

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 10, 2022

Åsa Nilsson-Weber, P.E.  
Isaacson & Arfman, P.A.  
128 Monroe St. N.E  
Albuquerque, NM 87108

**RE: Calle Cuarta Residential  
420 Fitzgerald Road NW  
Grading and Drainage Plans  
Engineer's Stamp Date: 04/28/22  
Hydrology File: G14D097**

Dear Ms. Nilsson-Weber:

PO Box 1293

Based upon the information provided in your submittal received 04/29/2022, the Grading & Drainage Plans are approved for Grading Permit, Work Order and for action by the DRB on Platting. Please place this stamp approved Grading & Drainage Plans to the Work Order set of construction drawings.

Albuquerque

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_ Åsa Nilsson-Weber

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_ asaw@iacivil.com

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (21# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



STORMWATER QUALITY PONDS

BASED ON HISTORICAL GOOGLE IMAGERY, THIS PROPERTY HAS BEEN PREVIOUSLY DEVELOPED AS A COMMERCIAL BUSINESS. FOR REDEVELOPMENT SITES, THE CABQ STORMWATER QUALITY VOLUME (SWQV) IS BASED ON THE 80TH PERCENTILE STORM EVENT OR 0.26".

THE ESTIMATED IMPERVIOUS AREA FOR THIS PROPERTY IS CALCULATED AS 61% OF TOTAL AREA: (0.61\*2,5306 AC\*/43,560 FT/AC) = 67,242 SF. THE TOTAL REQUIRED S.Q. RETENTION VOLUME = 0.26" \* TYPE 'D' AREA: 0.26/12 \*67,242 SF) = 1,457 CF.

SWQ PONDS #1 & #2 WILL CAPTURE THE REQUIRED SWQ VOLUME OF 1,106 CF FROM BASINS C, D, E & F. PARTIAL SWQ VOLUME OF 55 CF FROM BASIN A WILL BE CAPTURED IN SWQ POND #3. 296 CF OF STORM WATER VOLUMES FROM BASINS A & B WILL DISCHARGE TO 7TH ST AND FAIRFIELD PL.

PRIOR TO BUILDING PERMIT APPROVAL, A "PAYMENT IN-LIEU FOR S.Q. VOLUME REQUIREMENT" TREASURY DEPOSIT SLIP MAY BE PROVIDED BY C.O.A. HYDROLOGY BASED ON THE PORTION OF S.Q. VOLUME (@ \$8.00 / CF THAT IS NOT RETAINED ON-SITE. A COPY OF THE PAID RECEIPT WILL BE REQUIRED PRIOR TO RECEIVING HYDROLOGY APPROVAL FOR BUILDING PERMIT.

A DRAINAGE COVENANT MAY BE REQUIRED FOR THE SWQ PONDS AND THEIR OUTFALL STRUCTURES. IF SO, THE ORIGINAL NOTARIZED FORM, EXHIBIT A (LEGIBLE ON 8.5X11) AND RECORDING FEE (PAYABLE TO CITY OF ALBUQUERQUE) WILL BE SUBMITTED AS DIRECTED.

PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP G-14. THE SITE IS BOUND TO THE EAST BY TRACT A, CALLE CUARTA AND 4TH ST NW, TO THE WEST BY 7TH ST. NW, TO THE NORTH BY DEVELOPED RESIDENTIAL LOTS AND FITZGERALD RD. NW, AND TO THE SOUTH BY FAIRFIELD PL. NW, DEVELOPED RESIDENTIAL AND COMMERCIAL PROPERTIES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE 21 UNITS (7 TRIPLEX TOWNHOMES) ADJACENT TO A FUTURE MIXED MULT-FAMILY RESIDENTIAL/COMMERCIAL AREA WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT B, CALLE CUARTA.

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "23-G14", ELEVATION = 4969.296 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY APPEARS TO LIE WITHIN "ZONE X" (AREA WITH REDUCED FLOOD RISK DUE TO LEVEE) AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0332G, EFFECTIVE DATE SEPTEMBER 26, 2008.

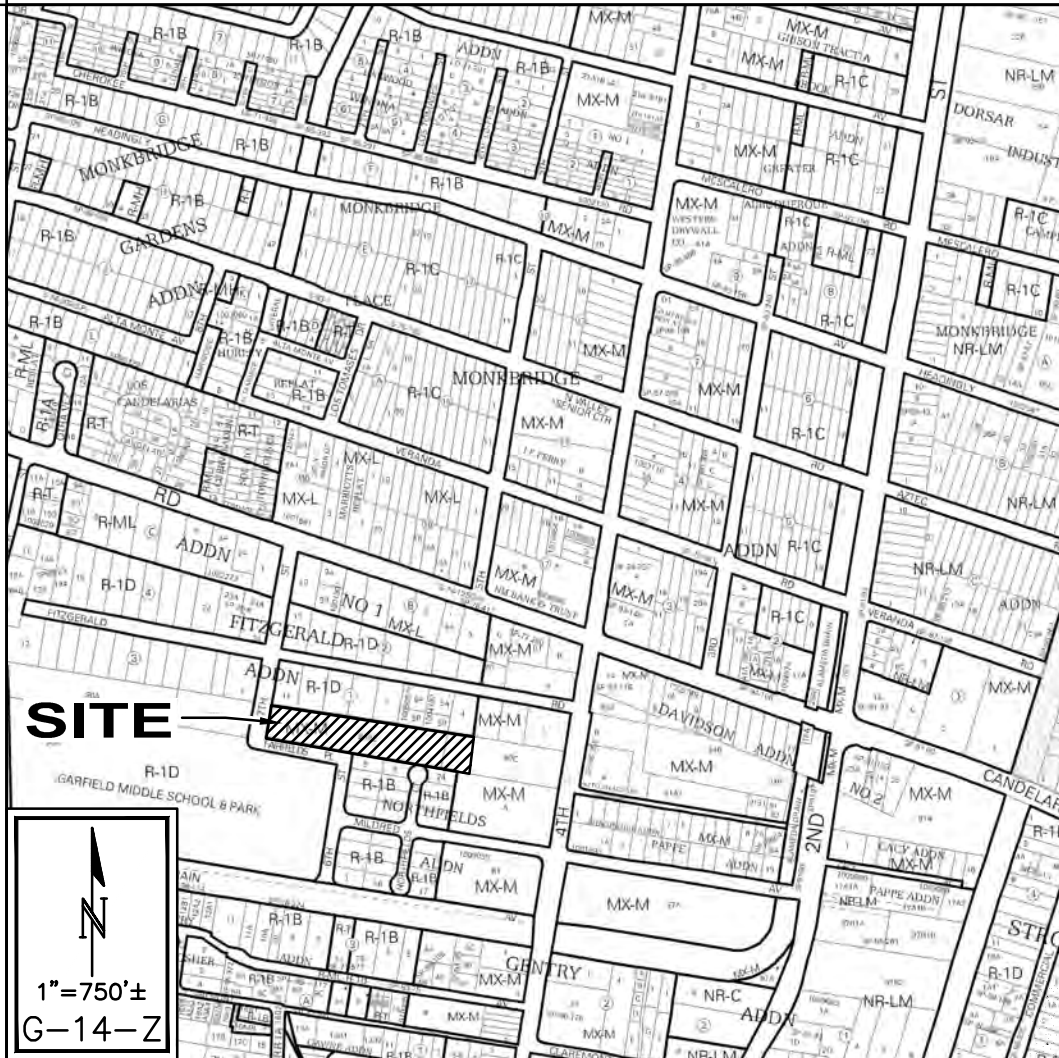
DRAINAGE PLAN CONCEPT: BASED ON A PREDESIGN MEETING WITH COA HYDROLOGY, (RENÉE BRISETTE - SENIOR ENGINEER) THE PROPERTY IS PERMITTED FREE DISCHARGE TO THE SURROUNDING STREETS. SURFACE DISCHARGE WILL BE PROVIDED WHERE POSSIBLE. ON-SITE RUNOFF IS ROUTED TO THE EXISTING PUBLIC STORM DRAINS IN 7TH STREET AND FITZGERALD ROAD NW.

SURVEYOR: RUSS P. HUGG, NMPS NO. 9750, SURV-TEK, INC.

GENERAL NOTES

- A. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- C. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- D. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- E. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT BY OTHERS.). CONTRACTOR SHALL COORDINATE WITH OWNER TO DETERMINE WHO WILL PREPARE SWPPP AND INSPECT REQUIRED ELEMENTS.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.
- G. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR 'x', TRANSITIONS SHALL BE SMOOTH.
- H. PAD ELEVATIONS SHALL BE WITHIN 0.1±.
- I. POND DESIGN PARAMETERS AND STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- J. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- K. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS FIVE WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- L. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
  - L.A. AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
  - L.B. TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
  - L.C. ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- M. UPON WRITTEN REQUEST, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL.
- N. SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE OWNER.

VICINITY MAP



LEGEND

- 4985 — EXISTING CONTOUR
- 71 — PROPOSED 1.0' CONTOUR
- - - 70.5 - - - PROPOSED 0.5' CONTOUR
- FLOW DIRECTION
- PG= 4970.0 PAD GRADE ELEVATION
- EROSION PROTECTION
- SIDWALK CULVERT
- - - GRADING LIMITS
- ~~~~~ HIGH POINT

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Civil Engineering Consultants

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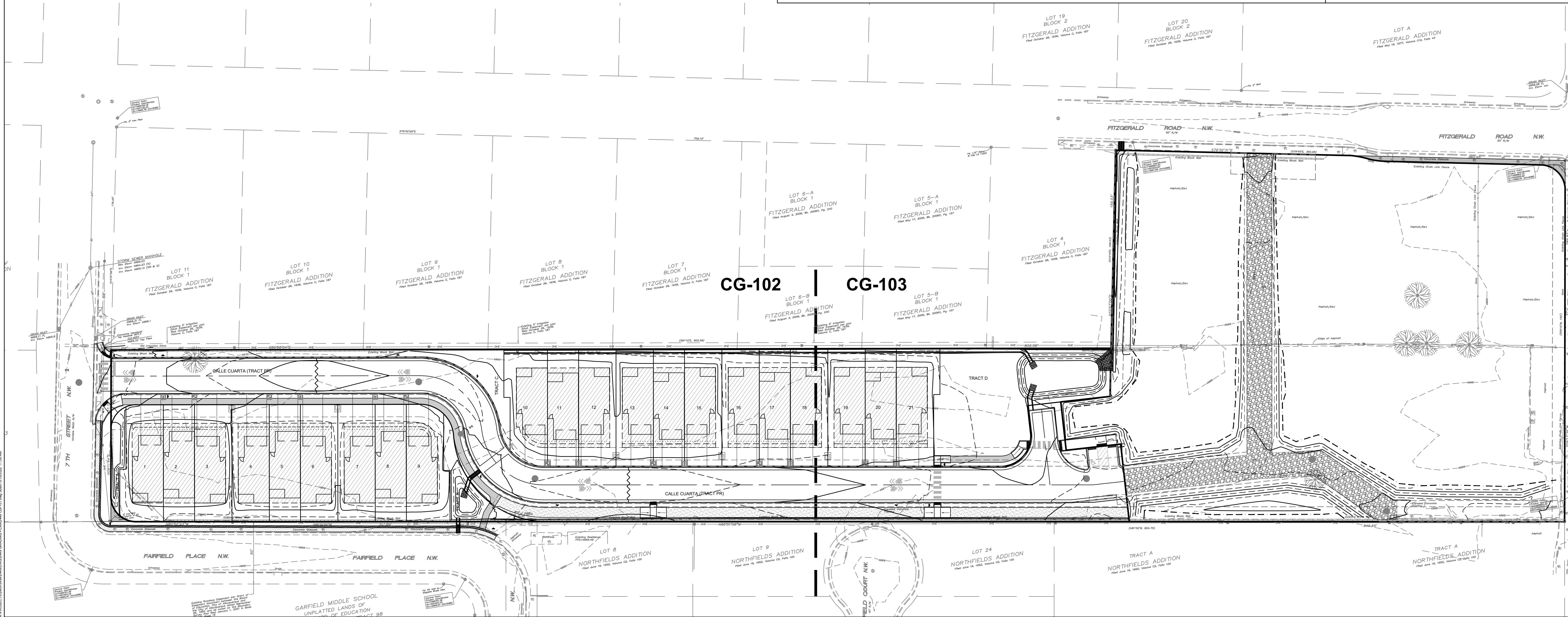
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17831  
NEW MEXICO  
Professional Engineer  
04/28/2022

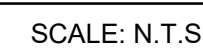
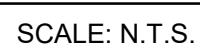
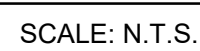
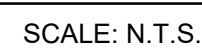
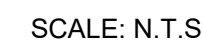
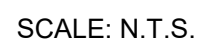
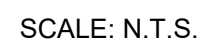
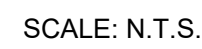
Engineer

CALLE CUARTA  
RESIDENTIAL SUBDIVISION

No	Date	Description
SHEET TITLE		
OVERALL GRADING & DRAINAGE PLAN		
SHEET NUMBER		
CG-101		
ISSUE: HYDROLOGY		
PROJECT NUMBER: IA 2449		
FILE:		
DRAWN BY: thar		
CHECKED BY: FCA		
DATE: 03-2022		

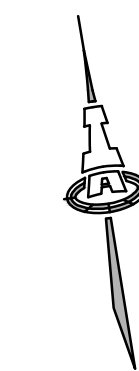








City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 05/10/22  
BY: *Renee C. Brissette*  
HydroTrans # G14D097

THE APPROVAL OF THESE PLANS/PLOTTER SHALL NOT BE  
CONSIDERED TO PRESENT VIOLATIONS OF ANY CITY  
ORDINANCE OR FEDERAL LAW, AND THE CITY OF ALBUQUERQUE  
THE CITY OF ALBUQUERQUE DOES NOT GUARANTEE THE  
CORRECTNESS OR SOUND OR COMPLETION IN PLANS,  
SPECIFICATIONS OR CONTRACT DOCUMENTS. NO GUARANTEED PLANS  
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
AUTORIZATION.



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04/28/2022 Engineer			
<b>CALLE CUARTA RESIDENTIAL SUBDIVISION</b>			
ISSUE: HYDROLOGY		PROJECT NUMBER: IA 2449	
FILE:		DRAWN BY: thot	
CHECKED BY: FCA		DATE: 03-2022	
No	Date	Description	
SHEET TITLE			
<b>ENLARGED GRADING &amp; DRAINAGE PLAN (WEST)</b>			
SHEET NUMBER			
<b>CG-102</b>			

**CALLE CUARTA  
RESIDENTIAL SUBDIVISION**



## LEGEND

1. 2' WIDE U-SHAPED CHANNEL PER DETAIL ON SHEET CG-501.
2. RUNDOWN PER DETAIL ON SHEET CG-501.
3. 2' WIDE SIDEWALK CULVERT PER COA STD DWG 2236.
4. POND WEIR PER DETAIL ON SHEET CG-501.
5. WALL OPENING(S) PER DETAIL ON SHEET CG-501.
6. WALL OPENING AT U-SHAPED CHANNEL PER DETAIL ON SHEET CG-501.
7. 5'x5x1' THICK FRACTURED FACE ROCK, 6" MEAN DIA. OVER NON-WOVEN GEOTEXT FABRIC.

Diagram illustrating a road cross-section with various features and elevations:

- EXISTING CONTOUR
- PROPOSED 1.0' CONTOUR
- PROPOSED 0.5' CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- PAD GRADE ELEVATION
- EROSION PROTECTION
- SIDEWALK CULVERT
- GRADING LIMITS
- HIGH POINT

Additional labels and values shown in the diagram:

- 4965
- 71
- 70.5
- 72.1
- PG = 4970.0

**m & Arfman, Inc.**  
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04/28/2022  
Engineer

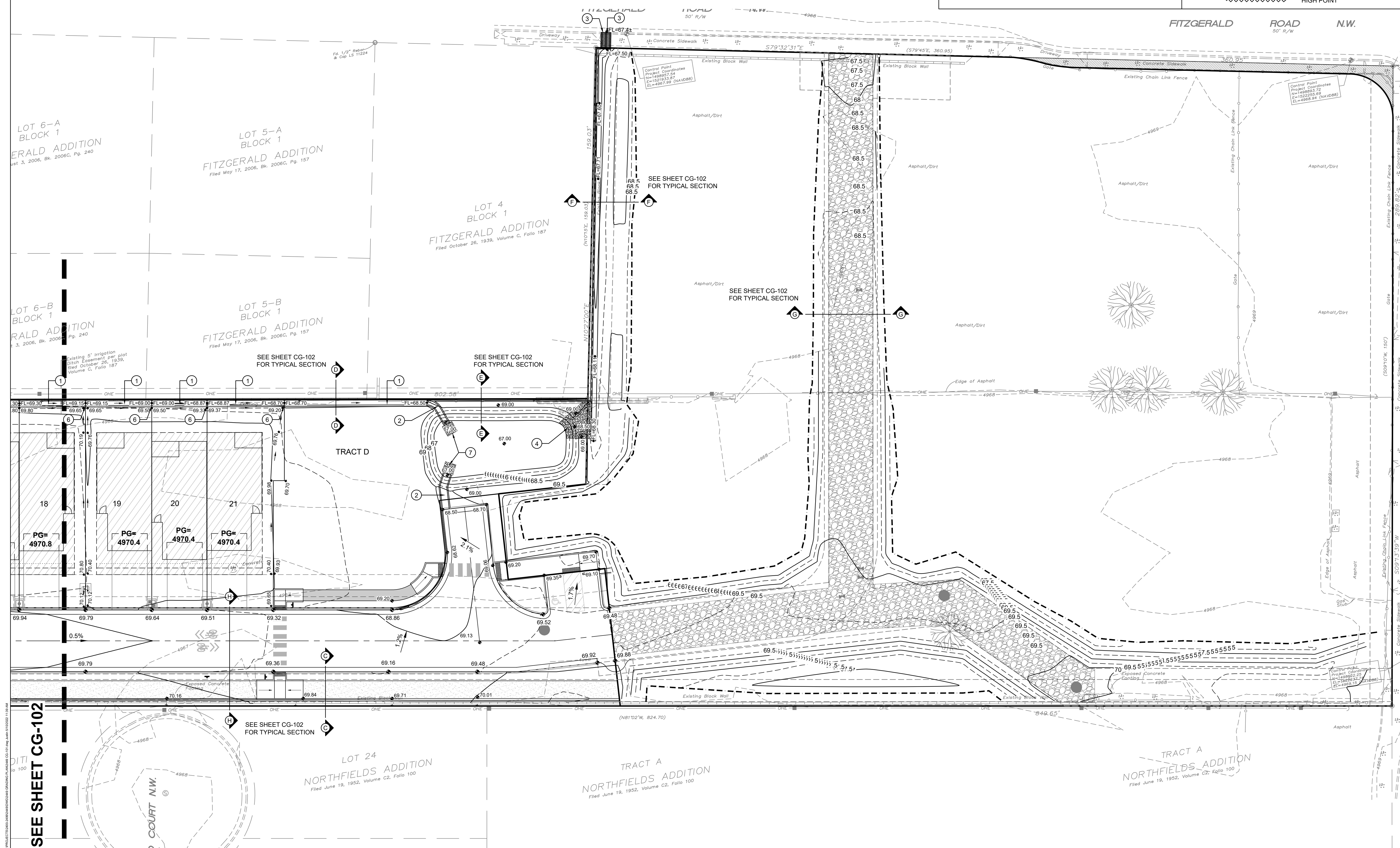
**CALLE CUARTA  
RESIDENTIAL SUBDIVISION**

ISSUE: HYDROLOGY
PROJECT NUMBER: IA 2449
FILE: -
DRAWN BY: thor
CHECKED BY: FCA
DATE: 03-2022

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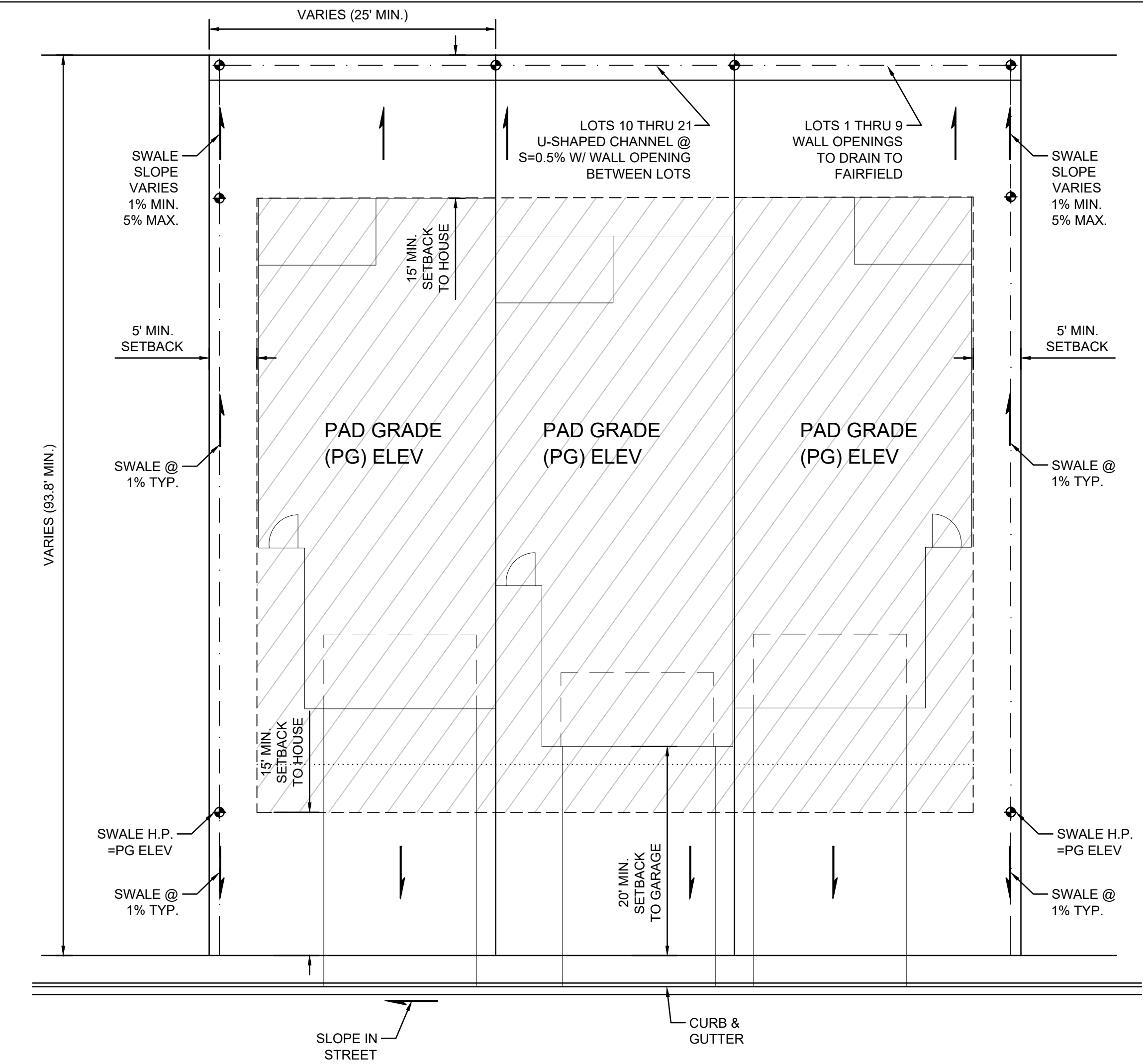
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ENLARGED GRADING & DRAINAGE PLAN (EAST)

SHEET NUMBER
<b>CG-103</b>



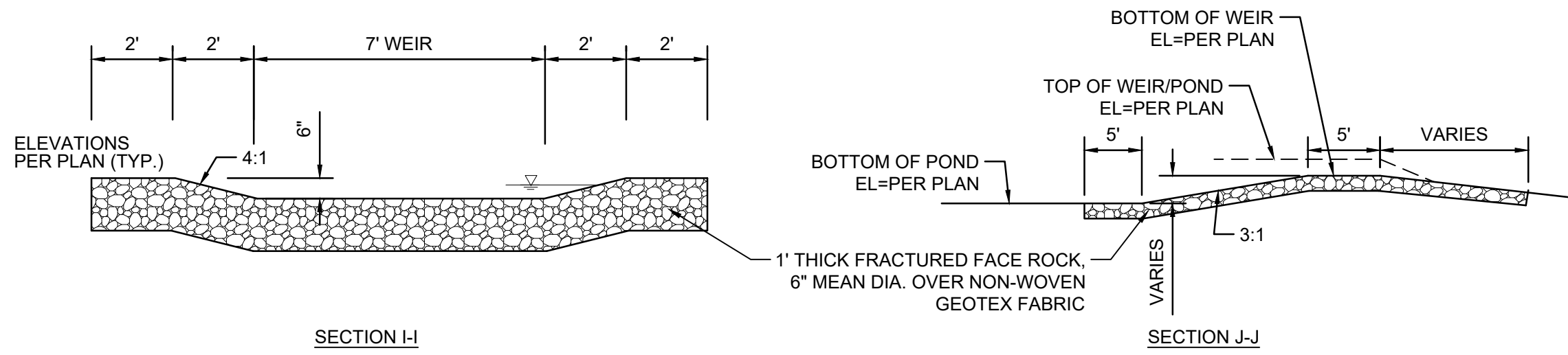
**SEE SHEET CG-102**





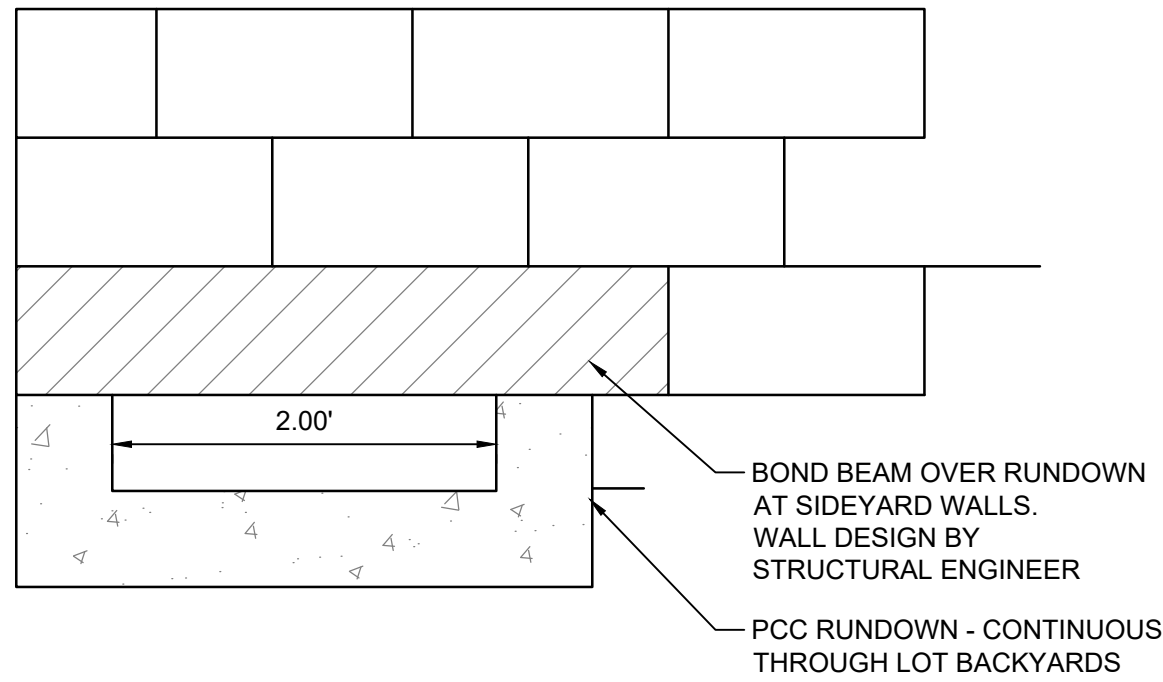
TYPICAL TRI-PLEX GRADING

SCALE: N.T.S.



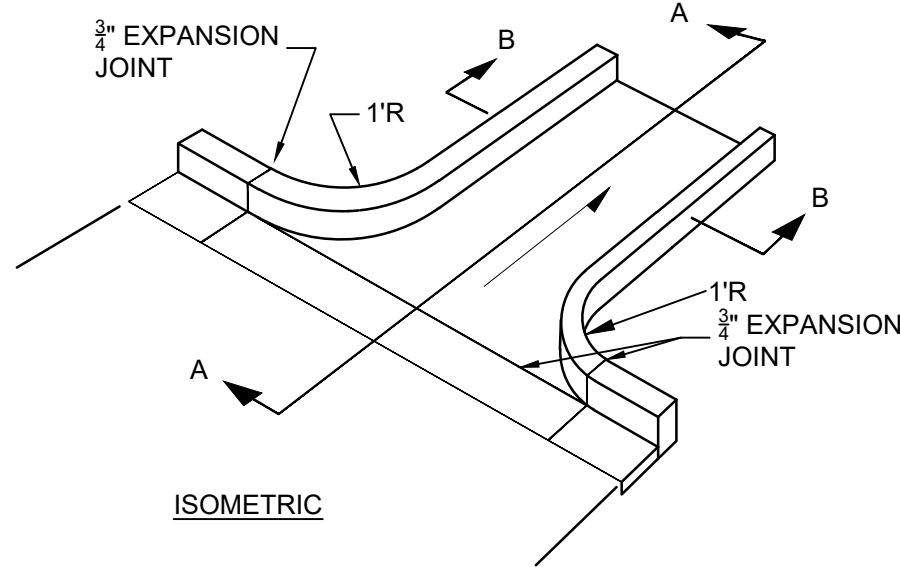
WEIR DETAIL

SCALE: N.T.S.



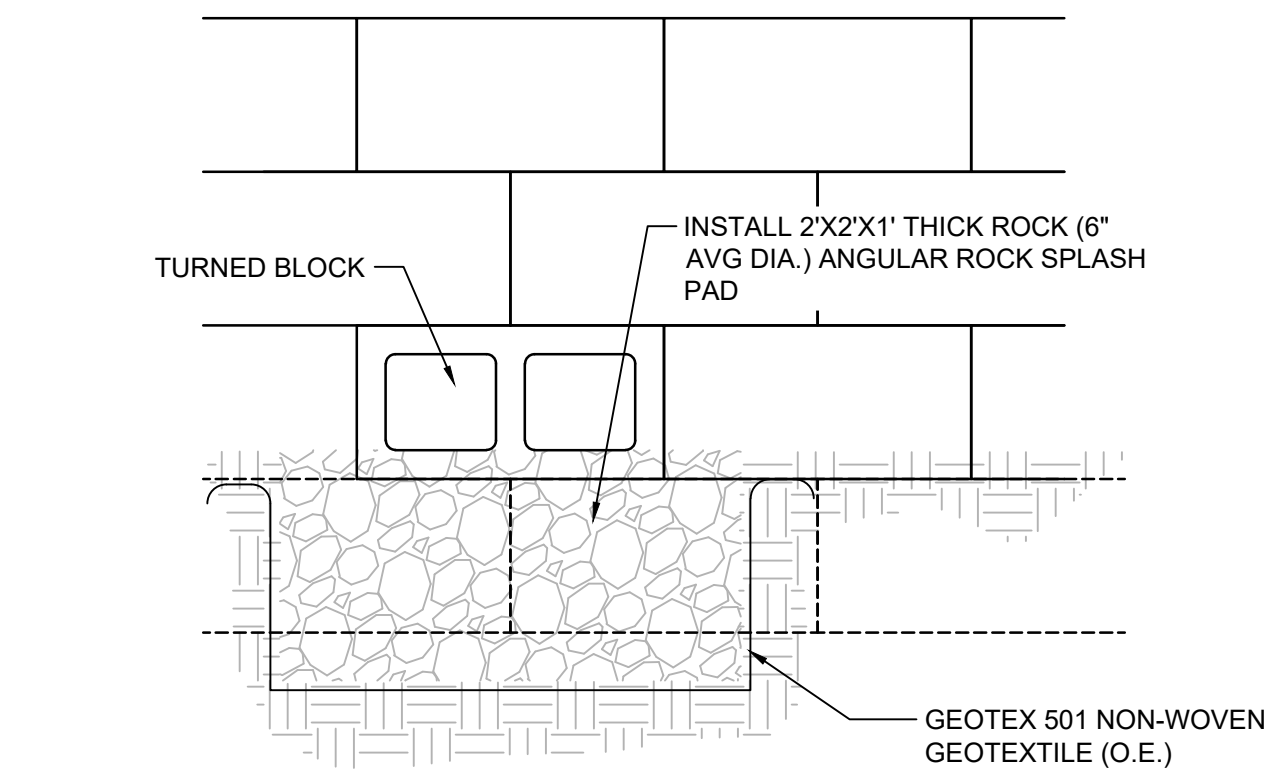
WALL OPENING AT U-SHAPED CHANNEL

SCALE: N.T.S.



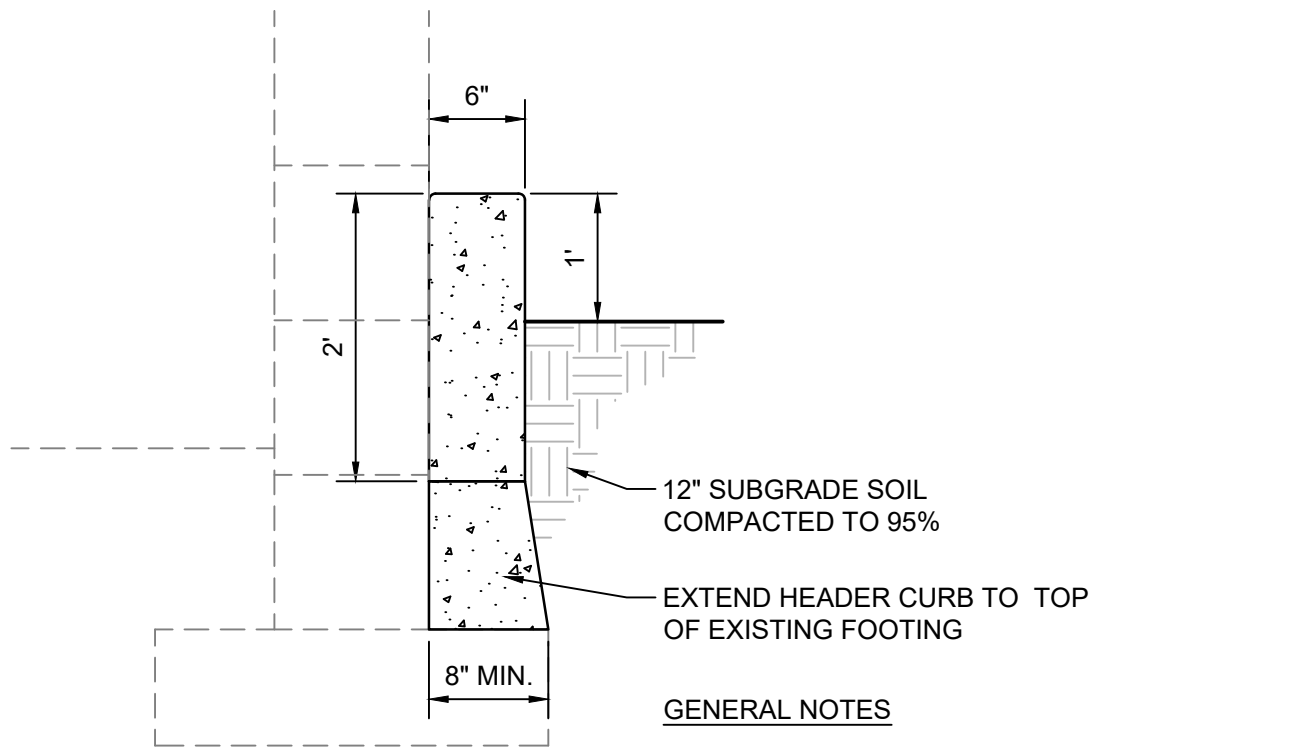
CONCRETE RUNDOWN

SCALE: N.T.S.



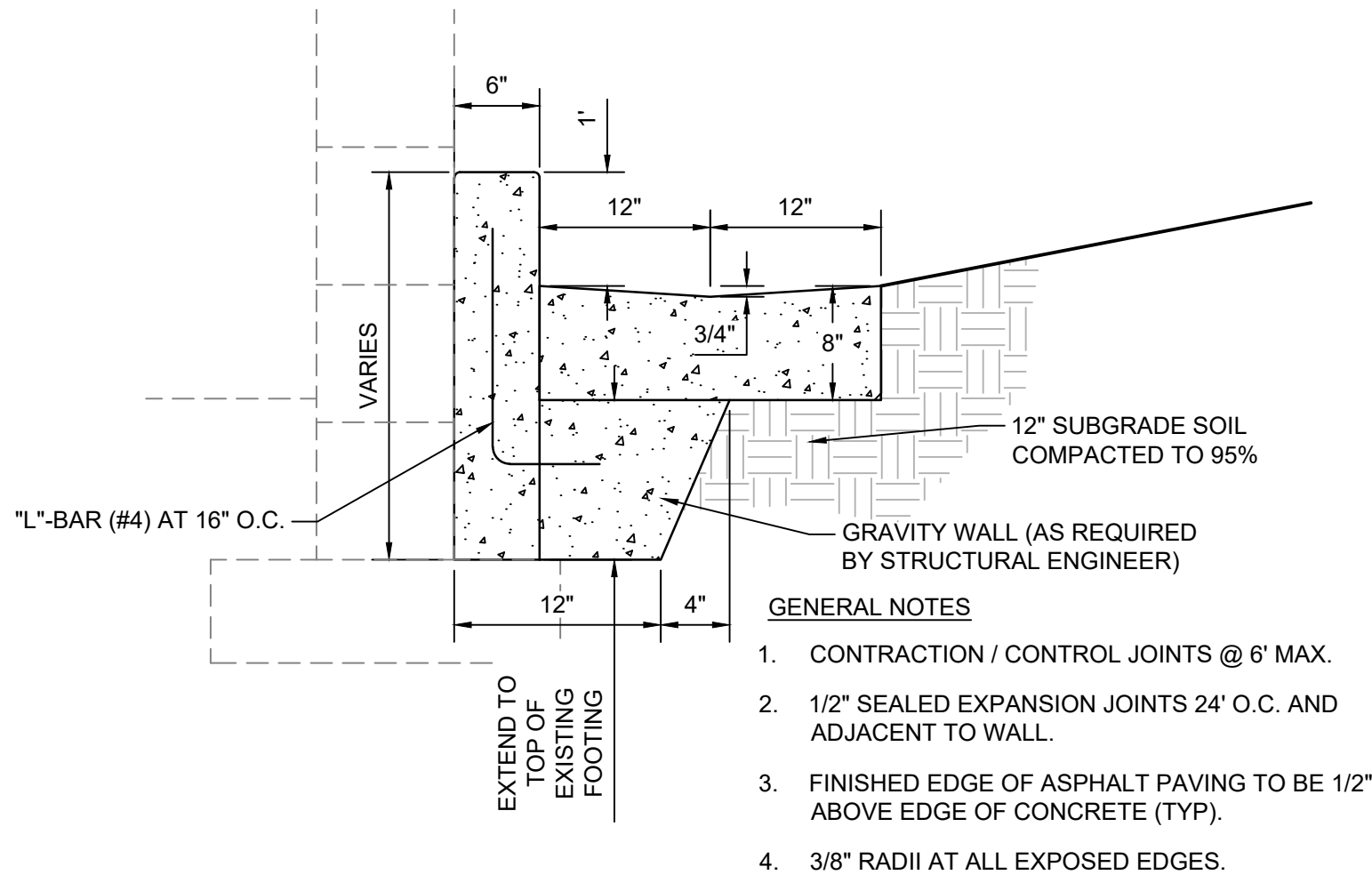
CMU WALL OPENING(S)

SCALE: N.T.S.



HEADER CURB

SCALE: N.T.S.

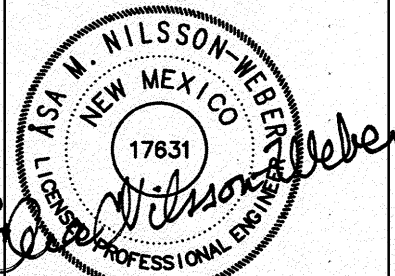


HEADER CURB W/ ALLEY GUTTER

SCALE: N.T.S.



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CALLE CUARTA  
RESIDENTIAL SUBDIVISION

ISSUE: HYDROLOGY	PROJECT NUMBER: IA 2449
FILE:	
DRAWN BY: thb	FOR FCA
CHECKED BY:	DATE: 03-2022

SHEET TITLE

GRADING & DRAINAGE DETAILS

SHEET NUMBER

CG-501



