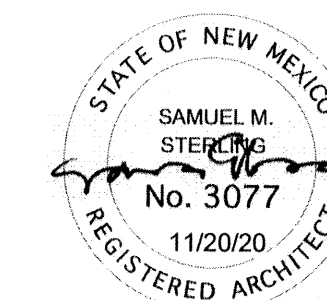


SAM STERLING ARCHITECTURE, llc  
924 2nd St NW Suite C, Albuquerque, NM 87102  
505.232.2520 samsterlingarchitecture.com

CONSULTANT



## KEY PLAN

Insight Construction LLC.  
3821 12th Street NW  
Albuquerque, NM 87107

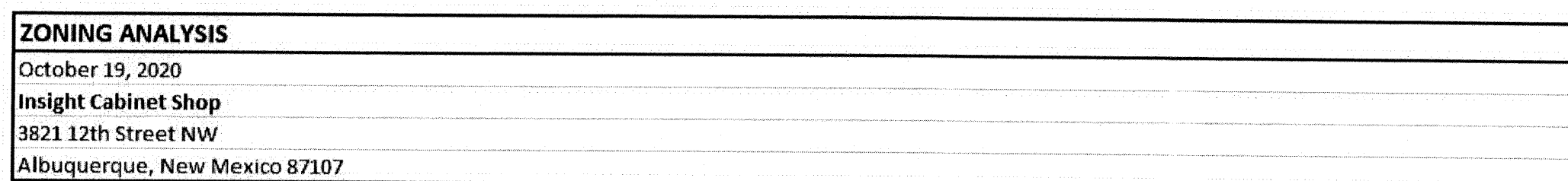
REV:

PHASE: **90% Construction Documents**

DATE: 11.20.2020  
DRAWN BY: RA  
CHECKED BY: WL

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# FIRE 1

**BUILDING + ZONING**

**Zoning per IDO - MIXED-USE LOW INTENSITY ZONE DISTRICT (MX-L)**

**Allowable use IDO Table 4-2-1**

**Land Uses** **Industrial-Artisan Manufacturing**

## REQUIRED HYDRANTS

(Table B105.1(2) IFC 2015)

Total Square footage: 4,820 SF (Existing + Addition)  
Type of Construction: II-B, Fully Sprinklered

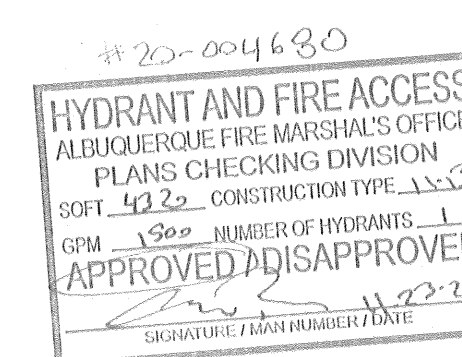
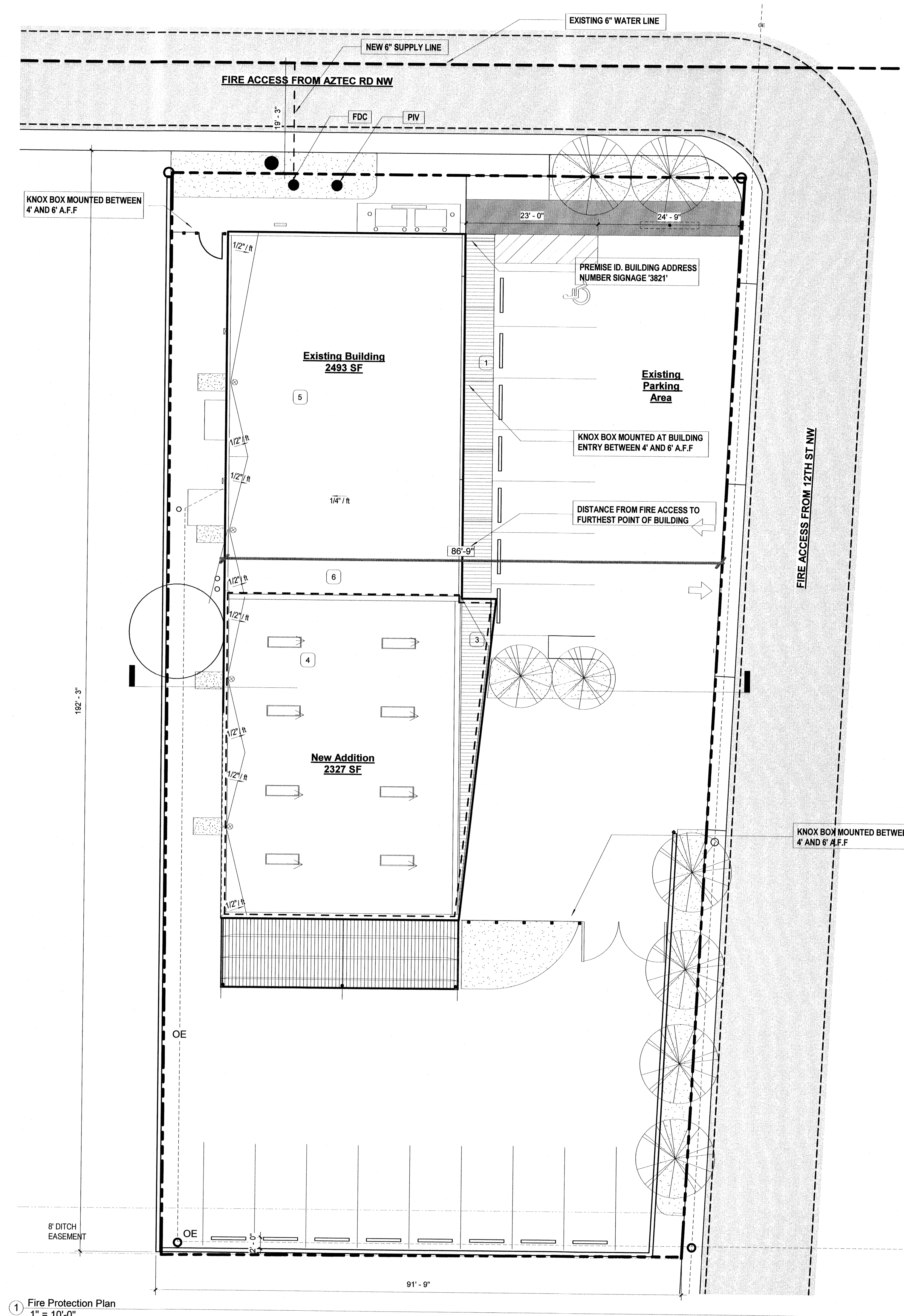
(Table B105.2 IFC 2015)

Required Fire Flow: Minimum 1,500 GPM

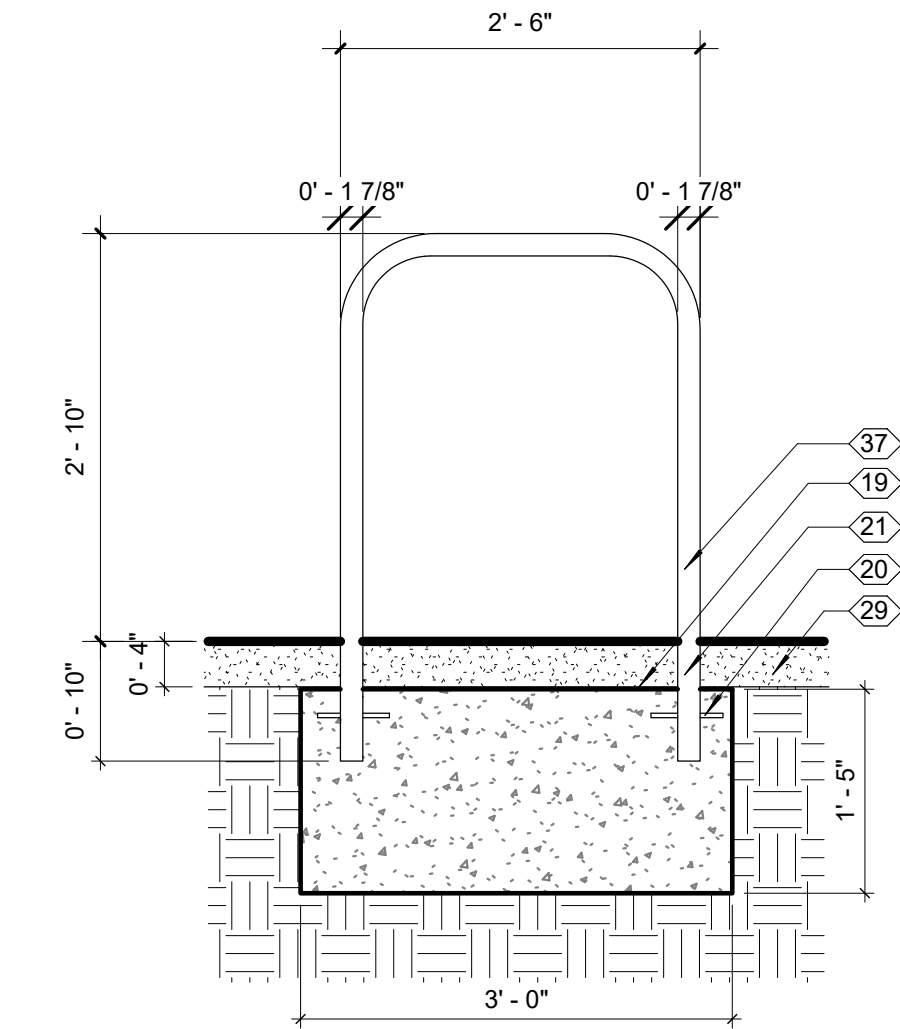
(Table C102.1 IFC 2015)

Required Number of Hydrants:	1
Existing Number of Hydrants:	1

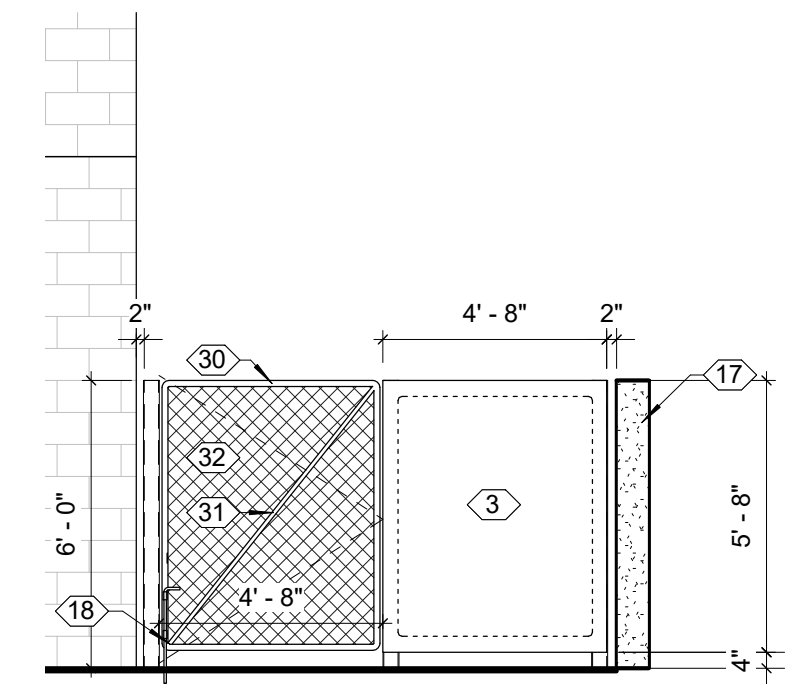
Existing Number of Hydrants: 1



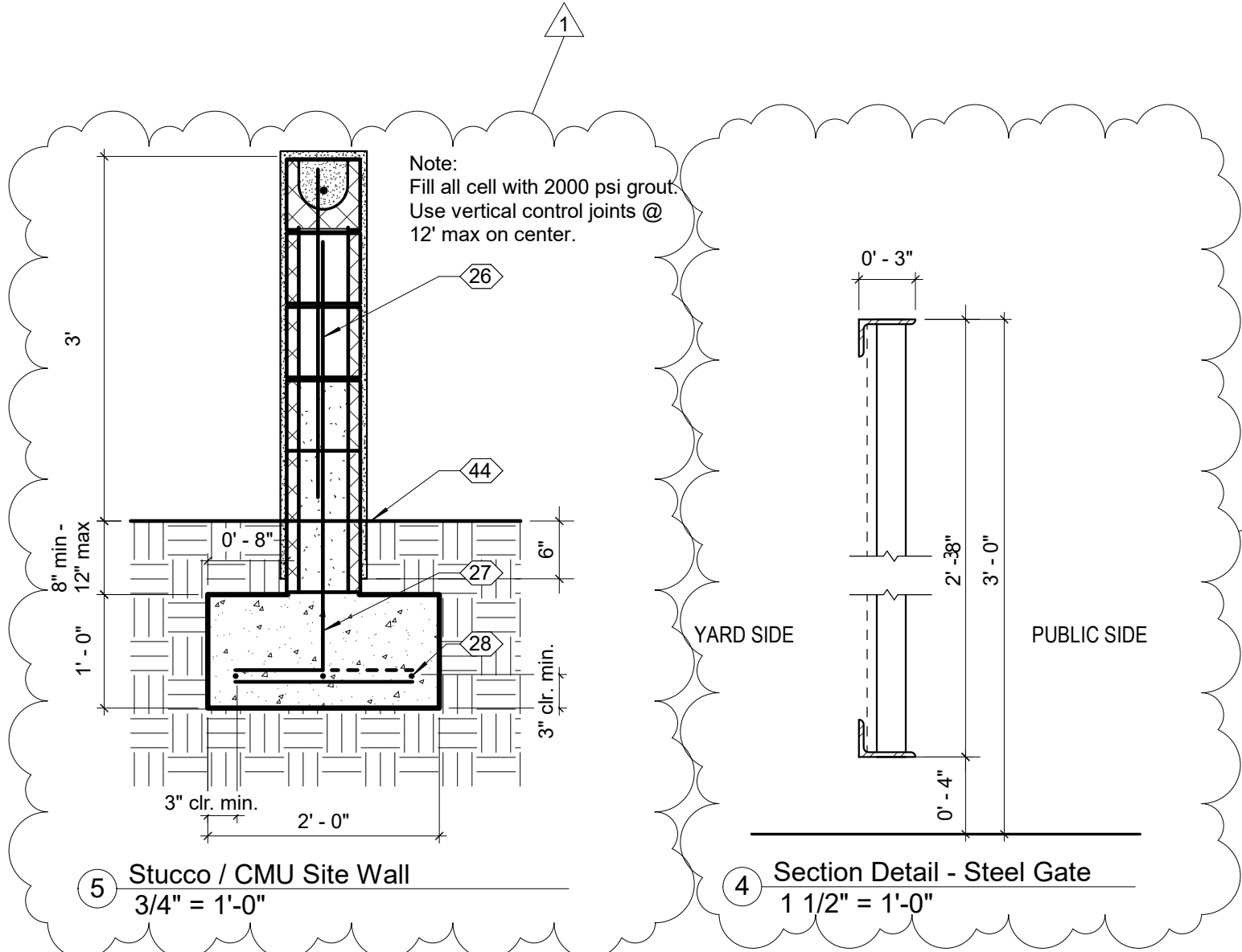




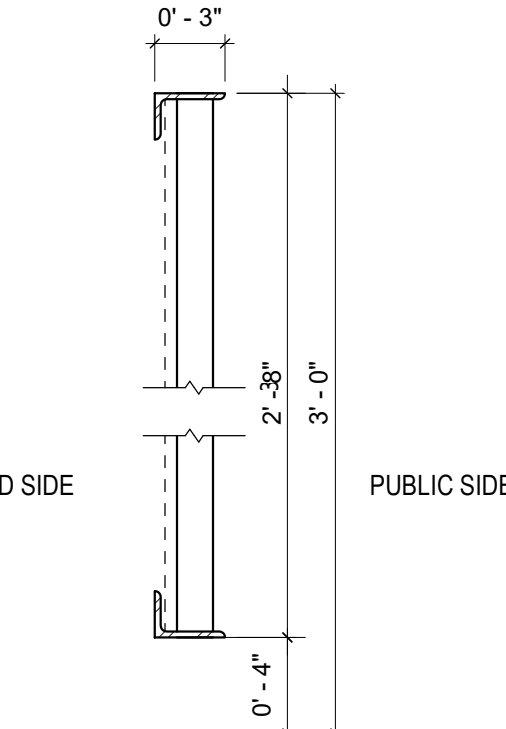
6 Section Detail - In-Ground Mounted Bike Rack  
3/4" = 1'-0"



3 Elevation - Steel Gate (North - West)  
1/4" = 1'-0"

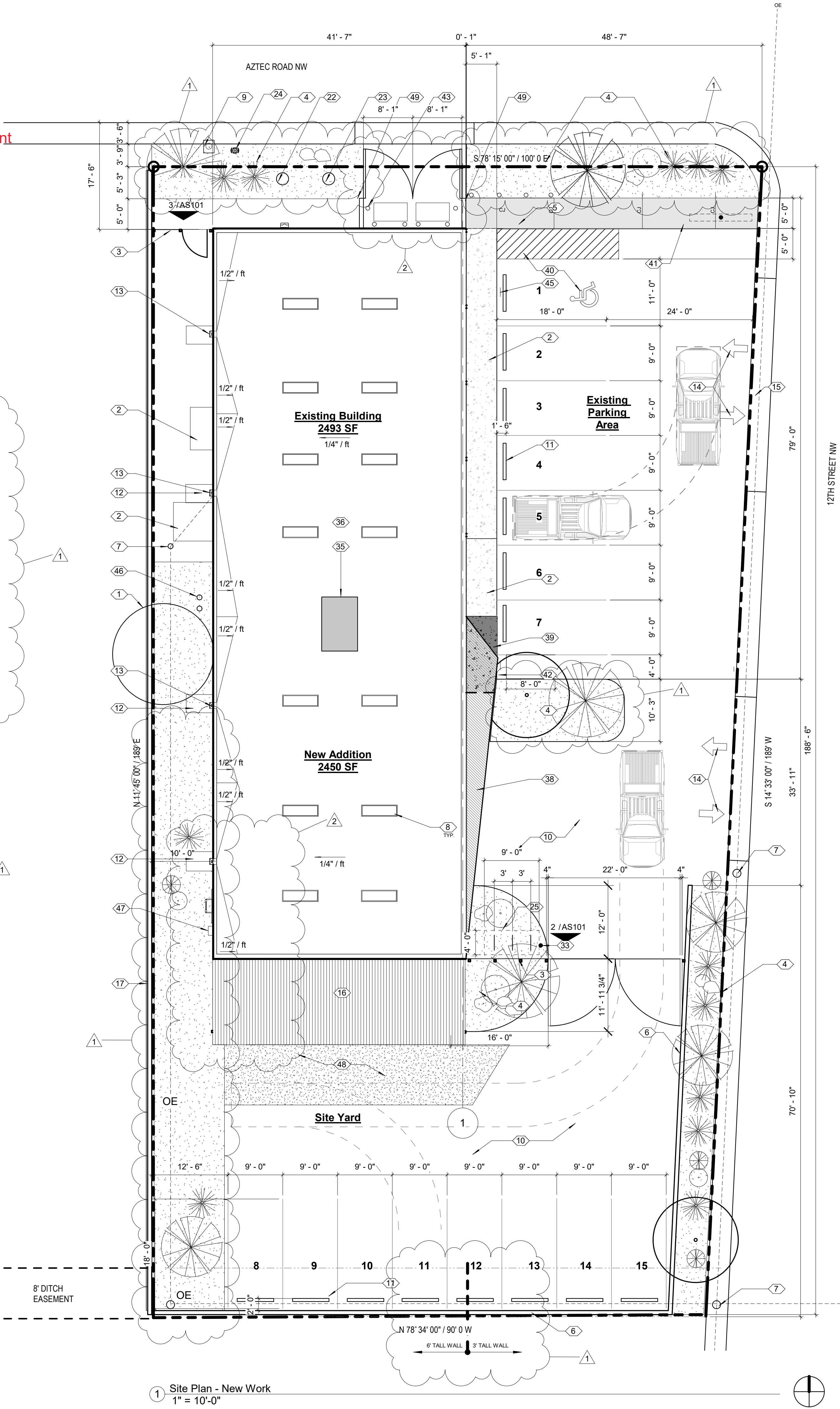


5 Stucco / CMU Site Wall  
3/4" = 1'-0"



4 Section Detail - Steel Gate  
1 1/2" = 1'-0"

Approved for access by the Solid Waste Department  
Herman Gallegos 04-27-21



1 Site Plan - New Work  
1" = 10'-0"

## GENERAL NOTES

- All dimensions shown are to grid lines or face of structure / curb. Unless noted otherwise.
- All concrete control joints to be saw-cut U.N.O.
- Exterior expansion joints as indicated from homasote strips
- All planting to be irrigated. Coordinate location of irrigation controller with Owner / Architect. Provide power

## KEYNOTE LEGEND

- Existing tree - to remain
- Existing concrete pad to remain
- New steel fence from 4" x 4" black iron steel tubes and 1/8" steel plate left to rust. No primer. Cap all exposed ends. See details on this sheet.
- New landscape planter area cut out of existing asphalt. Fill planter area with 3" crusher fines (color: Santa Fe Brown)
- New light exposed aggregate concrete sidewalk
- New 6" high 8"x8"x16" stuccoed CMU wall color by Owner/Architect.
- Existing utility pole
- 2' x 6' Velux model 2270 fixed skylight, curb mounted. See Skylight Schedule on sheet A500.
- Existing water meter
- Existing asphalt paving
- Pre-cast concrete parking bumper - typ.
- 3' x 5' roof drain spillout- provide cobble and pre-cast splash pad.
- 5"x5" downspout painted to match color of painted CMU. Provide 3x5" spillout from 3-5" cobble
- New painted traffic arrows
- Existing driveway entrance and curb cut
- New pavement
- Existing CMU wall to remain
- 5/8" dia. locking cane bolt welded to gate frame
- New concrete
- Provide 3/8" anchor stud through leg per manufacturer's specifications
- Embed in concrete
- FDC - see Civil
- PV - see Civil
- New fire hydrant - see Fire Plan and Civil
- Bike racks - (3) racks. See detail on this sheet.
- 30" min. rebar lap
- #4 dowels @ 48" o.c. (alt. bend)
- (3) #4's cont. and #4 transv. @ 48" o.c.
- New crusher fines (Santa Fe Brown)
- 2x3x.025 (LLH) steel angle gate frame. Left to rust
- 2"x1/4" steel bar stock diagonal welded to gate frame. Tight to mesh
- 1/2"x18 GA. flattened expanded black iron metal mesh. Left to rust. Weld to steel angle frame
- New pole mounted light fixture - see Mechanical
- 12" o.d. x 20" deep concrete footing. Top of pier footing to be 6" below existing grade
- R.T. Mechanical unit. See mechanical drawings
- 80 mil white TPO roof
- 1 7/8" galvanized steel tubing
- Warped wall clad in 24 GA. RCM-75 recla metal - see Enlarged Plan A101.1
- New sidewalk - see Floor Plan
- New asphalt striping
- Existing sign to remain. Provide new electrical circuit - see Electrical
- Motorcycle Parking sign mounted on 2" diam. black iron steel pipe - see civil
- Painted steel bollards. Filled with concrete - see Civil
- Approx. existing grade
- Van ADA parking sign from 2" diam. black iron steel pipe - see civil
- Existing double, clean out y see Plumbing/Civil
- Electrical service location - see Electrical
- New pavement - see civil
- 6" tall wall A.F.R. from CMU dumpster enclosure
- Above grade 4x4x1/4" TS column

## LANDSCAPE LEGEND

- Japanese Pagoda Tree
- Desert Willow Tree
- NM Foresteria
- Bird of Paradise
- Wild Clump Grass
- Apache Plume
- Large Sandstone Boulder

ARCHITECT

SSA

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505.232.2520 samsterlingarchitect.com

CONSULTANT

KEY PLAN

**Insight Cabinet Shop**  
Insight Construction LLC.  
3821 12th Street NW  
Albuquerque, NM 87107

REV:

No.	Description	Date
1	Permit Revision	4/5/21
2	Permit Revision 2	4/21/21

PHASE: 100 % Construction Documents

DATE: 2.26.21  
DRAWN BY: RA, ST  
CHECKED BY: AZ, SS

**AS101**  
Site Plan & Site Details

4/26/2021 4:03:11 PM