

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 29, 2025

Fred Arfman, P.E.  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque, NM 87108

**RE: Calle Cuarta  
3525 4<sup>th</sup> Street NW  
Permanent Certificate of Occupancy - ACCEPTED  
Engineer's Certification Date: 10/24/2025  
Engineer's Stamp Date: 01/30/2025  
Hydrology File: G14D097  
Case # HYDR-2025-00390**

Dear Mr. Arfman:

PO Box 1293

Based on the Engineer's Grading and Drainage Certification received 10/29/2025 and site visit on 10/29/2025, this letter serves as an approval from the Hydrology Section for a Permanent Certificate of Occupancy for the Calle Cuarta Apartments located at 3525 4<sup>th</sup> Street NW to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

# STORMWATER QUALITY POND VOLUMES

Stormwater Quality Pond	Contour	Area	Volume
POND P1	68.0	345	
	66.5	140	364 CF
POND VOLUME = 364 CF			
POND P2	69.0	345	
	66.5	140	364 CF
POND VOLUME = 364 CF			
POND P3	69.3	150	
	68.0	17	109 CF
POND VOLUME = 109 CF			

all drainage features including erosion control swales, berms, etc. must be constructed. Typical

## DRAINAGE CERTIFICATION

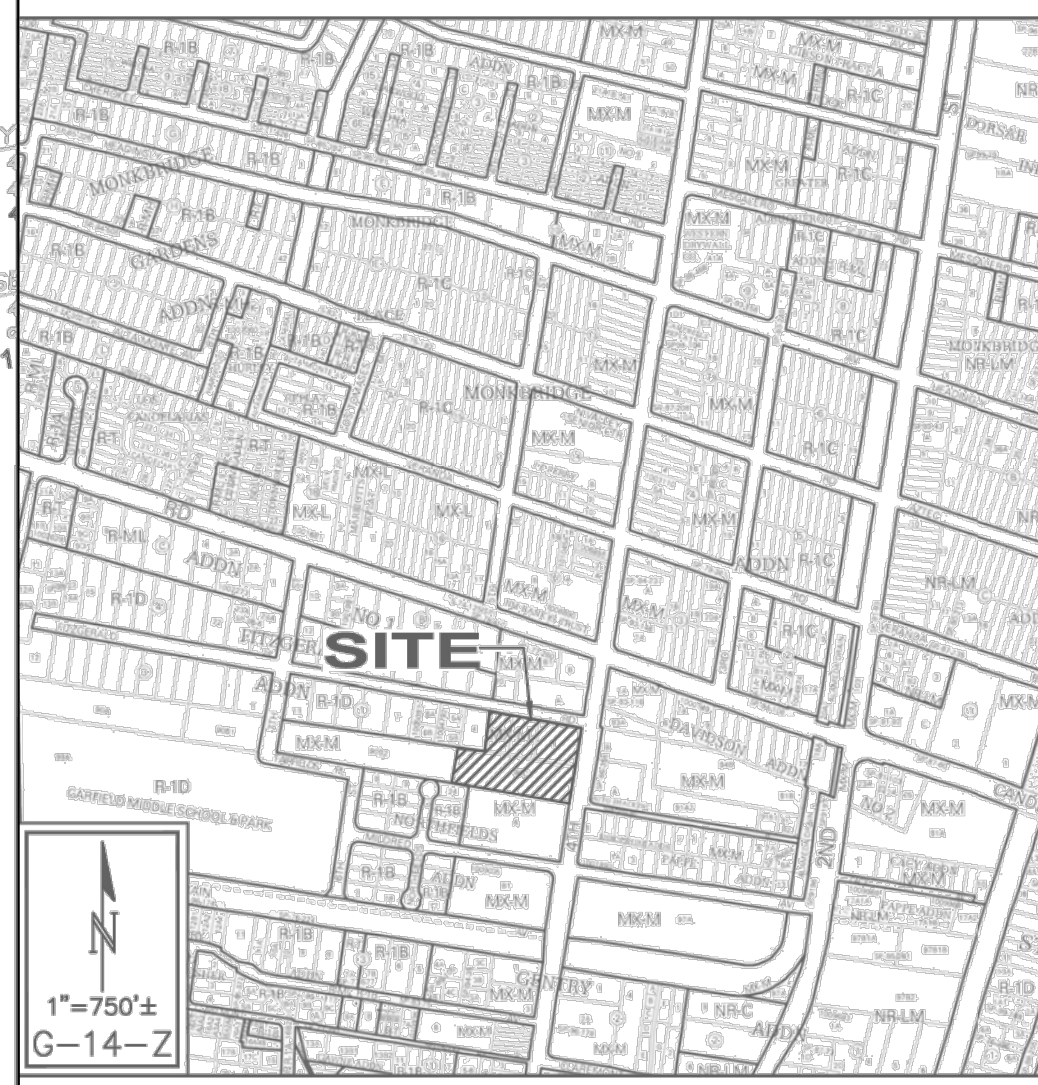
I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 01/30/2025. The record information edited onto the original design document has been obtained by Jeremy Baker NMPS25773 of the firm Square Root Services LLC. I further certify that I have personally visited the project site on Oct. 10, 2025 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

*Fred C. Arfman*  
**Fred C. Arfman, PE** NMPE 7322  
 10-24-2025  
 Date



## VICINITY MAP



**Isaacson & Arfman, Inc.**  
 Civil Engineering Consultants  
 128 Monroe Street NE  
 Albuquerque, NM 87108  
 505-268-8828 | www.iacivil.com

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## PROJECT INFORMATION

**PROPERTY:** THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-14. THE SITE IS BOUND TO THE EAST BY 4TH ST. SW, TO THE WEST BY UNDEVELOPED RESIDENTIAL, TO THE NORTH BY FITZGERALD RD. NW, AND TO THE SOUTH BY DEVELOPED RESIDENTIAL AND COMMERCIAL PROPERTIES.

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE A MIXED MULTI-FAMILY RESIDENTIAL/COMMERCIAL AREA WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

**LEGAL:** TRACT A, CALLE CUARTA, ALBUQUERQUE, NEW MEXICO.

**BENCHMARK:** VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "23-G14", ELEVATION = 4969.296 FEET (NAVD 88).

**OFF-SITE:** NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY OTHER THAN A PORTION OF THE FUTURE RESIDENTIAL PROPERTY TO THE WEST WHICH WILL DRAIN THROUGH A SURFACE SWALE TO FITZGERALD ROAD WITHIN A DESIGNATED DRAINAGE EASEMENT PROVIDED FOR THAT PURPOSE.

**FLOOD HAZARD:** THE SUBJECT PROPERTY APPEARS TO LIE WITHIN "ZONE X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0323G, EFFECTIVE DATE SEPTEMBER 26, 2008.

**DRAINAGE PLAN CONCEPT:** BASED ON A PREDISEIGN MEETING WITH COA HYDROLOGY. (RENÉE BRISSETTE - SENIOR ENGINEER) THE PROPERTY IS PERMITTED FREE DISCHARGE TO THE SURROUNDING STREETS. SURFACE DISCHARGE WILL BE PROVIDED WHERE POSSIBLE. A PRIVATE STORM DRAIN SYSTEM(S) WILL BE INSTALLED TO COLLECT ON-SITE RUNOFF AND ROUTE TO THE EXISTING PUBLIC STORM DRAIN IN FITZGERALD ROAD NW. ON-SITE VOLUME IS PROVIDED WITHIN THE PARKING LOT (MAX. 6" DEPTH) TO PERMIT TEMPORARY DETENTION UNTIL THE STORM PEAK SUBSIDES AND CAPACITY BECOMES AVAILABLE.

**SURVEYOR:** RUSS P. HUGG, NMPS NO. 9750, SURV-TEK, INC.

## STORMWATER QUALITY PONDS

BASED ON HISTORICAL GOOGLE IMAGERY, THIS PROPERTY HAS BEEN PREVIOUSLY DEVELOPED AS A COMMERCIAL BUSINESS. FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON 0.26" PER SQUARE FOOT OF IMPERVIOUS AREA.

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS 90,636 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" \* TYPE 'D' AREA: 0.26/12 \* 90636 SF = 1,964 CF.

SWQV PONDS P1 @ 364 CF, P2 @ 364 CF, P3 @ 109 CF, AND P4 @ 51 CF, TOTALING 887 CF WILL BE CONSTRUCTED AS SHOWN TO A PORTION OF THE STORMWATER QUALITY VOLUME. A WAIVER REQUEST IS PROVIDED FOR THE 1,077 CF THAT CANNOT BE CAPTURED.

## S.O.19 : NOTICE TO CONTRACTORS

### PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

- Build sidewalk culvert per COA STD DWG 2236.
- Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
- An excavation permit will be required before beginning any work within City Right-Of-Way.
- All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
- Two working days prior to any excavation, the contractor must contact **New Mexico One Call**, dial "811" [or (505) 260-1990] for the location of existing utilities.
- Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of the facility shall be the responsibility of the owner of the property being served.
- Work on arterial streets may be required on a 24-hour basis.
- Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

ISSUE:	100%
PROJECT NUMBER:	IA 2448
FILE:	bjb
DRAWN BY:	fca
CHECKED BY:	January 30, 2025
DATE:	

SHEET TITLE	
GRADING & DRAINAGE PLAN	
SHEET NUMBER	
CG-101	

## PHASE 1

## PHASE 2

## KEYED NOTES

- NO WORK SHALL BE PERFORMED IN THE PUBLIC RW WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.
- CONSTRUCT NEW PAVING AT ELEVATIONS SHOWN.
- PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT.
- INSTALL TWO 4" DRAINS THROUGH CURB PER C.O.A. STD. DWG. 2235.
- CONSTRUCT ADA COMPLIANT CURB RAMP AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PEDESTRIAN ACCESS WALK AT ELEVATIONS SHOWN.
- CONSTRUCT ADA COMPLIANT PARKING SPACES AND ACCESS AISLES AT ELEVATIONS SHOWN.
- 6" HIGH CURB. TYPICAL NOTE: TO ENSURE READABILITY, NOT ALL CURBS ARE LABELED WITH BOTH FLOWLINE AND TOP OF CURB ELEVATION. ALL SPOT ELEVATIONS SHOWN WITHIN GUTTER ARE FLOWLINE ELEVATION. ADD CURB HEIGHT FOR ADJACENT TOP OF CURB ELEVATION. SEE PAVING PLAN AND
- DETAILS FOR CURB TYPES AND ADDITIONAL INFORMATION.
- CONSTRUCT 2" WIDE CONCRETE ALLEY GUTTER AT FLOWLINE ELEVATIONS SHOWN. SEE CG-501 FOR DETAIL.
- HIGH POINT / GRADE BREAK LOCATION.
- 0.5" AND 0.1" DESIGN CONTOURS SHOWN DASHED WHERE NECESSARY TO CLARIFY GRADING CONCEPT.
- CONCENTRATED FLOW DISCHARGE LOCATION DISCHARGES TO ANGULAR ROCK SWALE OR DIRECTLY INTO COVERED SIDEWALK CULVERT.
- CONSTRUCT 8" WIDE (MINIMUM BOTTOM WIDTH) COVERED SIDEWALK CULVERT. FLOWLINE OF ANGULAR ROCK SWALE (WHERE APPLICABLE) TO MATCH FLOWLINE.
- PROVIDE 2.0' WIDE OPENING IN CURB TO PASS FLOW. SLOPE GUTTER AT 2% MAX. IN DIRECTION OF FLOW (EACH CURB OPENING LOCATION). SEE CG-501 FOR DETAIL.
- CHANGE IN FINISH FLOOR ELEVATION. SEE ARCHITECTURAL AND STRUCTURAL PLANS.
- CONSTRUCT DEEP STORMWATER QUALITY RETENTION POND (SWQ) AT ELEVATIONS SHOWN. SIDESLOPE = 2:1 ARMORED WITH 4" AVG. DIAMETER ANGULAR ROCK OVER PERMANENT EROSION CONTROL MATERIAL. ALL STORMWATER QUALITY PONDING VOLUMES WILL BE VERIFIED AS PART OF AS-BUILT CERTIFICATION. PONDS WHICH DO NOT PROVIDE THE REQUIRED VOLUME WILL BE CORRECTED AT CONTRACTOR'S EXPENSE.
- CONCRETE DUMPSTER PAD SLOPED TO INTERIOR DRAIN INLET(S). SEE UTILITY PLAN FOR CONTINUATION.
- CONTRACTOR TO CLEAN AND CLEAR EXISTING SIDEWALK CULVERTS AND STORM DRAIN SYSTEM.
- CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS. CONNECT TO STUB PROVIDED AS PART OF PUBLIC WORK ORDER CONSTRUCTION.
- INSTALL 8" THICK (4" AVG. DIA.) ANGULAR ROCK EROSION PROTECTION TO LIMITS HATCHED. HAND PLACE AT CURB OPENINGS AND SWALES TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY. SWALES TO BE 2" WIDE X 8" THICK X 2" DEPRESSED TO EXTENTS SHOWN. SEE CG-501 FOR ADDITIONAL INFORMATION.
- GRADE TRANSITION WALL. RETAINING HEIGHT VARIES. STRUCTURAL DESIGN TO BE PROVIDED BY WALL CONTRACTOR.
- 56± LF 8" WIDE (BOTTOM WIDTH) TRENCH DRAIN (6" DEEP TYP.) WITH PEDESTRIAN RATED GRATE. SEE CG-501 FOR DETAIL.
- 12" WIDE (BOTTOM WIDTH) 'U' CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS MINOR OFF-SITE FLOW TO COVERED SIDEWALK CULVERT.
- TWO 6" PIPES THRU STEPS PER DETAIL ON SHEET CG-501.
25. 4" dia. drain pipes replaced by 12" COA Sidewalk Culverts

## LEGEND

- EXISTING CONTOUR
  - PROPOSED 1.0' CONTOUR
  - PROPOSED SPOT ELEVATION
  - FLOW DIRECTION
  - FINISH FLOOR ELEVATION
  - PROPOSED STORM DRAIN / INLET
  - STORMWATER QUALITY POND (SEE KEYED NOTE #16)
- ADA REQUIREMENTS**
- SIDEWALK(S) AND RAMP(S): TARGET CROSS SLOPE = 1% TO 1.5%. CROSS SLOPE SHALL NOT EXCEED 2%
- ACCESSIBLE RAMP(S): TARGET LONGITUDINAL SLOPE = 7% LONGITUDINAL SLOPE SHALL NOT EXCEED 12:1 (8.3%).
- ACCESSIBLE PARKING: TARGET SLOPE = 1% TO 1.5%. SLOPE SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 10/26/2025  
 BY: [Signature]  
 HydroTrans #: G14C097

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO BE A VIOLATION OF ANY CITY ORDINANCE OR FEDERAL OR STATE REGULATIONS. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY STRUCTURE OR CONSTRUCTION. ALL APPROVED PLANS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT THE AUTHORIZATION OF THE CITY OF ALBUQUERQUE.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

