

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 29, 2025

Genevieve Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Calle Cuarta Apartments
3525 4th St NW, Albuquerque, NM 87107
Permanent Certificate of Occupancy
Engineer's Certification Date: 8/29/2025
Engineer's Stamp Date: 1/30/2025
Hydrology File: G14D097
Case #: HYDR-2025-00315**

Dear Ms. Donart:

PO Box 1293

Based on the Certification received on 8/29/2025 and site visit on 8/29/2025, this letter serves as an approval from the Hydrology Section for a **Permanent Certificate of Occupancy** for buildings B & C to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



August 29, 2025

Mr. Tiequan Chen, PE
City of Albuquerque
Development and Building Services
600 2nd St. NW, Suite 201
Albuquerque, NM 87102

**RE: Calle Cuarta – Phased Grading Certification – Buildings B & C
G14D097
HYDR-2025-00315**

Dear Mr. Chen,

Isaacson & Arfman, Inc. is submitting this grading & drainage plan for the Calle Cuarta project. At this time we are only requesting approval for Buildings B & C. A future grading certification will be submitted for Building A and the remainder of the site.

Please call/email me with any questions or comments.

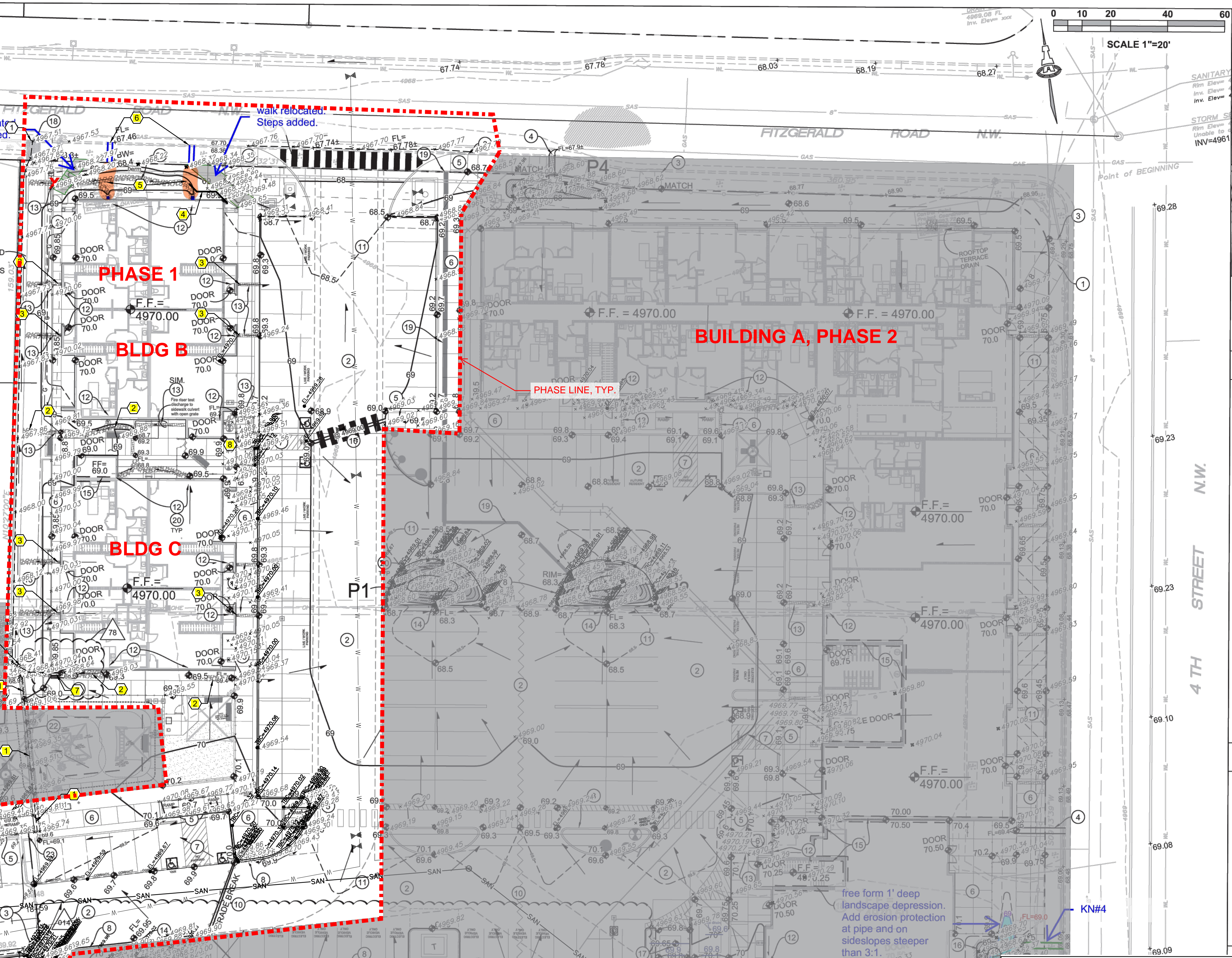
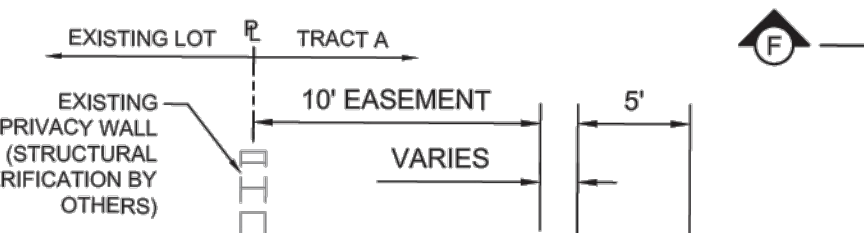
Sincerely,
ISAACSON & ARFMAN, INC.

Genevieve Donart, PE
Attachments

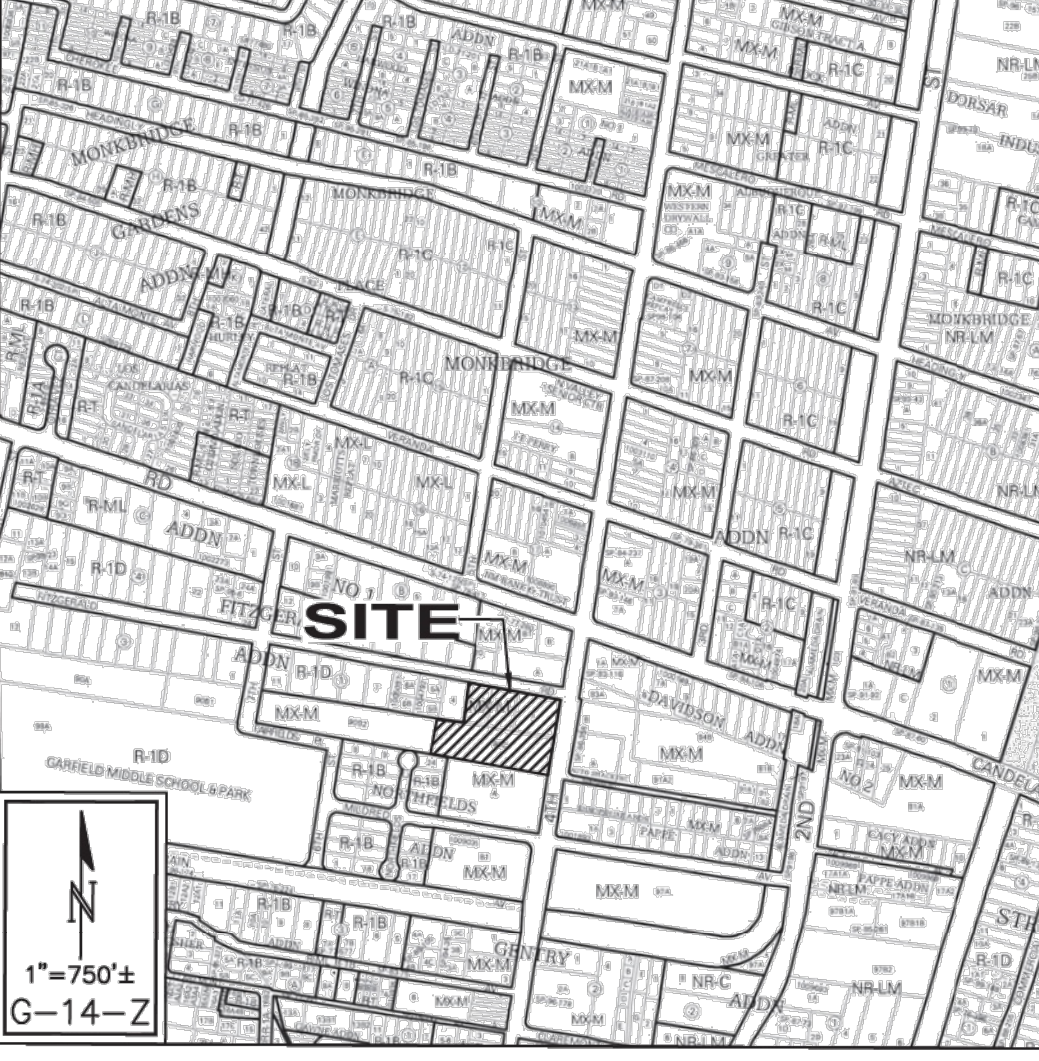
STORMWATER QUALITY POND VOLUMES

STORMWATER QUALITY POND P1		
Contour	Area	Volume
68.0	345	
66.5	140	364 CF
POND VOLUME = 364 CF		
STORMWATER QUALITY POND P2		
Contour	Area	Volume
68.0	345	
66.5	140	364 CF
POND VOLUME = 364 CF		
STORMWATER QUALITY POND P3		
Contour	Area	Volume
69.3	150	
68.0	17	109 CF
POND VOLUME = 109 CF		
STORMWATER QUALITY POND P4		
Contour	Area	Volume
67.5	24	51 CF
POND VOLUME = 51 CF		

VALLEY GUTTER AND PERIMETER WALL IMPROVEMENTS THIS AREA TO BE CONSTRUCTED AS PART OF PHASE 1 (RESIDENTIAL) IMPROVEMENTS CPN-709582



VICINITY MAP



PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-14. THE SITE IS BOUND TO THE EAST BY 4TH ST. SW, TO THE WEST BY UNDEVELOPED RESIDENTIAL, TO THE NORTH BY FITZGERALD RD. NW, AND TO THE SOUTH BY DEVELOPED RESIDENTIAL AND COMMERCIAL PROPERTIES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MIXED MULTI-FAMILY RESIDENTIAL/COMMERCIAL AREA WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT A, CALLE CUARTA, ALBUQUERQUE, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "23-G14", ELEVATION = 4969.296 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY OTHER THAN A PORTION OF THE FUTURE RESIDENTIAL PROPERTY TO THE WEST WHICH WILL DRAIN THROUGH A SURFACE SWALE TO FITZGERALD ROAD WITHIN A DESIGNATED DRAINAGE EASEMENT PROVIDED FOR THAT PURPOSE.

FLOOD HAZARD: THE SUBJECT PROPERTY APPEARS TO LIE WITHIN "ZONE X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0332G, EFFECTIVE DATE SEPTEMBER 26, 2008.

DRAINAGE PLAN CONCEPT: BASED ON A PREDISEIGN MEETING WITH COA HYDROLOGY, (RENEE BRISSETTE - SENIOR ENGINEER) THE PROPERTY IS PERMITTED FREE DISCHARGE TO THE SURROUNDING STREETS. SURFACE DRAIN SYSTEM(S) WILL BE INSTALLED TO COLLECT ON-SITE RUNOFF AND ROUTE TO THE EXISTING PUBLIC STORM DRAIN IN FITZGERALD ROAD NW. ON-SITE VOLUME IS PROVIDED WITHIN THE PARKING LOT (MAX. 6" DEPTH) TO PERMIT TEMPORARY DETENTION UNTIL THE STORM PEAK SUBSIDES AND CAPACITY BECOMES AVAILABLE.

SURVEYOR: RUSS P. HUGG, NMPS NO. 9750, SURV-TEK, INC.

STORMWATER QUALITY PONDS

BASED ON HISTORICAL GOOGLE IMAGERY, THIS PROPERTY HAS BEEN PREVIOUSLY DEVELOPED AS A COMMERCIAL BUSINESS. FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON 0.26" PER SQUARE FOOT OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS 90,636 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" * TYPE 'D' AREA. 0.26/12 * 90636 SF) = 1,964 CF.

SWQV PONDS P1 @ 364 CF, P2 @ 364 CF, P3 @ 109 CF, AND P4 @ 51 CF, TOTALING 887 CF WILL BE CONSTRUCTED AS SHOWN TO A PORTION OF THE STORMWATER QUALITY VOLUME. A WAIVER REQUEST IS PROVIDED FOR THE 1,077 CF THAT CANNOT BE CAPTURED.

DRAINAGE CERTIFICATION

I, GENEVIEVE L. DONAT, NMPE 15088, OF THE FIRM ISAACSON & ARFMAN, INC., HEREBY CERTIFY THAT THE INDIVIDUAL PHASES/BUILDINGS OF THIS PROJECT SHOWN IN THE TABLE BELOW HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/30/2025. ONLY THE BUILDINGS SIGNED ARE CERTIFIED. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JEREMY BAKER, NMPS 25773 OF THE FIRM SQUARE FOOT SERVICES. FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE FOR EACH PHASE AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF WITH THE EXCEPTIONS LISTED IN THE TABLE BELOW.

THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

BLDG#	DATE	SIGNATURE	EXCEPTIONS TO BE COMPLETED PRIOR TO FINAL	EXCEPTION COMPLETE
A				
B & C	08/29/2025	<i>Genevieve L. Donat</i>		

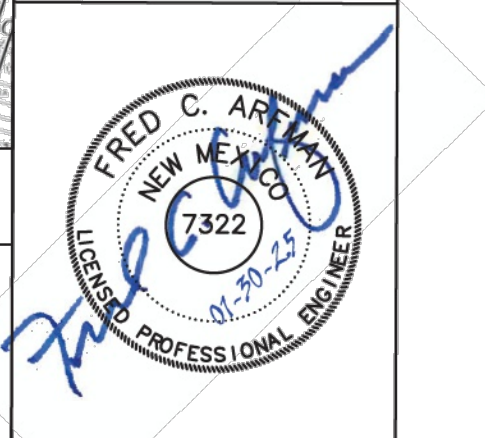
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 02/26/2025
BY: 4989.39
HydroTrans # G14D097

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF A BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

KEYED NOTES

- NO WORK SHALL BE PERFORMED IN THE PUBLIC ROW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN.
- PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
- INSTALL TWO 4" DRAINS THROUGH CURB PER C.O.A. STD. DWG. 2235.
- CONSTRUCT ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
- 6" HIGH CURB. TYPICAL. NOTE: TO ENSURE READABILITY, NOT ALL CURBS ARE LABELED WITH BOTH FLOWLINE AND TOP OF CURB ELEVATION. ALL SPOT ELEVATIONS SHOWN WITHIN GUTTER ARE FLOWLINE ELEVATION. ADD CURB HEIGHT FOR ADJACENT TOP OF CURB ELEVATION. SEE PAVING PLAN AND DETAILS FOR CURB TYPES AND ADDITIONAL INFORMATION.
- CONSTRUCT 2" WIDE CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN. SEE CG-501 FOR DETAIL.
- HIGH POINT / GRADE BREAK LOCATION.
- 0.5' AND 0.1' DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
- CONCENTRATED ROOF DISCHARGE LOCATION DISCHARGES TO ANGULAR ROCK SWALE OR DIRECTLY INTO COVERED SIDEWALK CULVERT.
- CONSTRUCT 8" WIDE (MINIMUM BOTTOM WIDTH) COVERED SIDEWALK CULVERT. FLOWLINE OF ANGULAR ROCK SWALE (WHERE APPLICABLE) TO MATCH FLOWLINE.
- PROVIDE 2.0' WIDE OPENING IN CURB TO PASS FLOW. SLOPE GUTTER AT 2% MAX. IN DIRECTION OF FLOW (EACH CURB OPENING LOCATION). SEE CG-501 FOR DETAIL.
- CHANGE IN FINISH FLOOR ELEVATION. SEE ARCHITECTURAL AND STRUCTURAL PLANS.
- CONSTRUCT DEEP STORMWATER QUALITY RETENTION POND (SWQ) AT ELEVATIONS SHOWN. SIDESLOPE = 2:1 ARMORED WITH 4" AVG. DIAMETER ANGULAR ROCK OVER PERMANENT EROSION CONTROL MATERIAL. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR TO CLEAN AND CLEAR EXISTING SIDEWALK CULVERTS AND STORM DRAIN SYSTEM.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS. CONNECT TO STUB PROVIDED AS PART OF PUBLIC WORK ORDER CONSTRUCTION.
- INSTALL 8" THICK (4" AVG. DIA.) ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED. HAND PLACE AT CURB OPENINGS AND SWALES TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY. SWALES TO BE 2" WIDE X 8" THICK X 2' DEPRESSED TO EXTENTS SHOWN. SEE CG-501 FOR ADDITIONAL INFORMATION.
- GRADE TRANSITION WALL. RETAINING HEIGHT VARIES. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
- 56x LF 8" WIDE (BOTTOM WIDTH) TRENCH DRAIN (6" DEEP TYP.) WITH PEDESTRIAN RATED GRATE. SEE CG-501 FOR DETAIL.
- 12" WIDE (BOTTOM WIDTH) 'U' CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS MINOR OFF-SITE FLOW TO COVERED SIDEWALK CULVERT.
- TWO 6" PIPES THRU STEPS PER DETAIL ON SHEET CG-501.

Isaacson & Arfman, Inc.
Civil Engineering Consultants
128 Monroe Street NE
Albuquerque, NM 87106
505-266-8628 | www.isaifirm.com



Engineer
CALLE CUARTA
3525 4th St. NW
Albuquerque, New Mexico 87107

ISSUE:	100%
PROJECT NUMBER:	IA 2448
FILE:	
DRAWN BY:	bjb
CHECKED BY:	fca
DATE:	January 30, 2025

DESCRIPTION

NO

DATE

SHEET TITLE
GRADING & DRAINAGE PLAN

SHEET NUMBER
CG-101

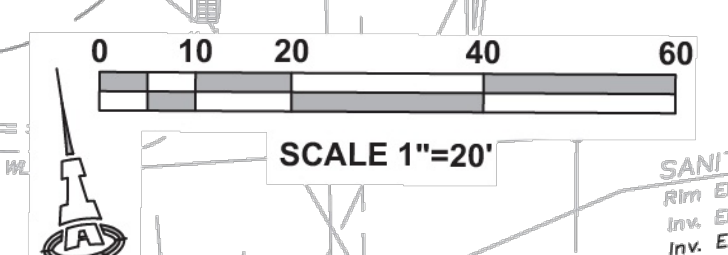
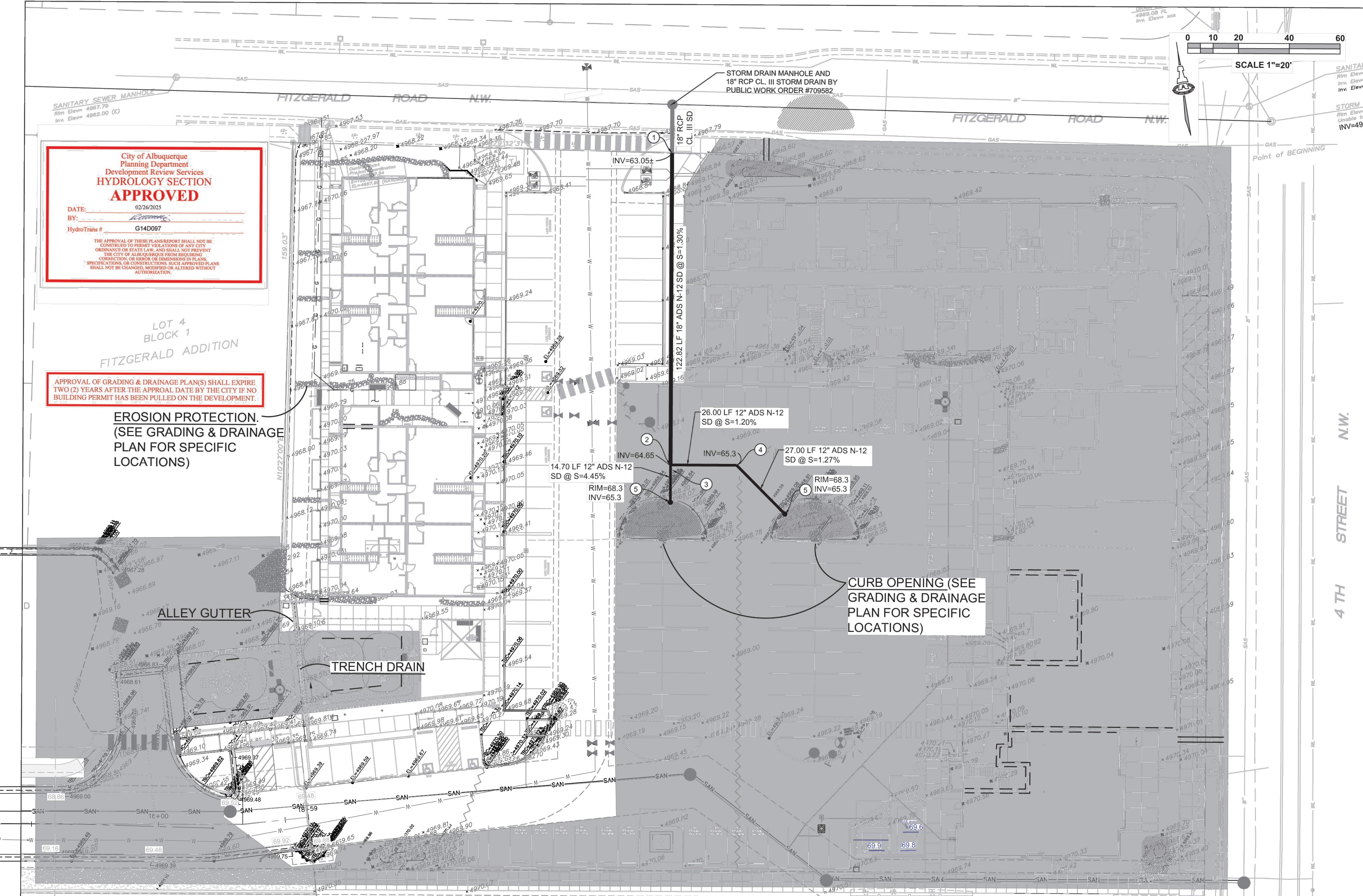
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 02/26/2025
 BY: [Signature]
 HydroTrans # G14D097

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTION, OR REVISION, OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

LOT 4
 BLOCK 1
 FITZGERALD ADDITION

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

EROSION PROTECTION.
 (SEE GRADING & DRAINAGE PLAN FOR SPECIFIC LOCATIONS)

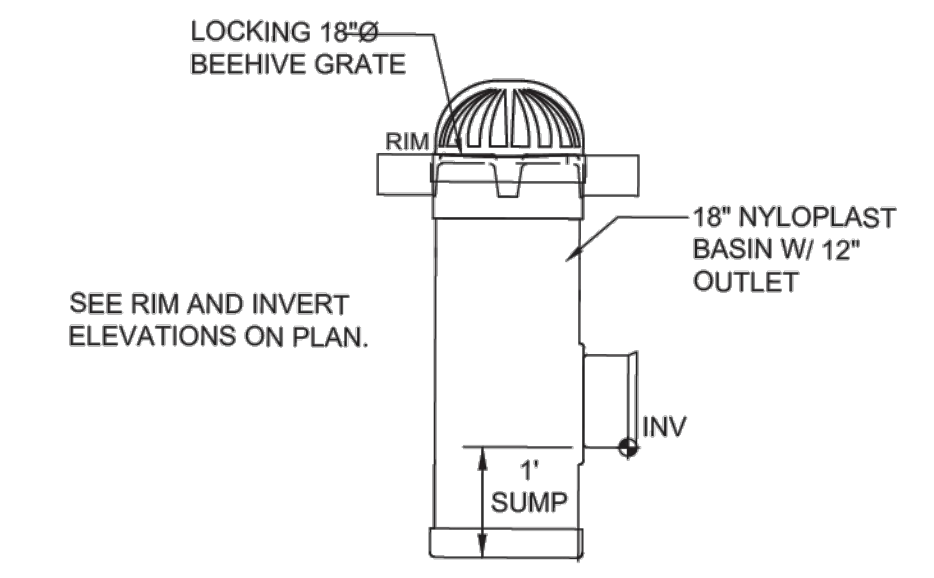


GENERAL NOTES

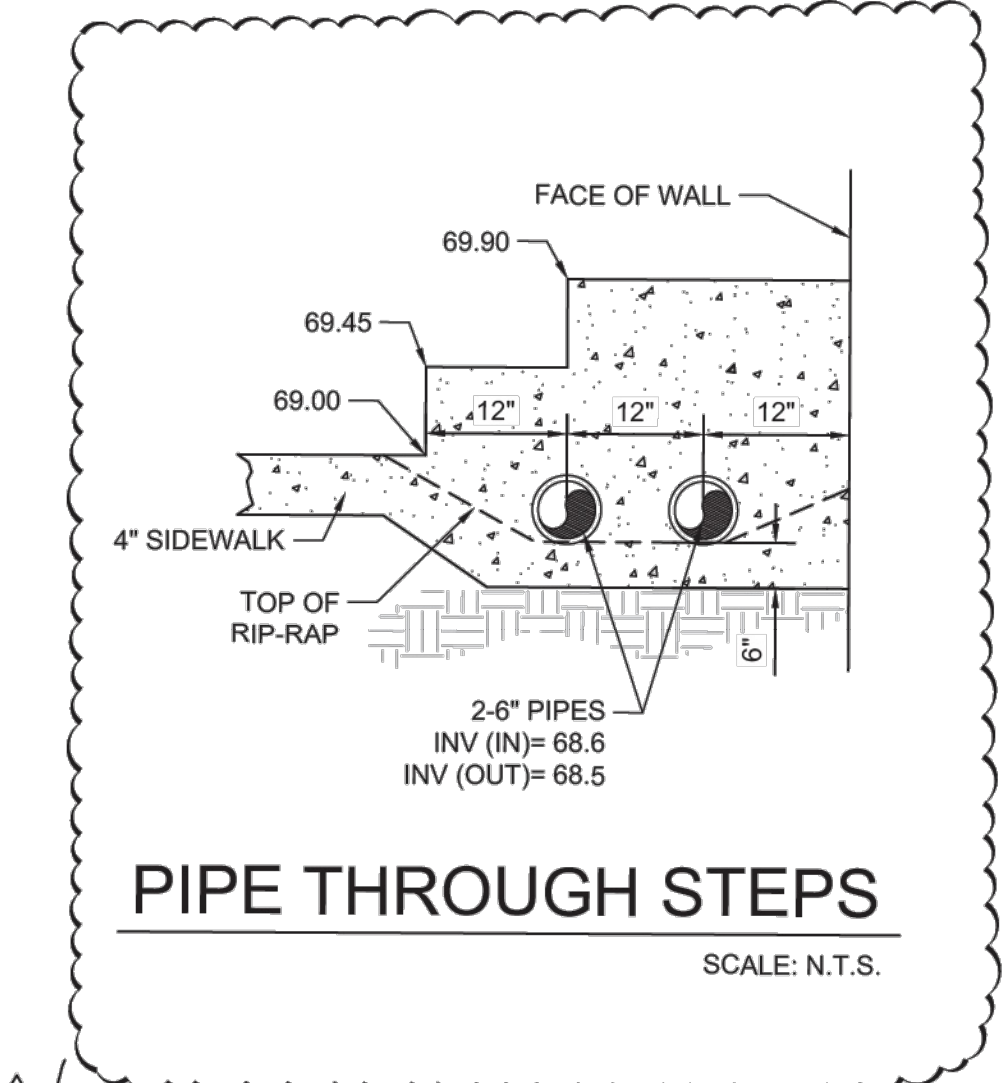
- INSTALL ALL STORM DRAIN INLETS, PIPE AND FITTINGS PER MANUFACTURER'S SPECIFICATIONS.
- EACH PROPOSED INLET IN LANDSCAPE AREAS CONSIST OF AN ADS NYLOPLAST BASIN; 3' DEEP; 1' SUMP; OUTLET SIZE PER PLAN; LOCKING DOME GRATE; 8" CONCRETE APRON.
- ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT.
- INSTALL PIPE WITH SLOPES AND INVERTS PER PLAN.
- STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.
- STORM DRAIN PIPE LENGTHS NOTED ON PLAN ARE TO CENTER OF DRAIN BASINS.

KEYED NOTES

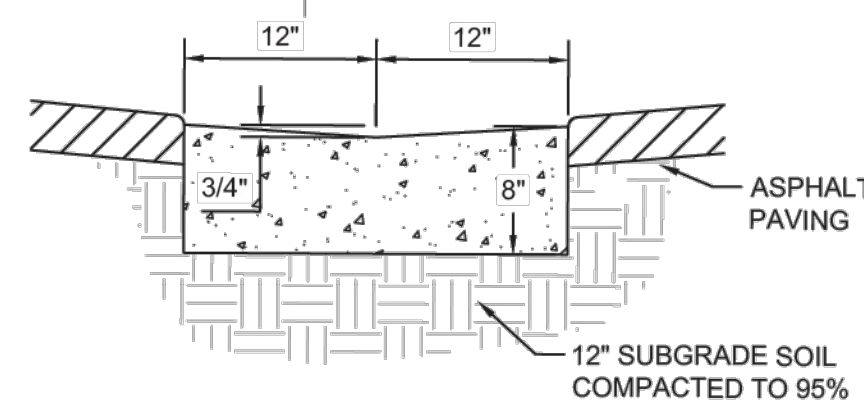
- REMOVE 18" SD CAP AND CONNECT TO EXISTING 18" RCP STORM DRAIN WITH ADS ADAPTER.
- 1-18"X12" TEE
- 1-18"X12" REDUCER
- 1-12" 45° BEND
- 1-18" NYLOPLAST BASIN WITH 12" OUTLET. SEE GENERAL NOTE B THIS SHEET.



ADS NYLOPLAST BASIN
 SCALE: N.T.S.

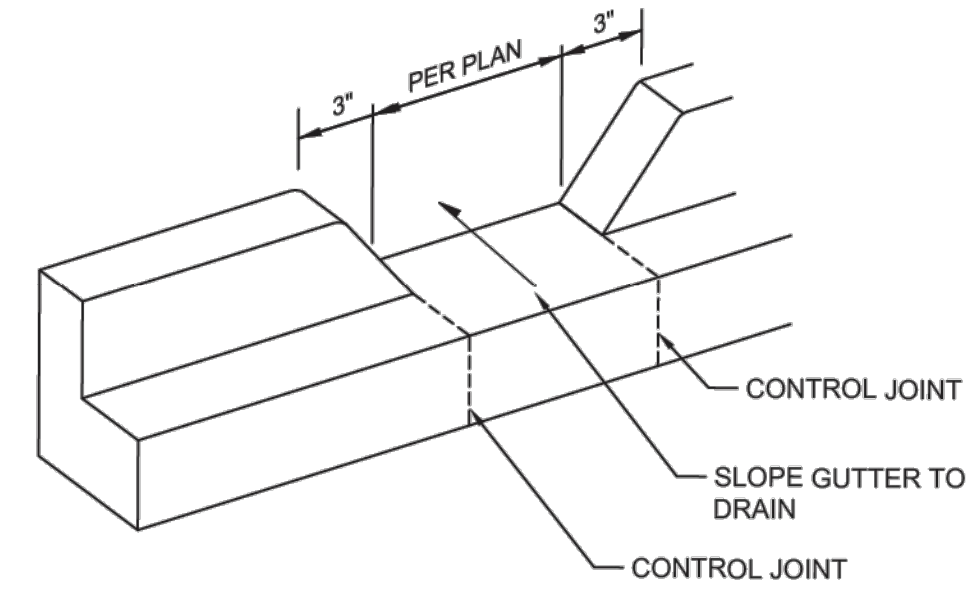


PIPE THROUGH STEPS
 SCALE: N.T.S.

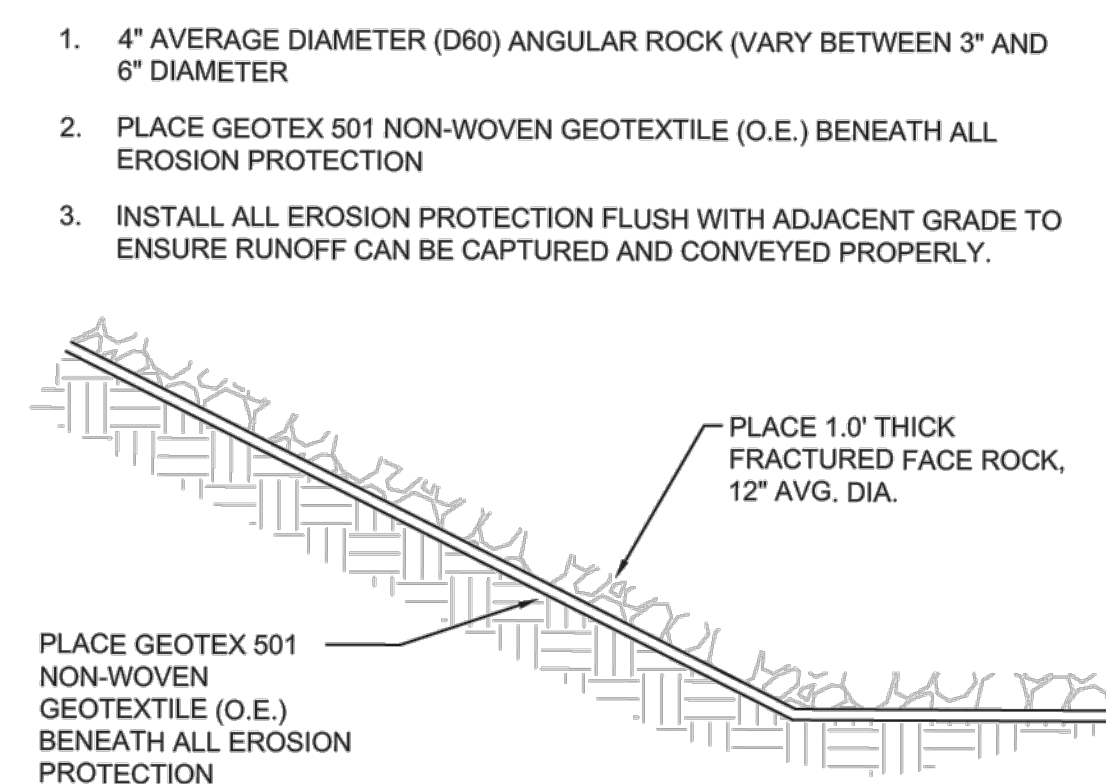


- GENERAL NOTES**
- SEALED CONTRACTION / CONTROL JOINTS @ 6' MAX.
 - 1/2" SEALED EXPANSION JOINTS 48" O.C., CURB RETURNS AND EACH SIDE OF DRIVES.
 - FINISHED EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).
 - 3/8" RADII AT ALL EXPOSED EDGES.

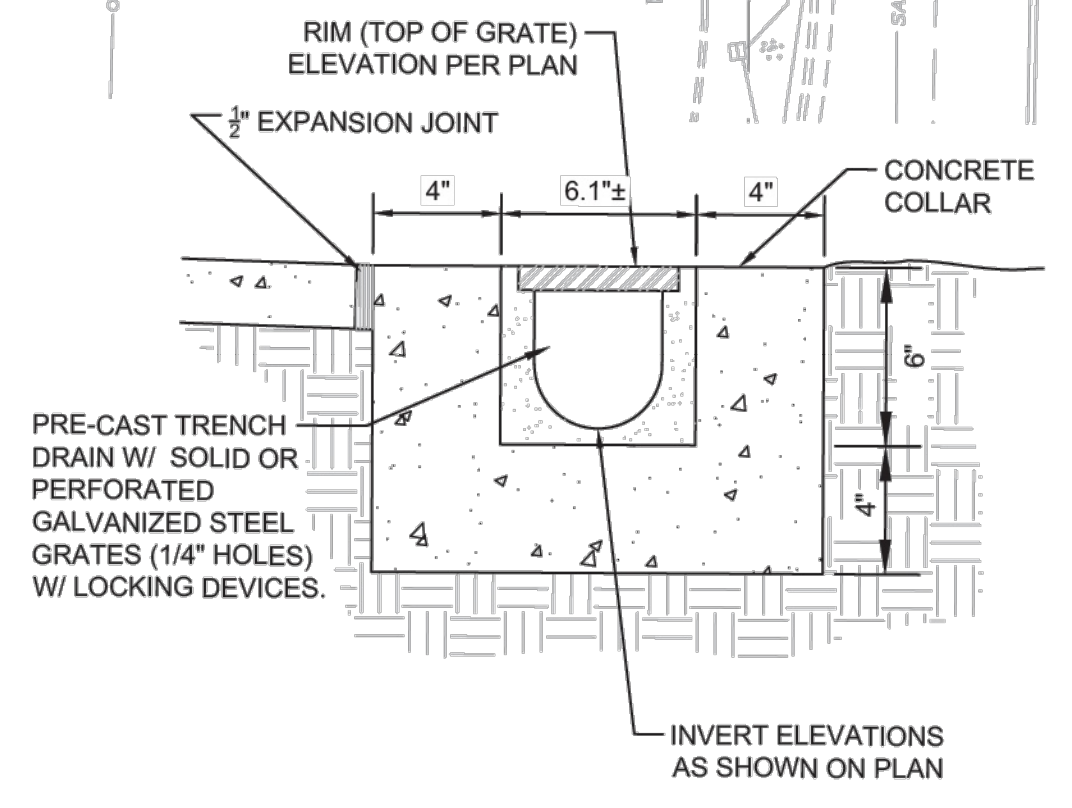
ALLEY GUTTER
 SCALE: N.T.S.



CURB OPENING
 SCALE: N.T.S.

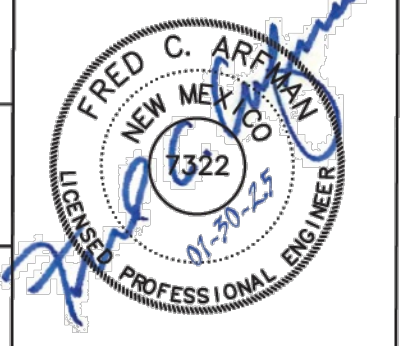


EROSION PROTECTION - MEDIUM
 SCALE: N.T.S.



TRENCH DRAIN
 SCALE: N.T.S.

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Engineer

CALLE CUARTA
3525 4th St. NW
Albuquerque, New Mexico 87107

ISSUE:	100%
PROJECT NUMBER:	IA 2448
FILE:	
DRAWN BY:	bjb
CHECKED BY:	fca
DATE:	January 30, 2025

No	Date	Description

SHEET TITLE
STORM DRAIN PLAN & DRAINAGE DETAILS

SHEET NUMBER
CG-501