

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 7, 2021

Joseph Casares, Jr., P.E.
JCII Group
8105 Sand Springs Cir NW
Albuquerque, NM 87114

RE: 3821 12th Street NW
Grading and Drainage Plan
Engineer's Stamp Date: 11/24/20
Hydrology File: G14D096

Dear Mr. Casares:

Based upon the information provided in your submittal received 04/06/2021, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) (signed 06/08/20) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100-year 6-hour storm event.
2. Provide management onsite for the Stormwater Quality Volume (SWQV) in accordance with the new drainage ordinance, § 14-5-2-6 (H) enacted 10/2/18 (Council Bill C/S O-18-2) and as outlined in DPM (signed 06/08/20) Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. Since this site is a redevelopment the SWQ pond volume will be $0.26 * \text{new impervious area (new paving, sidewalks, and building) (sf)} * 1/12$. If you are planning to provide for the SWQ volume, please show the top and bottom of the ponds along with the volume for each pond within the landscape areas. The onsite drainage should be directed to these ponds via curb cuts prior to either being collected in the existing inlet or leaving the site for the public drainage system. If you are going to not provide for the SWQ volume within the landscape areas, then you will need to add a statement, "The Owner has elected to pay for the Stormwater Quality Volume. The Payment-in-lieu will be $\$8 / \text{CF} * \text{SWQ volume (CF)} = \$ \text{XX}$."
3. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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4. Standard review fee of \$150 will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Insight Construction Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1 of Harris - Addition

City Address: 3821 12th Street

Applicant: JCH Group, LLC Contact: Joseph Casares

Address: 8105 Sand Springs Cir NW

Phone#: 505-264-6918 Fax#: _____ E-mail: JCHGroup@gmail.com

Owner: Insight Construction Contact: Damian Chimenti

Address: 3909 12th Street NW

Phone#: 505-888-7927 Fax#: _____ E-mail: damian@insightnm.com

TYPE OF SUBMITTAL: _____ PLAT (# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☒ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11/24/20 By: JCH

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GENERAL NOTES

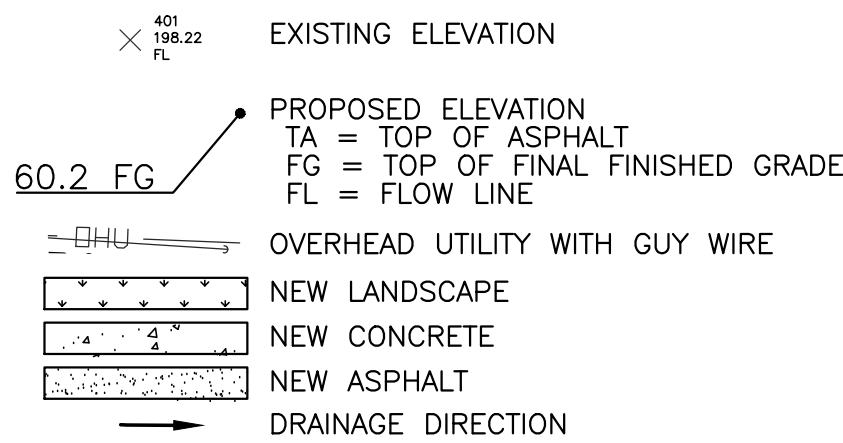
1. PRIOR TO CONSTRUCTION, COORDINATE DETAILS WITH THE PROJECT ENGINEER/ARCHITECT AND OWNER.
2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 811 (505-260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
3. ALL UTILITIES NOT SHOWN ON THIS PLAN, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF SUSPECTED OBSTRUCTIONS INCLUDING EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
6. SCARIFY AREA UNDER NEW CONCRETE AND PAVEMENT BASECOURSE TO A DEPTH OF 6" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE.
7. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
8. CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
9. THE CONTRACTOR IS TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL CONSTRUCTION DEBRIS AND ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION AS SOON AS POSSIBLE UNLESS OTHERWISE DIRECTED BY THE OWNER.
11. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" INFORMATION.
12. OWNER IS RESPONSIBLE FOR GEOTECHNICAL EVALUATION REPORT PERFORMED BY A REGISTERED GEOTECHNICAL ENGINEER. EVALUATION SHALL PROVIDE DRAINAGE RECOMMENDATIONS, COLAPSIBLE/EXPANSIVE SOILS IDENTIFICATION, AND A SITE SOIL PERCOLATION RATE. COORDINATE THE PROPOSED DEVELOPMENT SHOWN ON THIS PLAN WITH RESULTS FROM THE GEOTECHNICAL INVESTIGATION REPORT. IF ANY REPORT CRITERIA CANNOT BE MET, CONTACT THE GEOTECHNICAL ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF COLAPSIBLE/EXPANSIVE SOILS ARE IDENTIFIED, CONTRACTOR MUST INFORM THE ENGINEER PRIOR TO CONSTRUCTION.
13. WHEN BUTTING NEW CONCRETE TO EXISTING, PROVIDE A NEAT SAWCUT LINE, OR REMOVE EXISTING CONCRETE UP TO NEAREST JOINT AND PROVIDE NEW WITH EXPANSION JOINT BETWEEN.
14. ALL LANDSCAPED AREAS SHALL BE DEPRESSED APPROXIMATELY 6" (MAX.) BELOW ADJACENT CONCRETE.
15. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND FENCES. RIPRAP/SPLASHPADS SHALL BE PROVIDED AT ROOF DRAIN DOWNSPOUTS AND FENCE DRAINAGE OUTLETS. DRAINAGE OPENING IN FENCE TO FACILITATE POSITIVE DRAINAGE THROUGH FENCE TOWARDS ROW.
16. THIS IS NOT A BOUNDARY SURVEY OR ALTA, PROPERTY LINES, EASEMENTS LINES AND ROW LINES SHOWN ARE PER RECORDED PLAT.
17. SITE SURVEY IS BASED FROM ARBITRARY HORIZONTAL AND VERTICAL VALUES SET FOR CONTROL POINT CP-201. PROPOSED ELEVATIONS SHOWN ON THIS PLAN SHALL BE RELATIVE TO CP-201 MAG NL, WHICH IS SET AT X=10,000 FEET (EASTING) AND Y=30,000 FEET (NORTHING) AND Z=200.00 (ELEVATION).
18. PRIOR TO CONSTRUCTION, A PROFESSIONAL SURVEYOR SHALL VERIFY ALL CONSTRUCTION MARKINGS, STAKINGS, EXISTING PROPERTY LINES, AND EASEMENTS. COORDINATE EXISTING EASEMENTS WITH UNDERLYING OWNERS. COORDINATE ANY ENCROACHMENTS WITH THE OWNER.
19. EXISTING INFORMATION SHOWN ON THIS PLAN WAS OBTAINED WITHOUT THE BENEFIT OF A TITLE REPORT OR ALTA; OTHER EASEMENTS MAY EXIST THAT ARE NOT SHOWN ON THIS PLAN.
20. ADDITIONAL SUB-SURFACE AND SURFACE UTILITIES MAY EXIST IN THE AREA OTHER THAN WHAT IS SHOWN. NEW MEXICO ONE-CALL SHALL BE CONTACTED ALONG WITH UTILITY OWNERS PRIOR TO ANY DISTURBANCE OF EXISTING GRADE.

KEYED NOTES

- A. PAVEMENT STRIPE (SEE TRAFFIC CIRCULATION LAYOUT).
- B. CUT EXISTING PAVEMENT AND DEPRESS NEW LANDSCAPE AREA 6" AT CENTER, AND 2" AT CONCRETE EDGE.
- C. ADA PAVEMENT MARKING (SEE TRAFFIC CIRCULATION LAYOUT).
- D. CONCRETE PARKING BUMPER (SEE TRAFFIC CIRCULATION LAYOUT).
- E. BOLLARD (SEE TRAFFIC CIRCULATION LAYOUT).
- F. CONSTRUCT SITE WALL PER ARCHITECTURAL DETAIL. PROVIDE 8"x16" DRAINAGE OPENING AT 6' O.C. ALONG EAST WALL AND ALONG NORTH WALL.
- G. FINAL GRADE IN THIS AREA TO SPLIT NORTH AND SOUTH AT GRADE BREAK. DIRECT DRAINAGE TOWARDS AZTEC AVE. AND TOWARDS SOUTH PARKING LOT. FINAL GRADE SHALL NOT IMPEDE FLOW.
- H. CONSTRUCT REFUSE AREA PER ARCHITECTURAL DETAIL. MAINTAIN UNIMPEDED DRAINAGE TOWARDS AZTEC AVE.
- I. CONSTRUCT 4" THICK MESH REINFORCED CONCRETE WALKWAY PER ELEVATIONS SHOWN. PROVIDE SLOPE TO FACILITATE DRAINAGE AWAY FROM BUILDING.
- J. PROTECT IN PLACE EXISTING SIGN AND ELECTRICAL COMPONENTS. COORDINATE WITH ELECTRICAL PLAN AND CONTRACTOR.
- K. CONSTRUCT NEW PAVEMENT PER ELEVATIONS SHOWN. PROVIDE 3" A.C. ON 6" BASE COURSE OVER 6" COMPACTED SUBGRADE. COMPACT TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557

3821 12TH. ST. NW
LOT NUMBERED ONE ANDERSON-HARRIS ADDITION
ALBUQUERQUE, NEW MEXICO

LEGEND



OWNER INFORMATION

INSIGHT CONSTRUCTION
3909 12TH STREET, NW
ALBUQUERQUE NM 87107
505-888-7927
DAMIAN CHIMENTI

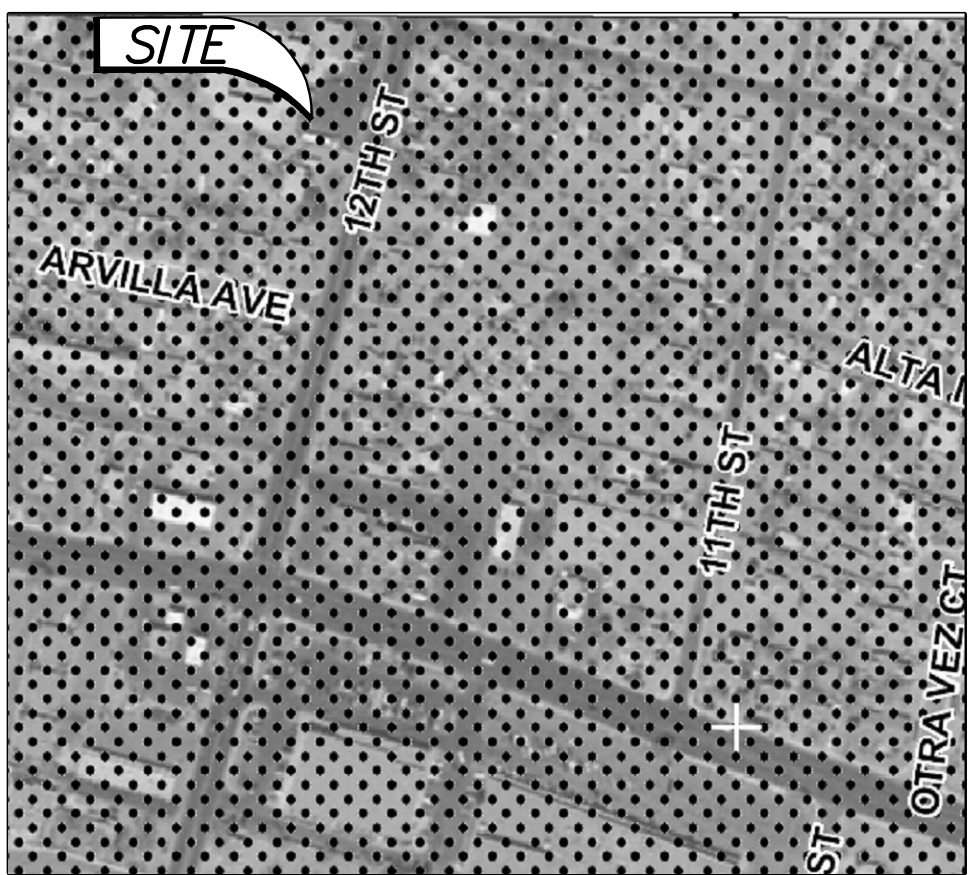
PROPERTY DESCRIPTION

LOT NUMBERED ONE (1) EXCEPT THE WESTERLY 150 FEET THEREOF, OF ANDERSON-HARRIS ADDITION, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICT NO. 22, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 20, 1946, IN BOOK "C" OF MAPS AND PLATS, PAGE 59.

SITE

LOCATION MAP

ZONE ATLAS MAP G-13-Z



FEMA MAP

FIRM: 35001C0332G
ZONE: X

DRAINAGE CALCULATIONS

THE CALCULATIONS HEREON ANALYZE THE HYDROLOGY FOR THE DEVELOPED CONDITIONS UPON A 100 YEAR, 6-HOUR RAINFALL EVENT. PROCEDURE FOR 40 ACRES AND SMALLER BASINS, AS SET FORTH IN CHAPTER 22 OF THE DEVELOPMENT PROCESS MANUAL (DPM), VOLUME 1, 1997 REVISIONS, ARE USED FOR ANALYSIS. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

ANALYSIS FOR PEAK RATE OF DISCHARGE (Q) AND PEAK VOLUME (V):

SITE CHARACTERISTICS:
LAND TREATMENT (PER DPM CH. 22, TABLE A-4)
PRECIPITATION ZONE = 2 (PER DPM CH. 22, TABLE A-1)

EXISTING ESTIMATED RUN OFF

TOTAL SITE AREA
A = 18,500 SF = 0.253 ACRES
LAND TREATMENT
D = 18,500 SF = 100%
ANALYSIS RESULTS
V = 3,269 CF (RUNS OFF SITE)
Q = 2.0 CFS

PROPOSED ESTIMATED RUN OFF

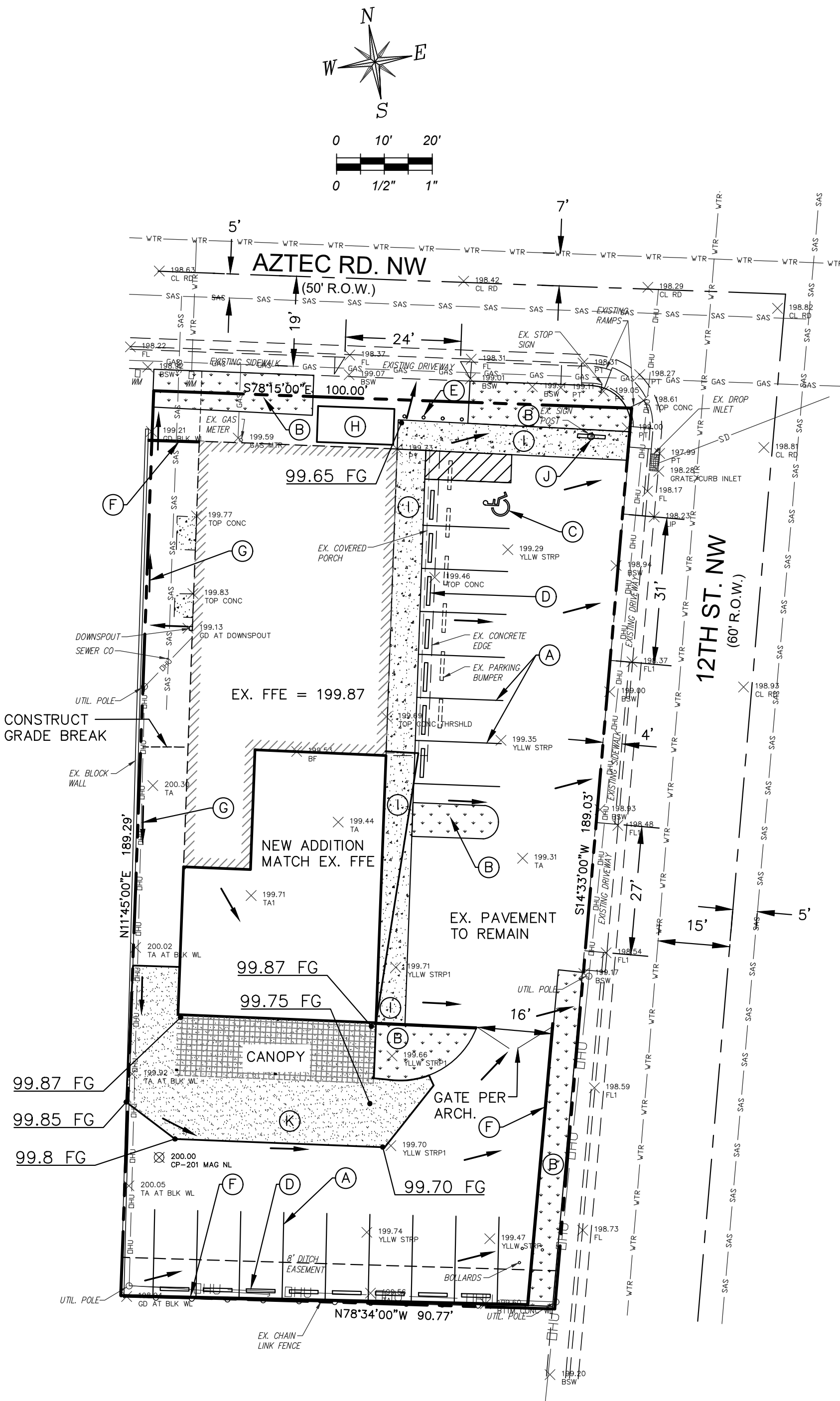
LAND TREATMENT
B = 1,240 SF = 7%
D = 17,260 SF = 93%
ANALYSIS RESULTS
V = 3,124 CF (RUNS OFF SITE)
Q = 1.9 CFS

RETENTION BASIN DESCRIPTION AND ESTIMATE VOLUME (V)

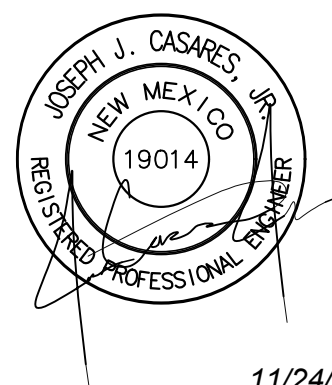
RETENTION BASINS DO NOT CURRENTLY EXIST ON-SITE. NO NEW RETENTION BASIN ARE PROPOSED, EXCEPT NEW LANDSCAPE AREAS WILL BE DEPRESSED SIX INCHES AT CENTER, TWO INCHES AT CONCRETE EDGE.

STORM WATER CONTROL MEASURES

NO STORMWATER CONTROL MEASURES EXIST ON-SITE. LANDSCAPE AREAS ARE PROPOSED TO BE DEPRESSED SIX INCHES TO ACCOMMODATE THE "FIRST FLUSH." SEE PLAN FOR LANDSCAPE AREAS.



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11/24/2020

Project:

INSIGHT CONSTRUCTION

3821 12th St. NW.

Albuquerque, New Mexico

Project:	120.623	1st Revised:	Date:	11-24-2020
Drawn by:	JC	2nd Revised:	Date:	
Scale:	As Shown	3rd Revised:	Date:	
Checked by:	JC			

Sheet:

GRADING &
DRAINAGE
PLAN

Number:

C101