

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 18, 2021

Joseph Casares, PE  
JCII Group, LLC  
8105 Sand Springs Circle NW  
Albuquerque, NM 87114

**Re: Insight Construction  
3821 12<sup>th</sup> Street NW  
Traffic Circulation Layout  
Engineer's 05-17-2021 (G14-D096)**

Dear Mr. Casares,

The TCL submittal received 05-17-2021 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

## GENERAL CONSTRUCTION NOTES

1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
7. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
8. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
9. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
10. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
11. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT, IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
12. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
13. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
14. SITE SURVEY IS BASED FROM ARBITRARY HORIZONTAL AND VERTICAL VALUES SET FOR CONTROL POINT CP-201. PROPOSED ELEVATIONS SHOWN ON THIS PLAN SHALL BE RELATIVE TO CP-201 MAG NL, WHICH IS SET AT X=10,000 FEET (EASTING) AND Y=30,000 FEET (NORTHING) AND Z=200.00 (ELEVATION).
15. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
16. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
17. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH NEW SIDEWALK AND CURB AND GUTTER PER COA DETAIL 2430 AND 2415.
18. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SITE TRIANGLE. SEE PLAN FOR CLEAR SITE TRIANGLE LINES.

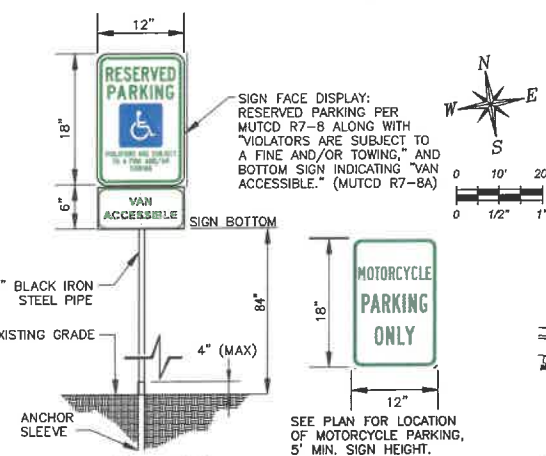
## 3821 12TH. ST. NW LOT NUMBERED ONE ANDERSON-HARRIS ADDITION ALBUQUERQUE, NEW MEXICO

### LEGEND

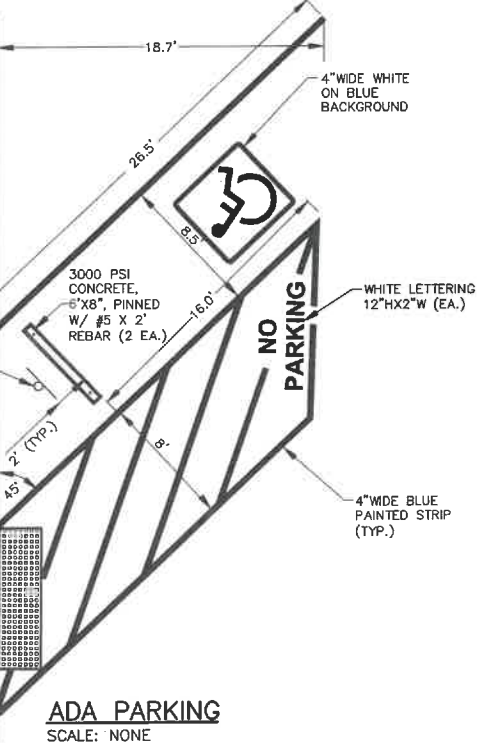


NOTE:  
1-7/8" U-SHAPED "UX" BIKE  
RACK, (COORD. WITH ARCHITECT)

### BIKE RACK DETAIL SCALE: NONE



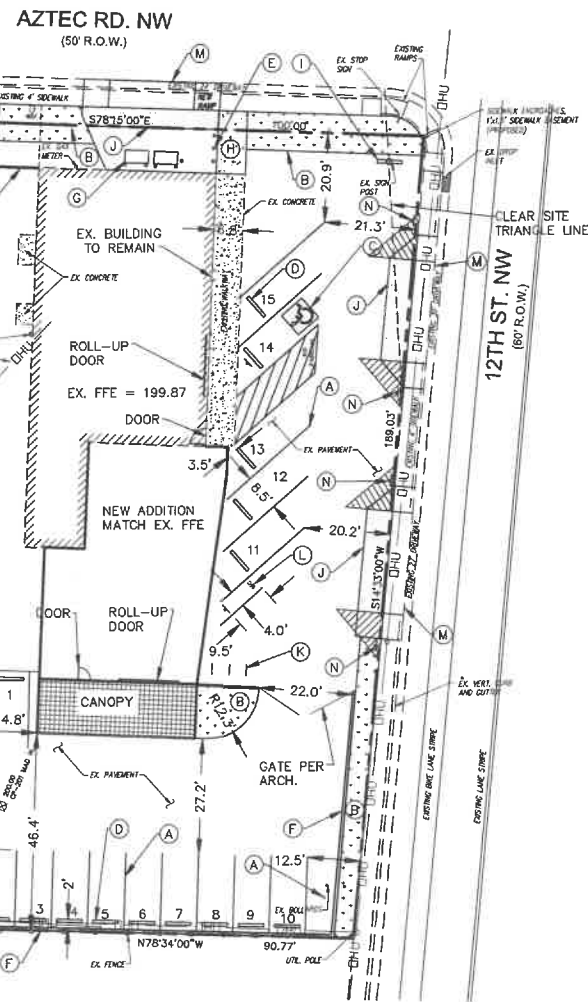
### SIGN DETAIL SCALE: NONE



### BIKE PARKING SCALE: NONE

### KEYED CONSTRUCTION NOTES

- A. REMOVE EXISTING PAVEMENT STRIPE AND BOLLARDS, AND PROVIDE NEW STRIPING AS SHOWN (4" WHITE STRIPE). PARKING SPACE TO BE 8.5'x18' (MIN) UNLESS NOTED OTHERWISE.
- B. NEW LANDSCAPE AREA PER LANDSCAPE PLAN.
- C. PROVIDE ADA PARKING STALL PER DETAIL SHOWN ON THIS SHEET.
- D. INSTALL CONCRETE PARKING BUMPERS IN EACH PARKING SPACE PER DETAIL SHOWN ON THIS SHEET (15 TOTAL). PROVIDE 2' CLEAR AREA BEHIND BUMPER (MEASURED FROM FACE OF BUMPER).
- E. INSTALL BOLLARDS PER DETAIL SHOWN ON THIS SHEET.
- F. CONSTRUCT SITE WALL, 6" BLOCK. FINISH DETAILS PER ARCHITECTURAL PLAN.
- G. CONSTRUCT REFUSE AREA WITH BOLLARDS AS SHOWN. 3% MAX. PAVEMENT SLOPE.
- H. CONSTRUCT 4" THICK MESH REINFORCED CONCRETE WALKWAY (3000PSI). PROVIDE SLOPE TO FACILITATE DRAINAGE AWAY FROM BUILDING. SIDEWALK EDGE TO BE FLUSH WITH PAVEMENT. PROVIDE 1.5% MAX. CROSS SLOPE, 5% MAX. LONGITUDINAL SLOPE. SIDEWALK TO BE PER COA STD. DTL. 2430.
- I. EXISTING SIGN AND ELECTRICAL COMPONENTS TO BE REMOVED.
- J. CONSTRUCT NEW PAVEMENT, 4" A.C. ON 4" B.C. ON 95% MAX. DRY DENSITY COMPACTED SUBGRADE. WARP TO MATCH EXISTING PAVEMENT.
- K. INSTALL 6'x2' BIKE PARKING WITH RACK (3 TOTAL). RACK PER DETAIL SHOWN THIS SHEET. PROVIDE 1' CLEAR ZONE AROUND EACH RACK (SEE BIKE PARKING DETAIL FOR DIMENSIONS).
- L. PROVIDE 4" WIDE MOTORCYCLE PARKING SPACE WITH SIGN PER DETAIL THIS SHEET, AND WITH "MC" (12"X2" W WHITE LETTERING) PAVEMENT MARKING.
- M. CONSTRUCT NEW DRIVEPAD PER DETAIL SHOWN ON THIS SHEET. AND PER COA DETAIL 2425.
- N. PROVIDE NEW 18"X12" SIGNAGE AT NORTH DRIVEPAD "ENTRANCE ONLY" AND AT SOUTH DRIVEPAD "DO NOT ENTER" PER LOCATIONS SHOWN ON PLAN. WHITE FACE WITH BLACK LETTERING. ENGINEER TO APPROVE PRIOR TO INSTALLATION.



### LOCATION MAP ZONE ATLAS MAP G-14-Z

### OWNER INFORMATION

INSIGHT CONSTRUCTION  
3908 12TH STREET, NW  
ALBUQUERQUE NM 87107  
505-888-7927  
DAMIAN CHIMENTI

### PROPERTY DESCRIPTION

LOT NUMBERED ONE (1) EXCEPT THE WESTERLY 150 FEET THEREOF, OF ANDERSON-HARRIS ADDITION, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT NO. 22, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 20, 1946, IN BOOK "C" OF MAPS AND PLATS, PAGE 59.

### PROJECT INFORMATION

M.R.G.C.D. MAP 28  
LOT SIZE: 0.253 AC. DEVELOPED  
FEMA FLOOD ZONE: ZONE X  
FEMA FLOOD MAP: 35001C03326  
PROPOSED LAND USE:  
INDUSTRIAL-ARTISAN MANUFACTURING  
GFA: 4,870 SF

IDO ZONING:  
SUBJECT LOT: MX-L  
ADJACENT LOTS:  
WEST LOT: R1-B  
NORTH LOT: MX-L  
SOUTH LOT: R-T

**FIRE DEPARTMENT (FD) APPROVAL NOTES**  
COA FIRE DEPT. HAS REVIEWED ACCESS VIA SITE PLAN DATED 11/20/20. SAID PLAN STAMPED APPROVED BY FD ON 11/23/20. COPY ATTACHED.

**SOLID WASTE DEPARTMENT (SWD) APPROVAL NOTES**  
COA SOLID WASTE DEPARTMENT HAS REVIEWED REFUSE LOCATION VIA SITE PLAN DATED 2/26/21. SAID PLAN STAMPED APPROVED BY SWD 4/27/21. COPY ATTACHED.

### PARKING REQUIREMENTS

VEHICLE PARKING SPACES PER IDO TABLE 5-5-1  
USE: INDUSTRIAL-ARTISAN MANUFACTURING  
REQUIRED: 3 PER 1,000 GFA (1 ADA)  
PROVIDED: 14 PARKING SPACES, 1 ADA SPACE  
TOTAL VEHICLE PARKING SPACES PROVIDED: 15 SPACES

MOTORCYCLE SPACES PER IDO TABLE 5-5(D)  
REQUIRED: 1 SPACE  
PROVIDED: 1 SPACE

BICYCLE SPACES PER IDO TABLE 5-5(E)  
REQUIRED: 3 SPACE  
PROVIDED: 3 SPACE

### EXISTING SITE CONDITION

CURRENTLY THE SITE IS DEVELOPED WITH AN ABANDON GROCERY STORE BUILDING, UTILITIES, SITE FENCES AND PAVEMENT. EXISTING INFRASTRUCTURE WITHIN THE ROW ADJACENT TO THE SITE INCLUDE: 4' SIDEWALKS, THREE DRIVEPADS OF VARIOUS WIDTHS, INTERSECTION ADA RAMP, AND STORM DRAIN INLET. THE CURRENT SITE ACCESS IS FROM THE THREE EX. DRIVEPADS, ONE ON AZTEC RD. AND TWO ON 12TH ST. ON-SITE PARKING IS DELINEATED AT THE FRONT OF THE EXISTING BUILDING AND SOUTH OF THE EXISTING BUILDING.

### PROPOSED DEVELOPMENT

THE PROPOSED DEVELOPMENT WILL BE A CONTRACTOR'S WOOD SHOP. THE EXISTING BUILDING WILL BE REFURBISHED AND AN ADDITION TO THE BUILDING WILL BE CONSTRUCTED. ALL OTHER SITE STRUCTURES WILL BE REMOVED. THE PROPOSED CONSTRUCTION (BUILT IN ONE PHASE) CONSISTS OF THE BUILDING ADDITION, NEW UTILITY SERVICE CONNECTIONS, GRADING & DRAINAGE IMPROVEMENTS, NEW PAVEMENT IN AREAS ADJACENT TO DRIVEPADS, 6' CONCRETE WALKWAY, LANDSCAPE AND SITE WALLS. OFF-SITE CONSTRUCTION WILL INCLUDE A FIRE LINE CONNECTION, AND EXISTING DRIVEPAD REPLACEMENT THAT MEET ADA SLOPES. THE PROPOSED DEVELOPMENT WILL NOT IMPACT ADJACENT PROPERTIES.

### TRAFFIC CIRCULATION CONCEPT

THE TWO EXISTING DRIVE PADS ALONG 12TH STREET WILL PROVIDE INGRESS/EGRESS TO THE SITE, AND WILL ACCOMMODATE SITE CIRCULATION FOR ANGLED PARKING. THE EXISTING DRIVE PAD AT AZTEC WILL SERVE SOLID WASTE MANAGEMENT REFUSE COLLECTION ONLY. NEW PUBLIC PARKING (ANGLED) WILL BE PROVIDED ALONG THE EAST FACE OF THE BUILDING AND WILL INCLUDE ADA PARKING AND MOTORCYCLE PARKING. ADDITIONAL PARKING WILL BE PROVIDED ALONG THE SOUTH EDGE OF THE PROPERTY AND WILL BE ACCESSED BY A 22' GATED ENTRY THAT WILL REMAIN OPEN DURING BUSINESS HOURS (8AM TO 5PM). ALL PARKING WILL BE STANDARD PARKING STALLS (8.5'W X 18'L) WITH ANGLES AND DIMENSIONS SHOWN ON PLAN. THE DRIVE SURFACE WILL BE PAVEMENT CAPABLE OF SUPPORTING 75,000 LB VEHICLES. PARKING BUMPERS AND LANDSCAPE ISLANDS WILL PROVIDE A BARRIER BETWEEN VEHICLE AREAS AND PEDESTRIAN AREAS. A 6' CONCRETE WALKWAY WILL BE PROVIDED AND CONNECTED TO THE SIDEWALK IN THE ROW. EMERGENCY VEHICLE ACCESS WILL BE THROUGH 12TH STREET AS COORDINATED WITH FD. ALL SLOPES ON-SITE WILL BE LESS THAN 2.0%. THERE ARE NO KNOWN TRAFFIC IMPACT STUDIES, AND THESE IMPROVEMENTS WILL NOT IMPACT ADJACENT LOTS.

All concepts, designs and plans directly or indirectly encompassed by this document are hereby copyrighted, and are for use on and in connection with the project specified in this document. None of such concepts, designs or plans shall be used by or disclosed to any person, firm or corporation without the prior written permission of IG Group, LLC.



05/17/2021

Project:

**INSIGHT CONSTRUCTION**  
3821 12th St. NW.  
Albuquerque, New Mexico

Sheet:

**TRAFFIC  
CIRCULATION  
LAYOUT**

Number:

**C100**

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.