

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 3, 2023

Robert C. Rayner, RA
R2 Architectural Design
12024 Paisano Ct. NE
Albuquerque, NM 87112

Re: Bruner Metal Building
4012 2nd St. NW
Traffic Circulation Layout
Architect's Stamp 08-09-22 (G14-D101)

Dear Mr. Rayner,

Based upon the information provided in your submittal received 04-12-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of Bicycle and Motorcycle parking spaces required by the IDO.
2. Identify all existing access easements and rights of way width dimensions.
3. Please update the site to the current ADA standard and reference city standard drawing.
4. Sidewalk must be built in front of the site from property line to property line. For sidewalk waviness, please contact Ernest Armijo at (505)-924-3991 earmijo@cabq.gov
5. Is the existing site access used by lot 5 and lot 3? If so, please provide shared access agreement.
6. Maximum access width for arterial, collector, and local streets are as follows:

	Arterial & Collector	Local Streets
One-way Drive	20'-25'	12'-20'
Two-Lane Drive	22'-30'	22'-24'
Three-Lane Drive	24'-35'	22'-30'
Larger Vehicles	≤50'	≤30'

7. Please note that 2nd St. is classified as Principal Arterial.
8. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
9. The pavement marking "MC" should be shown in the opposite direction for Motorcycles entering the parking space.
10. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

- b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
11. Bicycle racks shall be sturdy and anchored to a concrete pad.
12. A 1-foot clear zone around the bicycle parking stall shall be provided.
13. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
14. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
16. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
17. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
18. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
19. Please provide a copy of Fire Marshal approval.
20. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
21. Please specify the City Standard Drawing Number when applicable.
22. Work within the public right of way requires a work order with DRC approved plans.
23. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
24. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
25. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 Vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).

26. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

PROJECT DATA:

PROJECT: BRUNER METAL BUILDING
4012 2ND ST NW
ALBUQUERQUE, NM 87107

OWNER: HENRY BRUNER
4016 2ND ST. NW
ALBUQUERQUE, NM 87107

ARCHITECT: R2 ARCHITECTURAL DESIGN & CONSULTING LLC
NM REG. #4049

12024 PAISANO CT NE
ALBUQUERQUE, NM 87112
(505) 321-3932

CONTRACTOR: PLUMA CONSTRUCTION SYSTEMS, INC.
4TH ST NW, STE-1
ALBUQUERQUE, NM 87107
LIC# 397288

IDO ZONE DIST.:

NR-LM

2015 INTERNATIONAL BUILDING CODE (IBC)

2021 UNIFORM MECHANICAL CODE

2021 UNIFORM PLUMBING CODE

2017 NATIONAL ELECTRIC CODE

2015 INTERNATIONAL FIRE CODE

2022 UNIFORM ADMINISTRATIVE CODE

ICC/ANSI A 117.1-2015

ACCESSIBILITY CODE:

SEISMIC DESIGN CATEGORY: D

SEISMIC FACTOR: CAT III, (IE) 1.25

BUILDING AREA: 2,100 SF - 1 STORY

CONST. TYPE: V-B NON SPRINKLED

BUILDING HEIGHT: 14' - 1 STORY

OCCUPANCY: S-1 AUTOMOTIVE REPAIR (VAN CONVERSIONS)

OCCUPANT LOAD: REPAIR AREA: 2100 SF / 300= 7 OCCUPANTS

REQUIRED FUTURE COUNT: WATER CLOSETS: 1 UNISEX LAVATORIES: 1 UNISEX 1 SERVICE SINK

PROVIDED FUTURE COUNT: WATER CLOSETS: 1 UNISEX LAVATORIES: 1 UNISEX 1 SERVICE SINK

PARKING REQ.: LIGHT MANUFACTURING, 1 SPACE /1000 SF =2 SPACES TOTAL PARKING REQUIRED= 2 SPACES TO INCLUDE 1 HC ACCESSIBLE SPACE.

PARKING PROVIDED: 2 SPACES, ONE OF WHICH IS HC ACCESSIBLE.

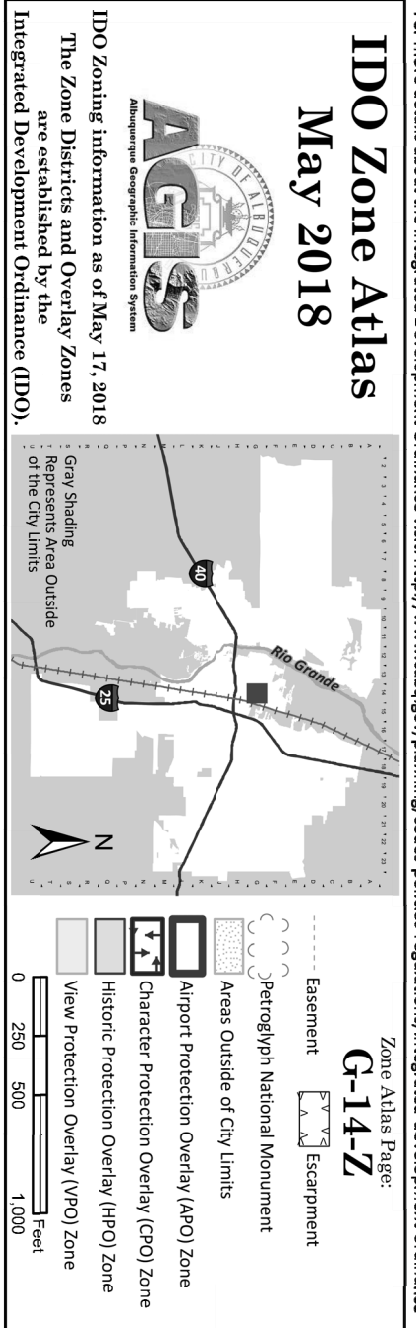
PROJECT SUMMARY:

THE CONSTRUCTION OF A 2100 SF, SINGLE STORY, PRE-ENGINEERED METAL BUILDING TO BE USED AS AN AUTOMOTIVE REPAIR SHOP (VAN CONVERSION). THIS PROJECT WILL ALSO INCLUDE SITE IMPROVEMENTS SUCH AS PARKING, FENCING AND LANDSCAPE. IT MUST BE NOTED THAT THE PROPERTY OWNER OWNS LOTS 4 & 5. NO CUSTOMERS ARE ANTICIPATED TO VISIT THE BUSINESS.

LEGAL:

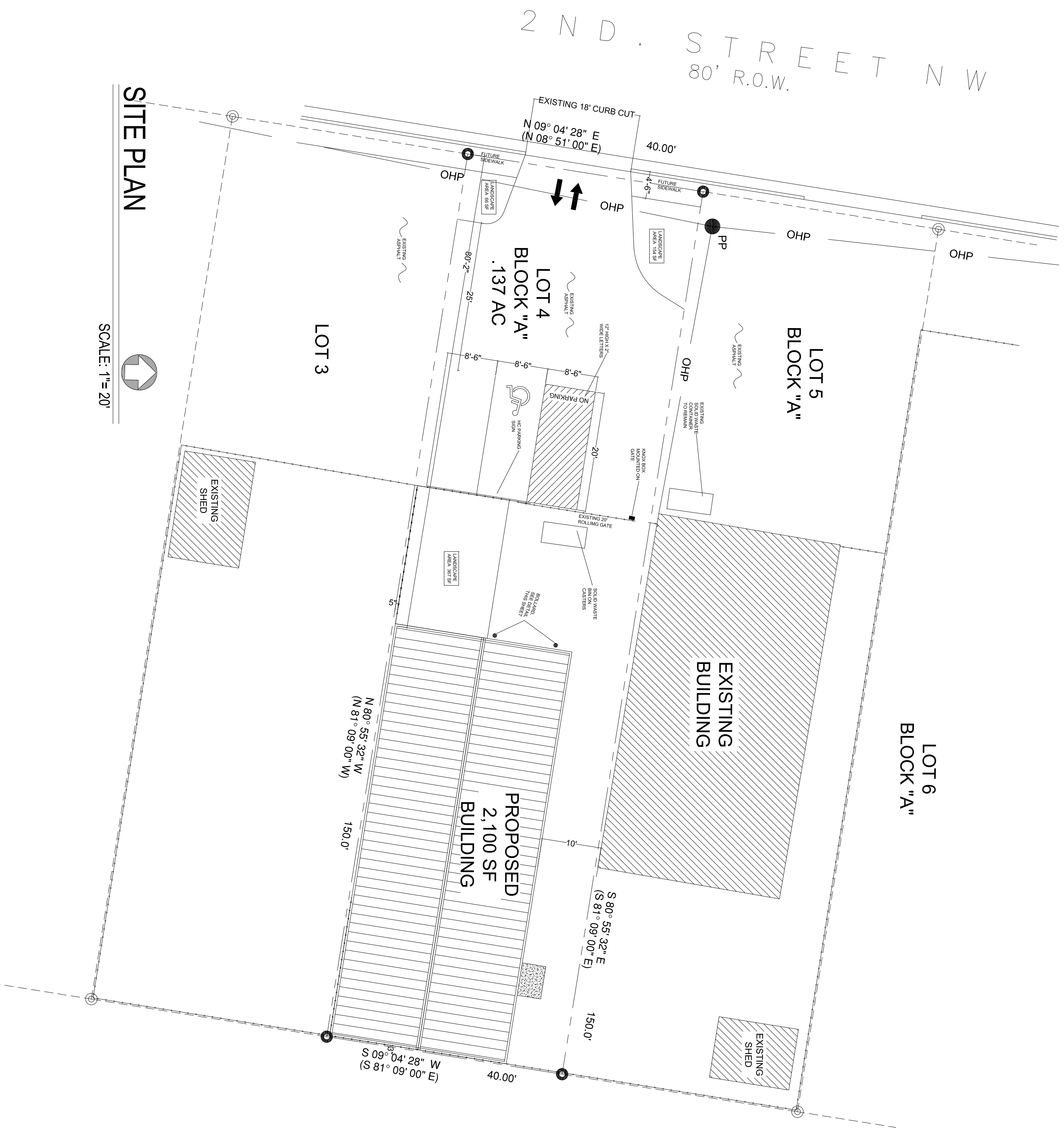
LOT NUMBERED THREE (3) AND FOUR (4) IN BLOCK, LETTERED "A" OF THE MONKBRIDGE ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO AS THE SAME ARE SHOWN AND DESIGNATED ON THE AMENDED AND SUPPLEMENTAL REPLAT OF BLOCKS A, B AND C, (FORMERLY BLOCKS 19 & 20) OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 13, 1937 IN VOLUME D, FOLIO 22 AND VOLUME 02, FOLIO 155.

UPC: 1014060496242216



VICINITY MAP

N.T.S.

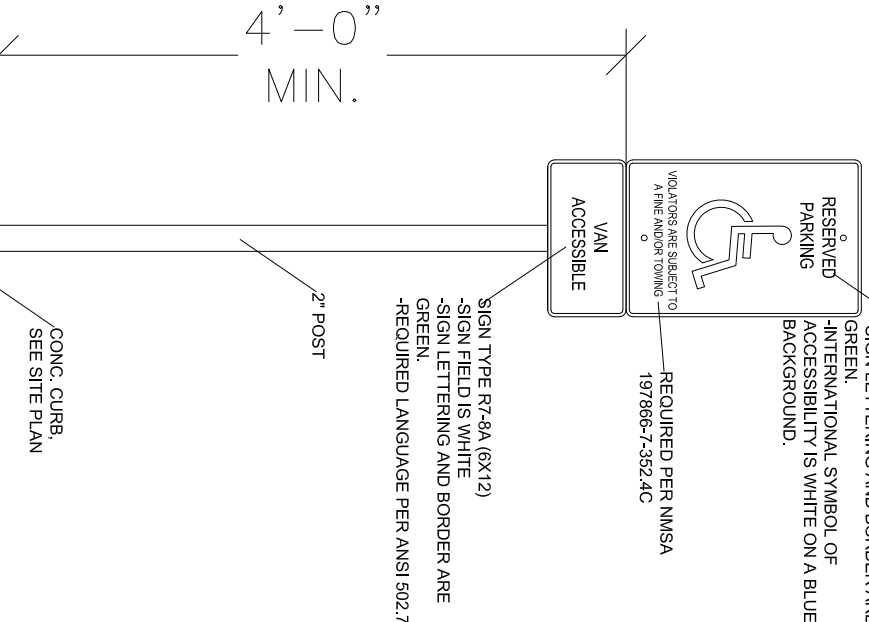


SITE PLAN

SCALE: 1"= 20'

H.C. SIGN DETAIL

N.T.S.



R2CLIENTS/2022 PROJECTS/BRUNER.DWG		BRUNER METAL BUILDING 4012 2ND ST NW ALBUQUERQUE, NM 87107		TRAFFIC CIRCULATION LAYOUT	
-SHEET-		TCL			

