

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 29, 2025

Hannah Feil Greenhood, R.A
Dekker
128 Monroe St NE
Albuquerque, NM 87108

Re: Calle Cuarta Apartments/ Building B & C/ 3525 4TH St NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 06-27-23 (G14D097)
Certification dated 08-27-25
TRANS-2025-00240

Dear Ms. Greenhood,

PO Box 1293

Based upon the information provided in your submittal received 08-27-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

August 27, 2025

Transportation Inspector

City of Albuquerque

Re: Traffic Certification for Certificate of Occupancy for Calle Cuarta, Phase I: Occupancy of Buildings B&C Only

To Whom It May Concern:

TRAFFIC CERTIFICATION FOR CALLE CUARTA
BP-2022-45379

I, HANNAH FEIL GREENHOOD, NMRA NUMBER 5594, OF THE FIRM DEKKER, FORMERLY DEKKER/PERICH/SABATINI, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED JUNE 27, 2023 AS UPDATED AND APPROVED THROUGH SET STAMPED DATE 8/4/2025. APPROVAL REQUESTED BASED ON PROJECT SITE WALK ON 8/22/2025. I HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY FOR OCCUPANCY OF BUILDINGS B & C ONLY AND SITE AREAS AS INDICATED ON THE ATTACHED SITE PLAN.

Request for confirmation in the field by the General Contractor / Traffic Inspector is required for the following items for TCL: (Items highlighted in red on attached site plan.)


1. Complete concrete on sidewalk connecting buildings B&C to accessible route to sidewalk.
2. Complete culvert covers in main walking areas. South side of play area.
3. Move bench per accessibility requirements at dog park.
4. Move construction fence as shown in markup attached.

Request for deferred approval for 30 days beyond issuance of C of O for Buildings B & C for the following items: (Items highlighted in orange on attached site plan.)

1. Complete all striping and pavement markings.
2. Complete crash gate.
3. Revise ramps south of play area per plan.
4. Complete crosswalk striping.
5. Install missing parking signage.
6. Install missing concrete between buildings B&C.
7. Install missing roof ladders.
8. Complete all fencing and fence hardware.

9. Complete all drainage including cobble rundown details.
10. Complete play area – play area to be signed as construction site, do not enter until all work is complete.
11. Correct front entrance concrete to ensure positive slope away from front door thresholds.
12. Complete all landscape corrections.
13. See field observation report and site plan markups for additional information.

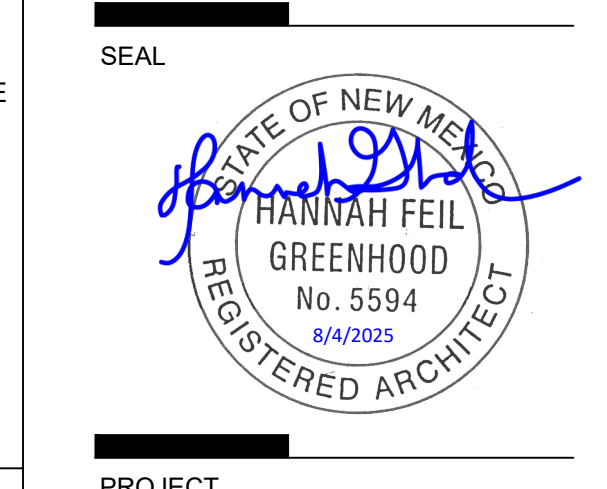
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

 August 27, 2025

Signature of Architect

Hannah Feil Greenhood, WELL AP, LEED AP BD+C, AIA
Dekker, formerly Dekker/Perich/Sabatini
Date 8/27/2025





PROJECT

Calle Cuarta
 4th Street & Fitzgerald, Albuquerque,
 NM, 87107

CONFORMED DOCUMENTS FOR CONSTRUCTION

REVISIONS	DATE	BY	CD
78	08/16/2024	ASH 14	
79	09/06/2024	ASH-105	
80	10/31/2024	PR-001	
81	11/18/2024	RFI 118	
82	05/01/2025	ASH-019	
83	08/04/2025	ASH-020	

DRAWN BY CD
 REVIEWED BY CM
 DATE 06/14/2024
 PROJECT NO 20-0276

DRAWING NAME
ENLARGED SITE PLAN - EAST PARCEL

SHEET NO
AS101

LEGEND

- COMPLETED
- INCOMPLETE OR MISSING - DEFERRED APPROVAL. GC TO INSTALL WITHIN 30-DAYS OF TCO.
- INCOMPLETE OR MISSING - MUST BE INSTALLED FOR ARCHITECT'S APPROVAL FOR TRAFFIC CERTIFICATION LETTER (TCL)
- PHASE LINE / LOCATION FOR CONSTRUCTION FENCING.

GENERAL SHEET NOTES

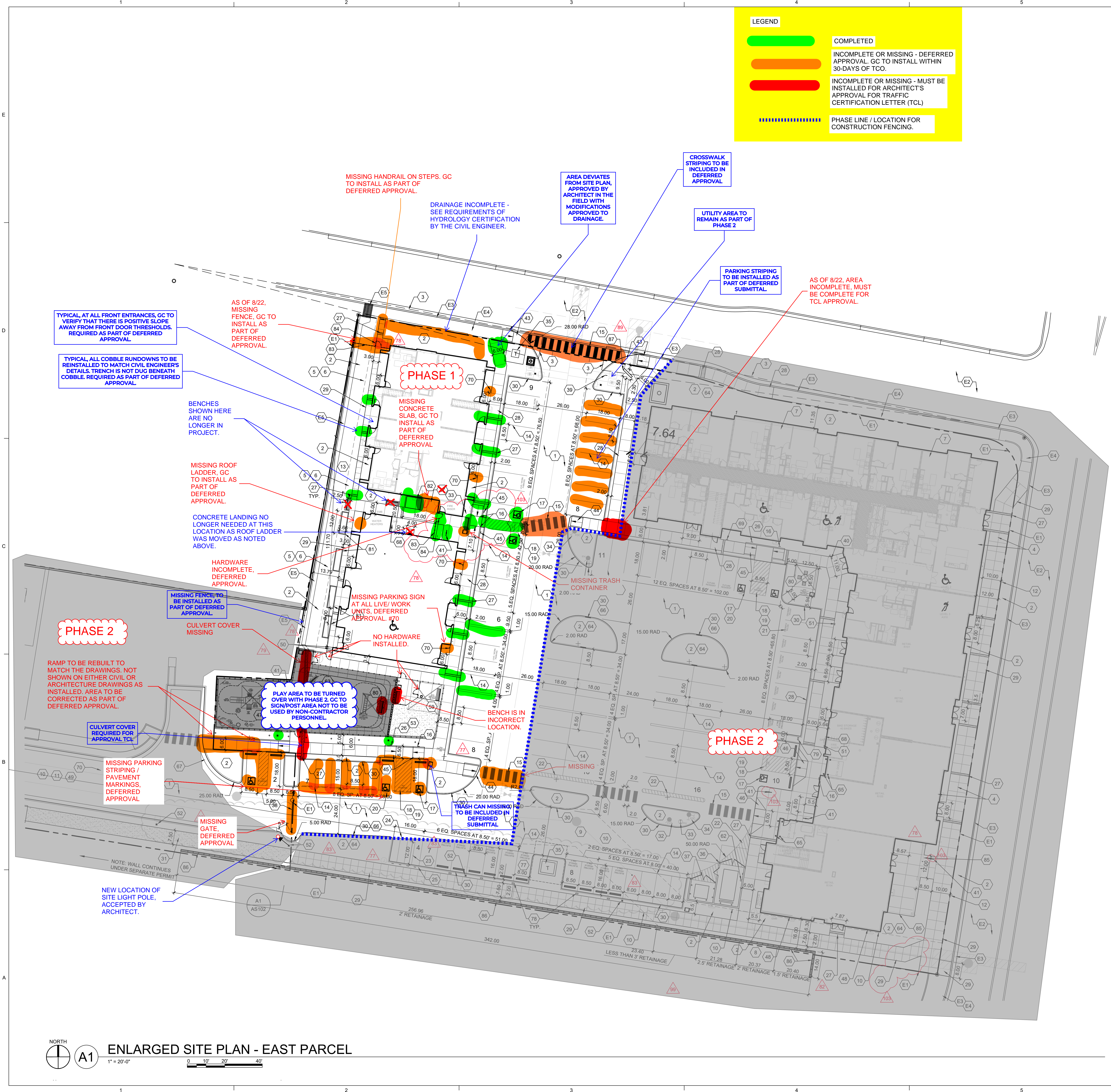
- CONTRACTOR IS TO FIELD VERIFY EXISTING SITE CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. CHANGES IN DETAILING MAY BE REQUIRED AS A RESULT OF NEW FINDINGS DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF DEBRIS AS REQUIRED TO COMPLETE THE SCOPE OF WORK.
- ALL WORK TO CONFORM TO APPLICABLE CODES AND ORDINANCES.
- CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), SECTION 14-16-5-8 OUTDOOR LIGHTING.
- SITE SHALL BE IMPROVED, CONSTRUCTED AND MONITORED IN ACCORDANCE WITH THE FEDERAL CLEAN WATER ACT. SITES SHALL BE CONSTRUCTED TO DRAIN AWAY FROM BUILDINGS. STORM WATER RECHARGE OF GROUNDWATER IS A GOAL. PONDING AREAS SHALL BE MADE ATTRACTIVE BUT REDUCE RISK TO RESIDENTS.
- DIMENSIONS ARE TO FACE OF CURB, WALL OR EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL, AND ACCESSIBILITY STANDARDS AND GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- SLOPE ALL CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN. SEE CIVIL FOR SPOT ELEVATIONS AND GRADING AND DRAINAGE REQUIREMENTS.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED. SEE SHEET AS101.
- CONTRACTOR TO COORDINATE WITH FIRE DEPARTMENT FOR EXACT LOCATION OF FIRE LANE STRIPING.
- ALL IMPROVEMENTS LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.
- ALL PARKING SPACES TO BE NUMBERED FOR ASSIGNMENT BY PROPERTY MANAGEMENT.

GENERAL SHEET NOTE: CONSTRUCTIBILITY STANDARDS

- PROJECT NEEDS TO FOLLOW DESIGN GUIDELINE REQUIREMENTS FOR LEED FOR HOMES AND MULTIFAMILY v4 AND NEW MEXICO MORTGAGE FINANCE AUTHORITY (NMFMA).

7 SHEET KEYED NOTES

- EXISTING KEYED NOTES**
- EXISTING PROPERTY LINE.
 - EXISTING ASPHALT PAVING.
 - EXISTING CONCRETE CURB AND GUTTER.
 - EXISTING CONCRETE SIDEWALK.
 - EXISTING CONCRETE DRAINAGE CHANNEL. SEE CIVIL.
- KEYED NOTES**
- ASPHALT PAVING. SEE CIVIL.
 - LANDSCAPE. SEE LANDSCAPE.
 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - 10' MIN. 15' MAX BUILDING SETBACK.
 - 15' REAR SETBACK.
 - LANDSCAPE BUFFER.
 - 15' MAX BUILDING SETBACK.
 - 17' WATER LINE EASEMENT
 - 20' WATER LINE EASEMENT
 - 30' GAS AND WATER LINE EASEMENT.
 - 30' PRIVATE ACCESS DRIVE, PEDESTRIAN AND BIKE ROUTE EASEMENT. SEE PLAT FOR MAINTENANCE AND BENEFICIARIES. RESIDENTIAL ACCESS ROAD TO BE CONSTRUCTED PER CITY STANDARDS.
 - 10' SIDEWALK EASEMENT
 - 10' DRAINAGE EASEMENT. SEE PLAT.
 - PAINTED PARKING STRIPING (4" WIDE). COLOR: WHITE.
 - PAINTED 6" WIDE CROSSWALK. SEE ASS01.
 - POLE MOUNTED ADA ACCESSIBLE PARKING SIGNAGE. SEE ASS01.
 - ACCESSIBLE PARKING SPACE. PAINTED ACCESSIBLE PAVEMENT SYMBOL. SEE ASS02.
 - PAINTED DIAGONAL STRIPING (2" O.C. AT 45 DEGREES). COLOR: BLUE.
 - PAINTED PARKING SIGNAGE (NO PARKING). COLOR: WHITE 12" and 2" W LETTER SIZE.
 - VAN ACCESSIBLE PARKING SPACE. PAINTED ACCESSIBLE PAVEMENT SYMBOL. SEE ASS01.
 - PAINTED PARKING SIGNAGE (RETAIL PARKING). COLOR: WHITE 12" and 2" W LETTER SIZE.
 - PAINTED DIAGONAL STRIPING (2" O.C. AT 45 DEGREES). COLOR: WHITE.
 - MOTORCYCLE PARKING (4" MINIMUM SIGNAGE).
 - PAINTED PARKING SIGNAGE (MOTORCYCLE). COLOR: WHITE 12" and 2" W LETTER SIZE.
 - POLE MOUNTED MOTORCYCLE PARKING SIGNAGE. SEE ASS01.
 - POLE MOUNTED VAN ACCESSIBLE PARKING SIGNAGE. SEE ASS01.
 - SIDEWALK CULVERT. SEE ASS01.
 - CONCRETE SIDEWALK WITH CONCRETE CURB. SEE ASS01.
 - CONCRETE SIDEWALK. SEE ASS01.
 - CONCRETE HEADER CURB. SEE ASS01.
 - STABILIZED CRUISER FINES PATHWAY. SEE ASS01.
 - FIRE HYDRANT. SEE CIVIL.
 - POST INDICATOR VALVE (P.I.V.). SEE CIVIL.
 - FIRE DEPARTMENT CONNECTION (FDC).
 - TRANSFORMER (T). SEE ELECTRICAL. PROVIDE EXTERIOR BOLLARDS (4") AS RECOMMENDED BY PNM. SEE ASS01.
 - TRASH COMPACTOR ENCLOSURE. SEE ASS02.
 - RECYCLE ENCLOSURE. SEE ASS02.
 - BREAK AWAY GATE FOR FIRE DEPARTMENT ACCESS ONLY. SEE ASS01.
 - POLE MOUNTED STOP SIGNAGE. SEE ASS01.
 - ACCESSIBLE DOOR ACTUATOR. SEE ELECTRICAL.
 - BICYCLE RACK FOR 2 BICYCLES. SEE ASS01.
 - BICYCLE RACKS FOR MULTIPLE BICYCLES. SEE ASS01.
 - ACCESSIBLE RAMP 1. SEE ASS01.
 - ACCESSIBLE RAMP 2. SEE ASS01.
 - ACCESSIBLE RAMP 3. SEE ASS01.
 - ACCESSIBLE RAMP 4. SEE ASS01.
 - PLAY AREA WITH PLAYGROUND. SEE AS102.
 - SOUTHERNMOST BUILDING FOOTER SHALL BE DESIGNED SUCH THAT THE ADJACENT SEWER MAIN CAN BE MAINTAINED WITHOUT DISTURBING THE FOOTER ON BEHALF OF ASCWUA.
 - BIKE ROUTE WITH SIGNAGE.
 - CONCRETE STEPS. SEE ASS02.
 - POLE MOUNTED RETAIL ONLY PARKING SIGNAGE. SEE ASS01.
 - PARKING LIGHT POLE. SEE ASS01 AND SEE ELECTRICAL.
 - FENCED DOG PARK. SEE AS102.
 - FLUSH CONC. CURB ENCLOSURE WITH 4" TALL FENCING. SEE ASS02.
 - 4" TALL FENCING GATE. SEE ASS02.
 - 30 CUBIC YARD CAPACITY COMPACTOR, OWNER PROVIDED. SEE ARCH AND ELEC.
 - CMU GARDEN WALL. SEE ASS01.
 - BENCH. SEE AS102 AND SPECIFICATIONS.
 - TENSILE FABRIC SHADE STRUCTURE. SEE SPECS.
 - CONCRETE SIDEWALK WITH TURNDOWN EDGE. SEE A1AS002.
 - CONCRETE ACCESSIBLE PLAYGROUND RAMP. SEE B1AS002.
 - FROST FREE HOSE BIB. SEE CIVIL AND PLUMBING.
 - CONCRETE DRAINAGE CHANNEL. SEE CIVIL.
 - RETAINING POND. SEE CIVIL.
 - BOLLARD - 4". SEE ASS01.
 - PROVIDE OPENINGS IN CONCRETE HEADER CURB TO ALLOW FOR DRAINAGE INTO RETAINING POND. SEE CIVIL.
 - CONCRETE CURB AND GUTTER AT SIDEWALK. SEE ASS01.
 - GAS METER. SEE CIVIL AND PLUMBING.
 - FUTURE RESIDENT ONLY SIGN. SEE C1AS002.
 - LIVESTOCK CUSTOMIZABLE SIGN. SEE C1AS002.
 - PLAY STRUCTURE AND SHADE FOR 2.5 YEAR OLDS. SEE AS102 AND SPECIFICATIONS
 - PLAY STRUCTURE AND SHADE FOR 5-12 YEAR OLDS' SEE AS102 AND SPECIFICATIONS
 - PET WASTE STATION. SEE SPECIFICATIONS
 - DECORATIVE BOLLARD. SEE AS102 AND SPECIFICATIONS
 - 4" TALL FENCING. SEE ASS02.
 - 4" TALL FENCING GATE AT PLAYGROUND. SEE ASS02.
 - ELECTRIC VEHICLE PARKING
 - PLACEHOLDER FOR FUTURE EV CAPABLE CHARGING STATION. PROVIDE ELECTRICAL ROUGH-IN ONLY IN FLUSH ENCLOSURE. SEE ELECTRICAL.
 - LEVEL 2 EV CHARGING STATION. SEE ELECTRICAL.
 - TENSILE FABRIC SHADE STRUCTURE - 12' x 12' (144sq). SEE SPECS.
 - CMU RAISED PLANTER. SEE B3AS503
 - 6'-0" x 8'-0" LEAN-TO TUFF SHED
 - 6'-0" TALL FENCING. SEE ASS02
 - 6'-0" TALL FENCING GATE AT GARDEN AREA. SEE ASS02
 - 3' C.M.U. SITE WALL. SEE ASS03
 - 3' C.M.U. RETAINING WALL WITH 6" CURVED SPEAR TIP FENCE ABOVE. SEE A6 & B5AS503
 - MONUMENT SIGN. BY OTHERS THROUGH SEPARATE SIGN PERMIT



ENLARGED SITE PLAN - EAST PARCEL
 1" = 20'-0"
 0 10' 20' 40'

