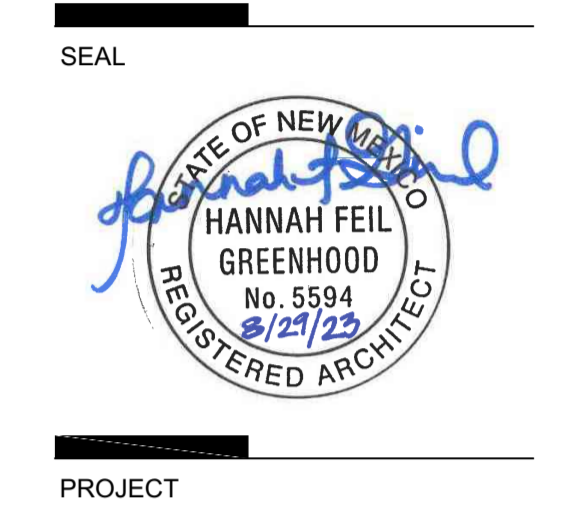


DEKER PERICH SABATINI Architecture in Progress



GENERAL SHEET NOTES

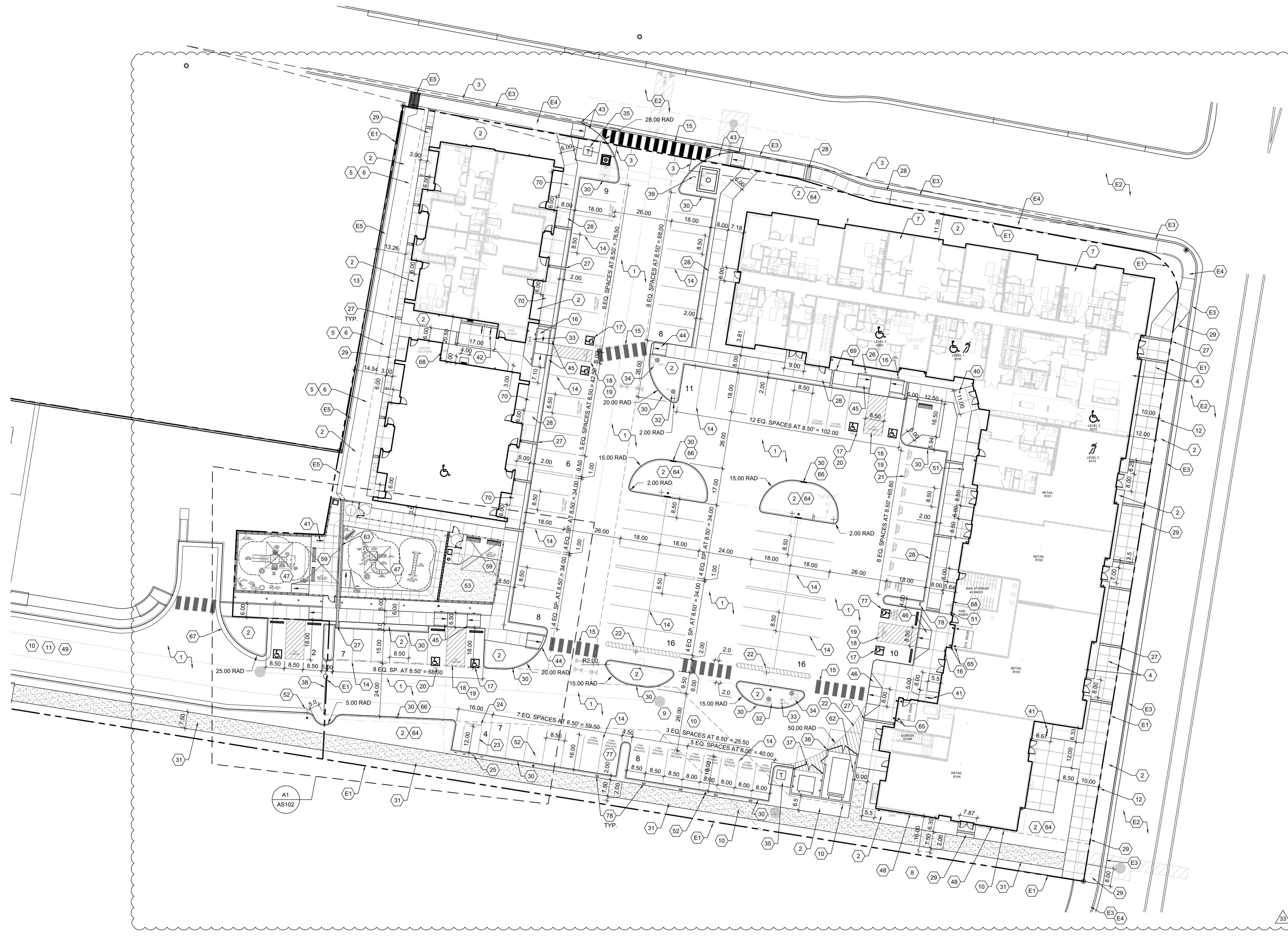
- A. CONTRACTOR IS TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES...
B. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF DEBRIS AS REQUIRED TO COMPLETE THE SCOPE OF WORK...
C. ALL WORK TO CONFORM TO APPLICABLE CODES AND ORDINANCES...
D. CURBS AND ACCESSIBLE RAMP WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS...
E. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING...
F. SITE SHALL BE IMPROVED, CONSTRUCTED AND MONITORED IN ACCORDANCE WITH THE FEDERAL CLEAN WATER ACT...
G. DIMENSIONS ARE TO FACE OF CURB, WALL OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE...
H. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS AND GUIDELINES...
I. PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS...
J. SLOPE ALL CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE...
K. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS...
L. AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES...
M. CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT FOR EXACT LOCATION OF FIRE LANE STRIPING...
N. ALL IMPROVEMENTS LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER...
O. ALL PARKING SPACES TO BE NUMBERED FOR ASSIGNMENT BY PROPERTY MANAGEMENT

GENERAL SHEET NOTE: CONSTRUCTIBILITY STANDARDS

- A. PROJECT NEEDS TO FOLLOW DESIGN GUIDELINE REQUIREMENTS FOR LEED FOR HOMES AND MULTIFAMILY V4 AND NEW MEXICO MORTGAGE FINANCE AUTHORITY (NMFA).

SHEET KEYED NOTES

- EXISTING KEYED NOTES: E1 EXISTING PROPERTY LINE, E2 EXISTING ASPHALT PAVING, E3 EXISTING CONCRETE CURB AND GUTTER, E4 EXISTING CONCRETE SIDEWALK, E5 EXISTING CONCRETE DRAINAGE CHANNEL...
KEYED NOTES: 1 ASPHALT PAVING, SEE CIVIL, 2 LANDSCAPE, SEE LANDSCAPE, 3 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS...
4 10' MIN, 15' MAX BUILDING SETBACK, 5 15' REAR SETBACK, 6 15' LANDSCAPE BUFFER, 7 15' MAX BUILDING SETBACK, 8 17' WATER LINE EASEMENT, 9 20' WATER LINE EASEMENT, 10 30' SAS AND WATER LINE EASEMENT, 11 30' PRIVATE ACCESS DRIVE, PEDESTRIAN AND BIKE ROUTE EASEMENT...
12 10' SIDEWALK EASEMENT, 13 10' DRAINAGE EASEMENT, SEE PLAT, 14 PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE, 15 PAINTED 6" WIDE CROSSWALK, SEE ASS01, 16 POLE MOUNTED ADA ACCESSIBLE PARKING SIGNAGE, SEE ASS01, 17 ACCESSIBLE PARKING SPACE, PAINTED ACCESSIBLE PAVEMENT SYMBOL, SEE ASS02, 18 PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: BLUE, 19 PAINTED PARKING SIGNAGE (NO PARKING), COLOR: WHITE 12"H and 2"W LETTER SIZE, 20 VAN ACCESSIBLE PARKING SPACE, PAINTED ACCESSIBLE PAVEMENT SYMBOL, SEE ASS01, 21 PAINTED PARKING SIGNAGE (RETAIL PARKING), COLOR: WHITE 12"H and 2"W LETTER SIZE, 22 PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE, 23 MOTORCYCLE PARKING 4'x8' MINIMUM AND SIGNAGE, 24 PAINTED PARKING SIGNAGE (MOTORCYCLE), COLOR: WHITE 12"H and 2"W LETTER SIZE, 25 POLE MOUNTED MOTORCYCLE PARKING SIGNAGE, SEE ASS01, 26 POLE MOUNTED VAN ACCESSIBLE PARKING SIGNAGE, SEE ASS01, 27 SIDEWALK CULVERT, SEE ASS01, 28 CONCRETE SIDEWALK WITH CONCRETE CURB, SEE ASS01, 29 CONCRETE SIDEWALK, SEE ASS01, 30 CONCRETE HEADER CURB, SEE ASS01, 31 STABILIZED CRUSHER FINES PATHWAY, SEE ASS01, 32 FIRE HYDRANT, SEE CIVIL, 33 POST INDICATOR VALVE (P.I.V.), SEE CIVIL, 34 FIRE DEPARTMENT CONNECTION (FDC), 35 TRANSFORMER (T), SEE ELECTRICAL, PROVIDE EXTERIOR BOLLARDS (4") AS RECOMMENDED BY PWA, SEE ASS01, 36 TRASH COMPACTOR ENCLOSURE, SEE ASS02, 37 RECYCLE ENCLOSURE, SEE ASS02, 38 BREAK AWAY GATE FOR FIRE DEPARTMENT ACCESS ONLY, SEE ASS01, 39 POLE MOUNTED STOP SIGNAGE, SEE ASS01, 40 ACCESSIBLE DOOR ACTUATOR, SEE ELECTRICAL, 41 BICYCLE RACK FOR 2 BICYCLES, SEE ASS01, 42 BICYCLE RACKS FOR MULTIPLE BICYCLES, SEE ASS01, 43 ACCESSIBLE RAMP 1, SEE ASS01, 44 ACCESSIBLE RAMP 2, SEE ASS01, 45 ACCESSIBLE RAMP 3, SEE ASS01, 46 ACCESSIBLE RAMP 4, SEE ASS01, 47 PLAY AREA WITH PLAYGROUND, SEE ASS02, 48 SOUTHERNMOST BUILDING FOOTER SHALL BE DESIGNED SUCH THAT THE ADJACENT SEWER MAIN CAN BE MAINTAINED WITHOUT DISTURBING THE FOOTER ON BEHALF OF ABCWUA, 49 BENCH WITH SIGNAGE, 50 NOT USED, 51 POLE MOUNTED RETAIL ONLY PARKING SIGNAGE, SEE ASS01, 52 PARKING LOT LIGHT POLE, SEE ASS01 AND SEE ELECTRICAL, 53 FENCED DOG PARK, SEE ASS02, 54 FLUSH CONC. CURB ENCLOSURE WITH 4" TALL FENCING, SEE ASS02, 55 4" TALL SENSING GATE, SEE ASS02, 56 30 CUBIC YARD CAPACITY COMPACTOR, OWNER PROVIDED, SEE ARCH AND ELEC, 57 30" GARDEN WALL, SEE ASS02, 58 BENCH, SEE ASS02 AND SPECIFICATIONS, 59 TENSILE FABRIC SHADE STRUCTURE - 16' x 16' (256sf), SEE SPECS, 60 CONCRETE SIDEWALK WITH TURNDOWN EDGE, SEE ASS02, 61 CONCRETE ACCESSIBLE PLAYGROUND RAMP, SEE ASS02, 62 FROST FREE HOSE BIB, SEE CIVIL AND PLUMBING, 63 CONCRETE DRAINAGE CHANNEL, SEE CIVIL, 64 RETAINING POND, SEE CIVIL, 65 BOLLARD - 4", SEE ASS01, 66 PROVIDE OPENINGS IN CONCRETE HEADER CURB TO ALLOW FOR DRAINAGE INTO RETAINING POND, SEE CIVIL, 67 CONCRETE CURB AND GUTTER AT SIDEWALK, SEE ASS01, 68 GAS METER, SEE CIVIL AND PLUMBING, 69 FUTURE RESIDENT ONLY SIGN, SEE C1/ASS02, 70 LIVEWORK CUSTOMIZABLE SIGN, SEE C1/ASS02, 71 PLAY STRUCTURE AND SHADE FOR 2-5 YEAR OLDS, SEE ASS02 AND SPECIFICATIONS, 72 PLAY STRUCTURE AND SHADE FOR 5-12 YEAR OLDS, SEE ASS02 AND SPECIFICATIONS, 73 PET WASTE STATION, SEE SPECIFICATIONS, 74 DECORATIVE BOLLARD, SEE ASS02 AND SPECIFICATIONS, 75 4" TALL FENCING, SEE ASS02, 76 4" TALL FENCING GATE AT PLAYGROUND, SEE ASS02, 77 ELECTRIC VEHICLE PARKING, 78 PLACEHOLDER FOR FUTURE EV CAPABLE CHARGING STATION, PROVIDE ELECTRICAL ROUGH-IN ONLY IN FLUSH ENCLOSURE, SEE ELECTRICAL



ENLARGED SITE PLAN - EAST PARCEL 1" = 20'-0"

Calle Cuarta 4th Street & Fitzgerald, Albuquerque, NM, 87107

CONFORMED DOCUMENTS FOR CONSTRUCTION

Table with columns for REVISIONS, DRAWN BY (AJ), REVIEWED BY (CM), DATE (06/27/2023), and PROJECT NO (20-0276)

DRAWING NAME ENLARGED SITE PLAN - EAST PARCEL

SHEET NO AS101