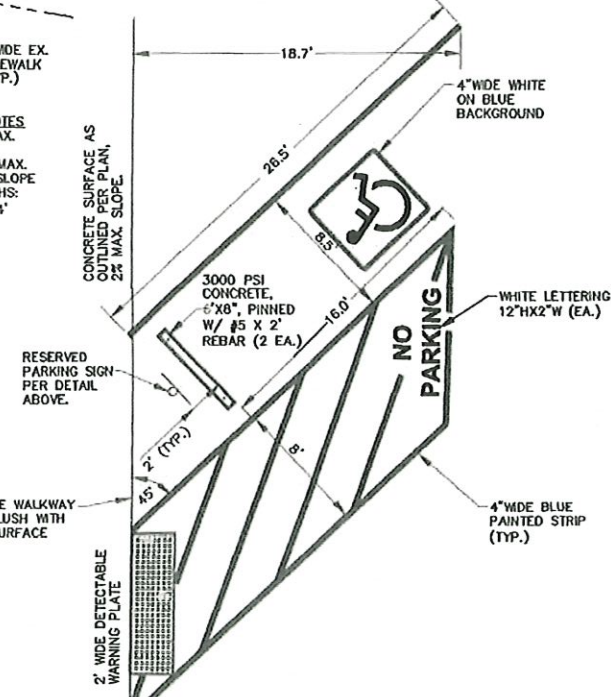
SECTION A-A

DRIVEPAD DETAIL
SCALE: NONE

- DRIVEPAD KEYED NOTES**
1. PROVIDE 2\"/>



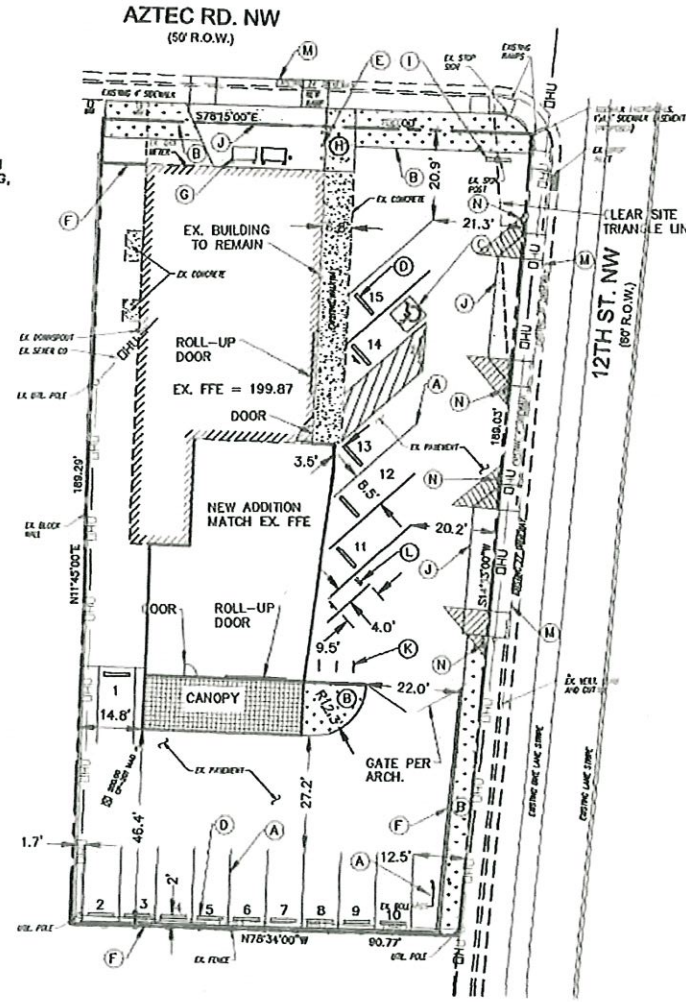
BOLLARD DETAIL
SCALE: NONE



ADA PARKING
SCALE: NONE

KEYED CONSTRUCTION NOTES

- A. REMOVE EXISTING PAVEMENT STRIPE AND BOLLARDS, AND PROVIDE NEW STRIPING AS SHOWN (4\"/>
- B. NEW LANDSCAPE AREA PER LANDSCAPE PLAN.
- C. PROVIDE ADA PARKING STALL PER DETAIL SHOWN ON THIS SHEET.
- D. INSTALL CONCRETE PARKING BUMPERS IN EACH PARKING SPACE PER DETAIL SHOWN ON THIS SHEET (15 TOTAL). PROVIDE 2\"/>
- E. INSTALL BOLLARDS PER DETAIL SHOWN ON THIS SHEET.
- F. CONSTRUCT SITE WALL, 6\"/>
- G. CONSTRUCT REFUSE AREA WITH BOLLARDS AS SHOWN. 3% MAX. PAVEMENT SLOPE.
- H. CONSTRUCT 4\"/>
- I. EXISTING SIGN AND ELECTRICAL COMPONENTS TO BE REMOVED.
- J. CONSTRUCT NEW PAVEMENT, 4\"/>
- K. INSTALL 6\"/>
- L. PROVIDE 4\"/>
- M. CONSTRUCT NEW DRIVEPAD PER DETAIL SHOWN ON THIS SHEET. AND PER COA DETAIL 2425.
- N. PROVIDE NEW 18\"/>



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JOSEPH J. CASARES, JR. NMPE 19014
(SEAL)

DATE 11/2/22



ZONE ATLAS MAP G-14-Z

OWNER INFORMATION

INSIGHT CONSTRUCTION
3909 12TH STREET, NW
ALBUQUERQUE, NM 87107
505-888-7927
DAMIAN CHIMENTI

PROPERTY DESCRIPTION

LOT NUMBERED ONE (1) EXCEPT THE WESTERLY 150 FEET THEREOF, OF ANDERSON-HARRIS ADDITION, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT NO. 22, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 20, 1946, IN BOOK "C" OF MAPS AND PLATS, PAGE 59.

PROJECT INFORMATION

M.R.G.C.D. MAP 28
LOT SIZE: 0.253 AC. DEVELOPED
FEMA FLOOD ZONE: ZONE X
FEMA FLOOD MAP: 35001C0332G
PROPOSED LAND USE:
INDUSTRIAL-ARTISAN MANUFACTURING
GFA: 4,670 SF

IDO ZONING:
SUBJECT LOT: MX-L
ADJACENT LOTS:
WEST LOT: R1-B
NORTH LOT: MX-L
SOUTH LOT: R-T

PARKING REQUIREMENTS

VEHICLE PARKING SPACES PER IDO TABLE 5-5-1
USE: INDUSTRIAL-ARTISAN MANUFACTURING
REQUIRED: 3 PER 1,000 GFA (1 ADA)
PROVIDED: 14 PARKING SPACES, 1 ADA SPACE
TOTAL VEHICLE PARKING SPACES PROVIDED: 15 SPACES

MOTORCYCLE SPACES PER IDO TABLE 5-5(0)
REQUIRED: 1 SPACE
PROVIDED: 1 SPACE

BICYCLE SPACES PER IDO TABLE 5-5(E)
REQUIRED: 3 SPACE
PROVIDED: 3 SPACE

EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH AN ABANDON GROCERY STORE BUILDING, UTILITIES, SITE FENCES AND PAVEMENT. EXISTING INFRASTRUCTURE WITHIN THE ROW ADJACENT TO THE SITE INCLUDE: 4\"/>

PROPOSED DEVELOPMENT

THE PROPOSED DEVELOPMENT WILL BE A CONTRACTOR'S WOOD SHOP. THE EXISTING BUILDING WILL BE REFURBISHED AND AN ADDITION TO THE BUILDING WILL BE CONSTRUCTED. ALL OTHER SITE STRUCTURES WILL BE REMOVED. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF THE BUILDING ADDITION, NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW PAVEMENT IN AREAS ADJACENT TO DRIVEPADS, 6\"/>

TRAFFIC CIRCULATION CONCEPT

THE TWO EXISTING DRIVE PADS ALONG 12TH STREET WILL PROVIDE INGRESS/EGRESS TO THE SITE, AND WILL ACCOMMODATE SITE CIRCULATION FOR ANGLED PARKING. THE EXISTING DRIVE PAD AT AZTEC WILL SERVE SOLID WASTE MANAGEMENT REFUSE COLLECTION ONLY. NEW PUBLIC PARKING (ANGLED) WILL BE PROVIDED ALONG THE EAST FACE OF THE BUILDING AND WILL INCLUDE ADA PARKING AND MOTORCYCLE PARKING. ADDITIONAL PARKING WILL BE PROVIDED ALONG THE SOUTH EDGE OF THE PROPERTY AND WILL BE ACCESSED BY A 22\"/>



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05/17/2021

Project:

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

INSIGHT CONSTRUCTION

3821 12th St. NW.

Albuquerque, New Mexico

TRAFFIC CIRCULATION LAYOUT

Number: **C100**