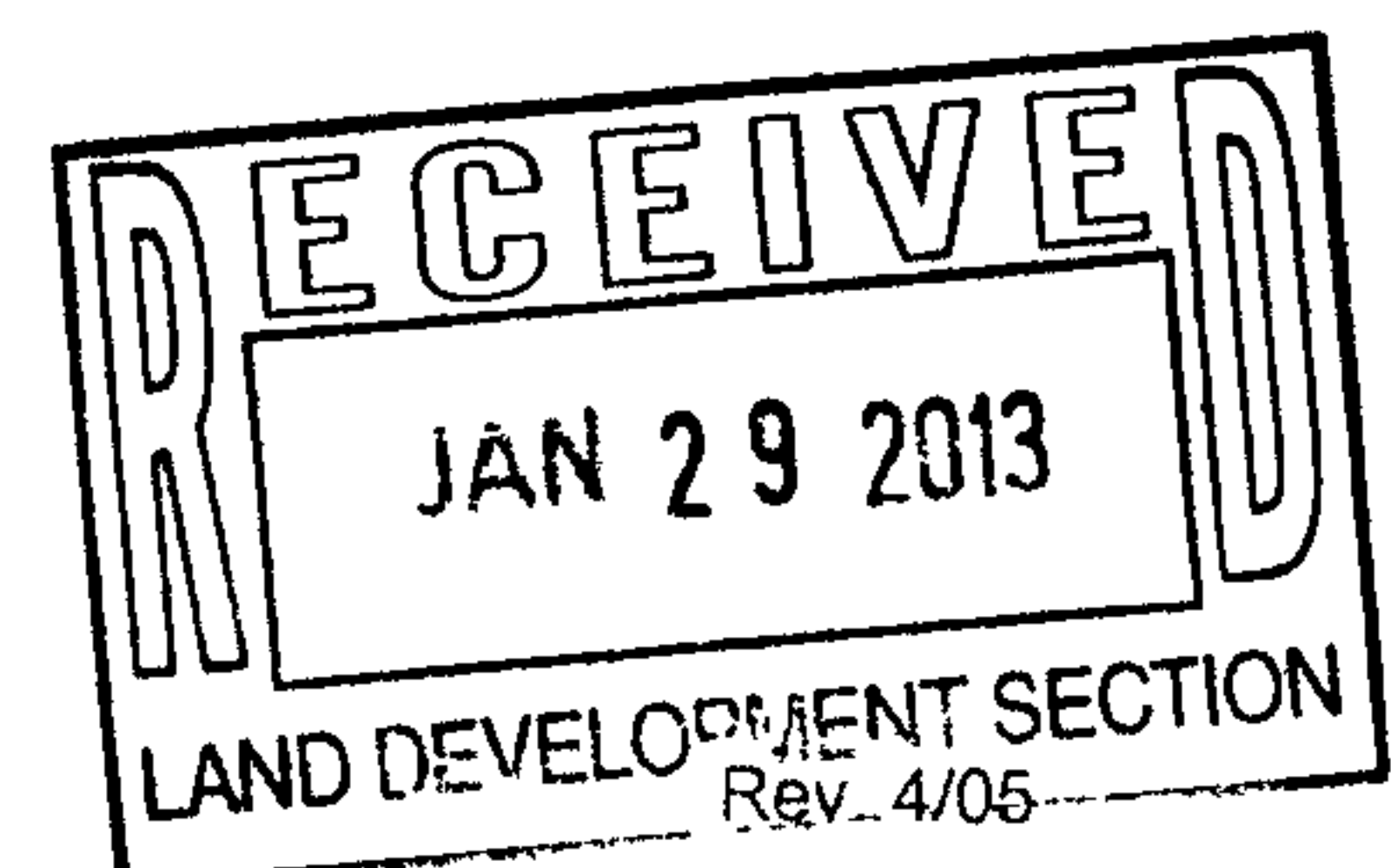


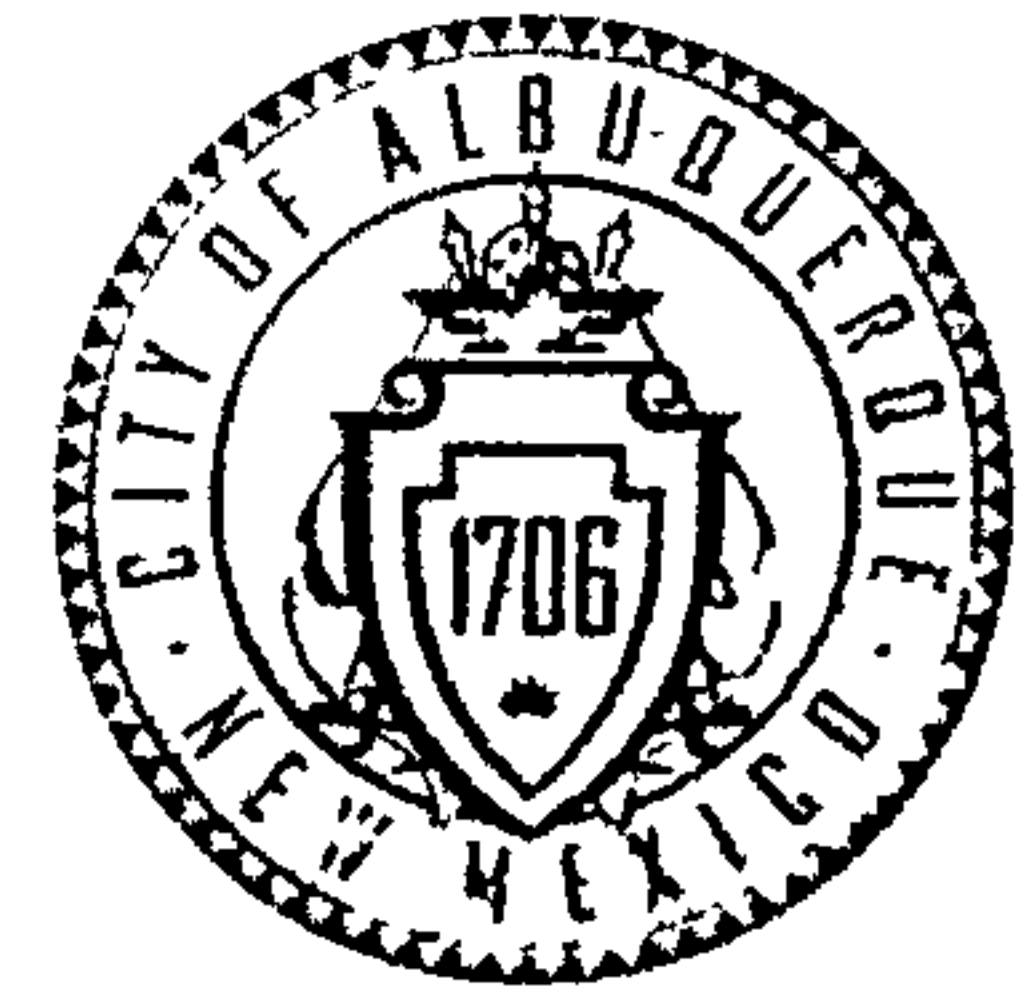
EXHIBIT B

1. Easement granted to Public Service Company of New Mexico by instrument recorded February 7, 1958 in Book D 413, page 473 as Document No. 53883, records of Bernalillo County, New Mexico.
2. Easement granted to the City of Albuquerque, New Mexico, a municipal corporation by instrument recorded December 14, 1964 in Book D 763, page 299 as Document No. 30643, records of Bernalillo County, New Mexico.
3. Mutual Easement Agreement recorded May 13, 1985 in Book Misc. 228A, page 298 as Document No. 85 36799, records of Bernalillo County, New Mexico.
4. Restriction and Covenant contained in the Special Warranty Deed recorded December 20, 2002 in Book A47, page 713 as Document No. 2002171157, records of Bernalillo County, New Mexico.
5. Property Use Restriction Agreement recorded December 20, 2002 in Book A47, page 715 as Document No. 2002171159, records of Bernalillo County, New Mexico.
6. Property Use Restriction Agreement recorded December 20, 2002 in Book A47, page 718 as Document No. 2002171162, records of Bernalillo County, New Mexico.
7. Amended Mutual Easement Agreement recorded February 1, 2005 in Book A91, page 5456 as Document No. 2005015515, records of Bernalillo County, New Mexico.
8. Easement and Right of Entry Agreement recorded February 1, 2005 in Book A91, page 5457 as Document No. 2005015516, records of Bernalillo County, New Mexico.
9. Option-Right of First Refusal Agreement between Golden Slumbers, Inc. (GSI) and Homeless Advocacy Coalition, Inc. (HAC), recorded February 1, 2005 in Book A91, page 5461 as Document No. 2005015520, records of Bernalillo County, New Mexico.
10. Easements and notes as shown, noted and provided for on the plats recorded in Plat Book B9, page 102 and in Plat Book 2005C, page 23, records of Bernalillo County, New Mexico.
11. Rights of tenants or occupants under leases, subleases or rental agreements.
12. Pro rata charges for water, sewer, and/or standby charges and any possible assessments for paving, sidewalk, sewer and water extensions which are or might be a lien by law, but have not yet been filed for record in the office of the County Clerk of Bernalillo County, New Mexico.
13. Deed of Trust executed by Homeless Advocacy Coalition Inc., a New Mexico non profit corporation, to Wiggins, Williams & Wiggins, as Trustee for the New Mexico Mortgage Finance Authority, dated December 20, 2002, filed December 20, 2002, in Book A47, page 714, as Document No. 2002171158, records of Bernalillo County, New Mexico, securing the sum of Nine Hundred Twenty Five Thousand Eight Hundred and 00/100 (\$925,800.00). Modification Agreements thereto recorded December 23, 2003 in Book A70, page 5567 as Document No. 2003226052 and recorded May 21, 2007 in Book A137, page 4689 as Document No. 2007074847, records of Bernalillo County, New Mexico.
14. UCC Financing Statement from Homeless Advocacy Coalition Inc., a New Mexico non profit corporation to New Mexico Mortgage Finance Authority, filed December 20, 2002 in Book A47, page 716 as Document No. 2002171160, records of Bernalillo County, New Mexico.

15. Mortgage and Security Agreement executed by Homeless Advocacy Coalition Inc., a New Mexico non profit corporation, to the New Mexico Mortgage Finance Authority, dated December 20, 2002, filed December 20, 2002, in Book A47, page 717, as Document No. 2002171161, records of Bernalillo County, New Mexico, securing the sum of One Hundred Twenty Five Thousand and 00/100 (\$125,000.00).
16. Mortgage executed by Albuquerque Homeless Advocacy Coalition, Inc. (SIC), to Albuquerque Health Care for the Homeless, Inc., dated December 22, 2003, filed December 23, 2003, in Book A70, Page 5566, as Document No. 2003226051, records of Bernalillo County, New Mexico, securing the sum of One Hundred Thousand and 00/100 (\$100,000.00).
17. Mortgage and Security Agreement executed by Metropolitan Homelessness Project /Albuquerque Opportunity Center, a New Mexico nonprofit corporation, to the City of Albuquerque, a New Mexico municipal corporation, dated August 16, 2005, filed August 16, 2005, in Book A101, Page 9555, as Document No. 2005119912, Real Property Records of BERNALILLO County, New Mexico, securing the sum of Five Hundred Thousand and 00/100 (\$500,000.00).
18. Assumption Agreement executed by Metropolitan Homelessness Project / Albuquerque Opportunity Center, a New Mexico nonprofit corporation,, Homeless Advocacy Coalition, Inc., a New Mexico nonprofit corporation, and The New Mexico Mortgage Finance Authority, dated July 2, 2007 filed _____, in Book _____, Page _____, as Document No. _____, Real Property Records of BERNALILLO County, New Mexico.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 15, 2013

James L. Wright, RA
Wright and Hammer Architects
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Certification Submittal for Certificate of Occupancy for
MHP/AOC Respite Care Addition, [G-15/D001]
715 Candelaria Road NE
Engineer's Stamp Dated 10/14/13

Dear Mr. Wright,

Based upon the information provided in your submittal received 10-14-13, Transportation Development has no objection to the issuance of a **Permanent Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **Permanent Certificate of Occupancy** to be issued by the Building and Safety Division

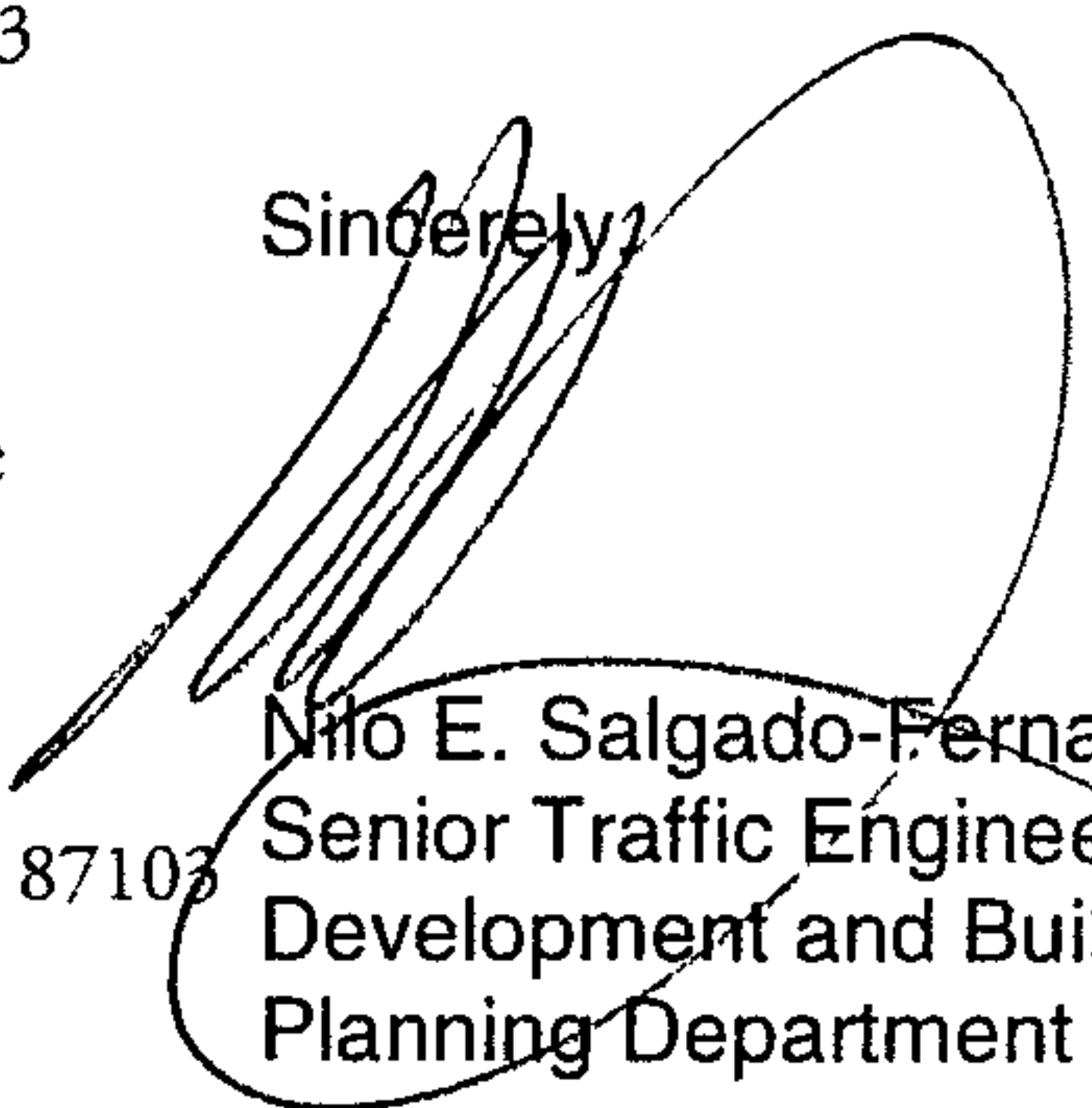
If you have any questions, please contact me at (505)924-3630.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

C: Engineer, Hydrology and CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: MHP/AOC Respite Care Addition ZONE MAP: G-15 D001
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1-A of Schmider Parcel, A Subdivision of Sundt's Industrial Area, Tract D
 CITY ADDRESS: 715 Candelaria Road NE 87110

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: J. Graeme Means, PE
 ADDRESS: 6010 Midway Park Blvd. NE PHONE: #13676
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

OWNER: Metropolitan Homelessness Project CONTACT: Jaime Tamez
 ADDRESS: 715 Candelaria Road NE PHONE: 505-344-2323
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

ARCHITECT: Wright and Hammer Architects CONTACT: Denise Hammer
 ADDRESS: 1735 Aliso Drive, NE PHONE: 505-266-6764
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

SURVEYOR: Harris Surveying CONTACT: Anthony Harris, PS
 ADDRESS: 2412 -D Monroe Street. NE PHONE: #11463
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 505-889-8056

CONTRACTOR: ESA Construction CONTACT: Steve Pannell
 ADDRESS: 3435 Girard Blvd. NE PHONE: 505-884-2171
 CITY, STATE: Albuquerque, NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

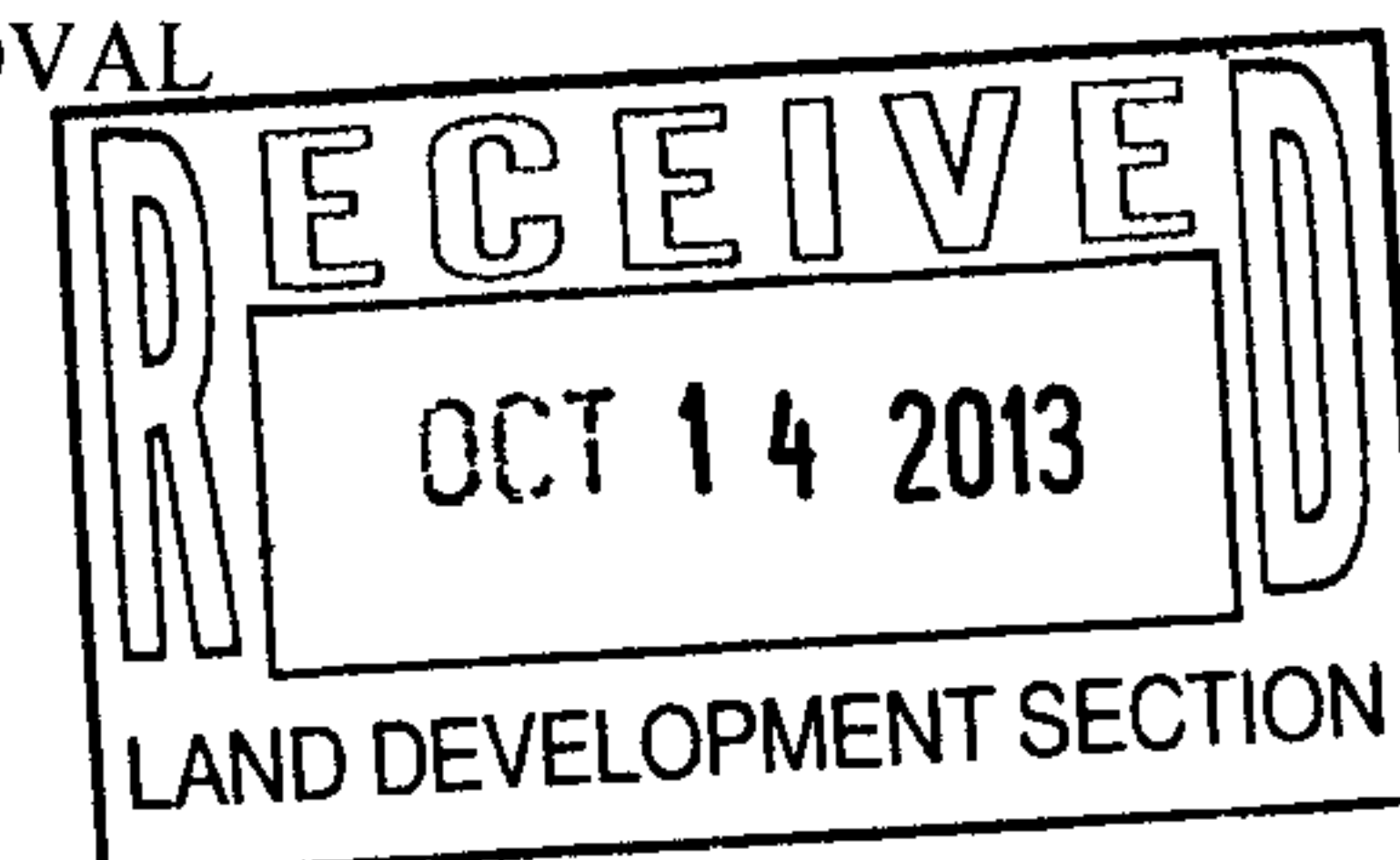
CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL PERM
☒ CERTIFICATE OF OCCUPANCY (FINAL)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10.14.13 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- 1 **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2 **Drainage Plans.** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3 **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

NSF

TRAFFIC CERTIFICATION

I, JAMES WRIGHT, NMRA #1342, OF THE FIRM WRIGHT AND HAMMER ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-31-2013. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 09-17-2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS:

THERE ARE NO OUTSTANDING ITEMS THAT NEED TO BE CONSTRUCTED AND NO ITEMS THAT APPEAR TO HAVE BEEN BUILT OUT OF 'SUBSTANTIAL COMPLIANCE.'

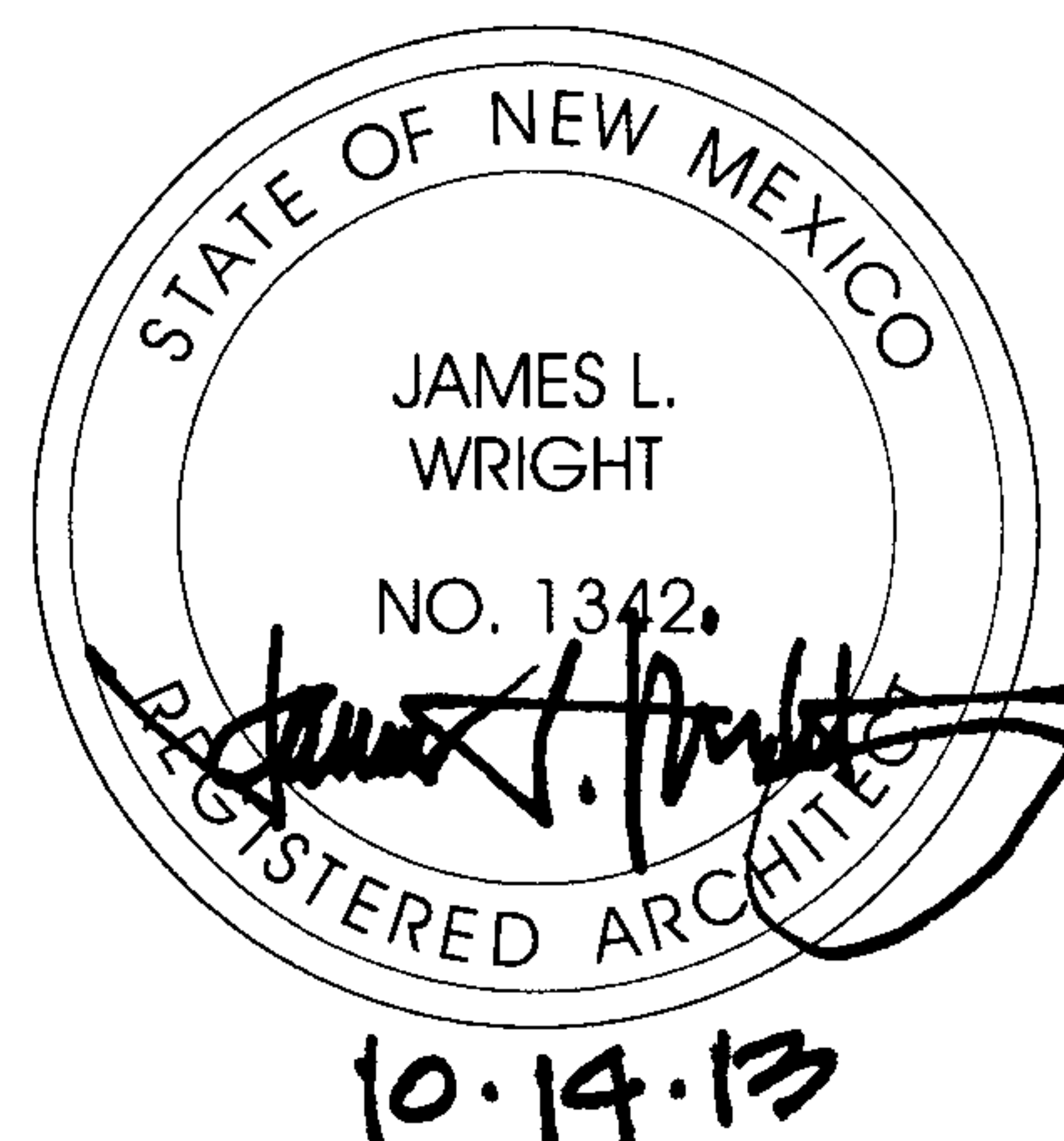
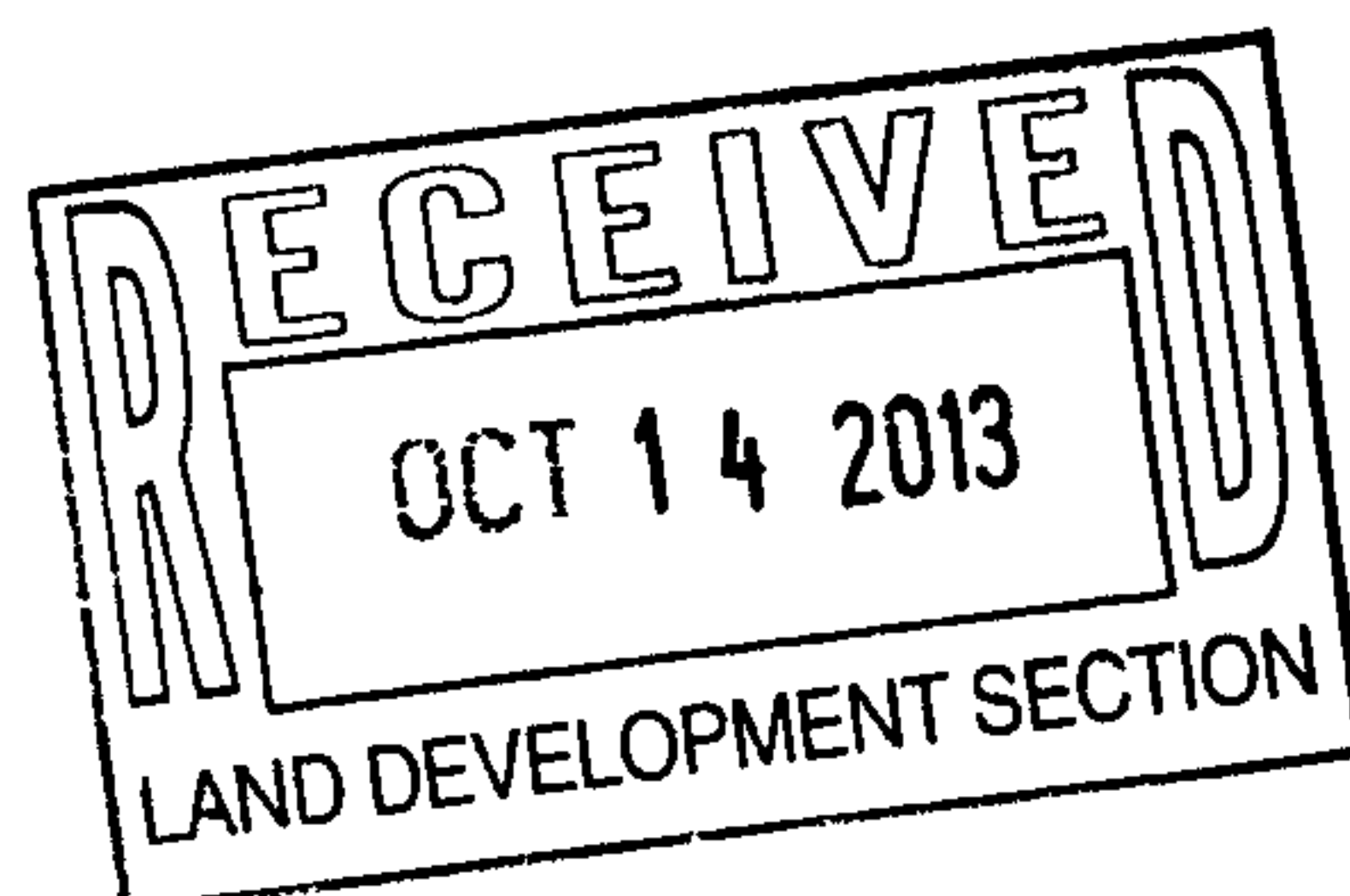
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



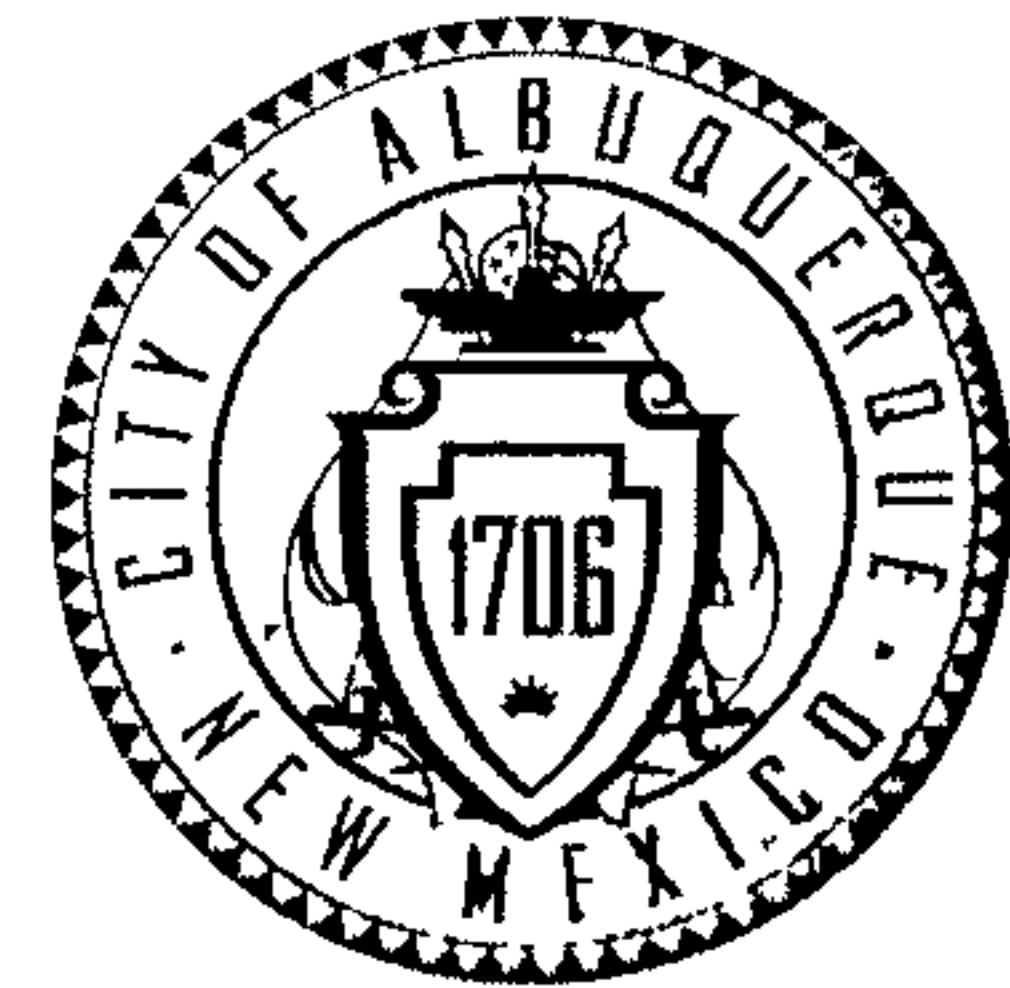
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

10/14/2013
Date



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 18, 2013

James L. Wright, RA
Wright and Hammer Architects
924 Park Avenue SW, Ste. B
Albuquerque, NM 87102

Re: Certification Submittal for Certificate of Occupancy for
MHP/AOC Respite Care Addition, [G-15/D001]
715 Candelaria Road NE
Engineer's Stamp Dated 09/17/13

Dear Mr. Wright,

Based upon the information provided in your submittal received 09-17-13, Transportation Development has no objection to the issuance of a **60-day Temporary Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **60-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division

PO Box 1293

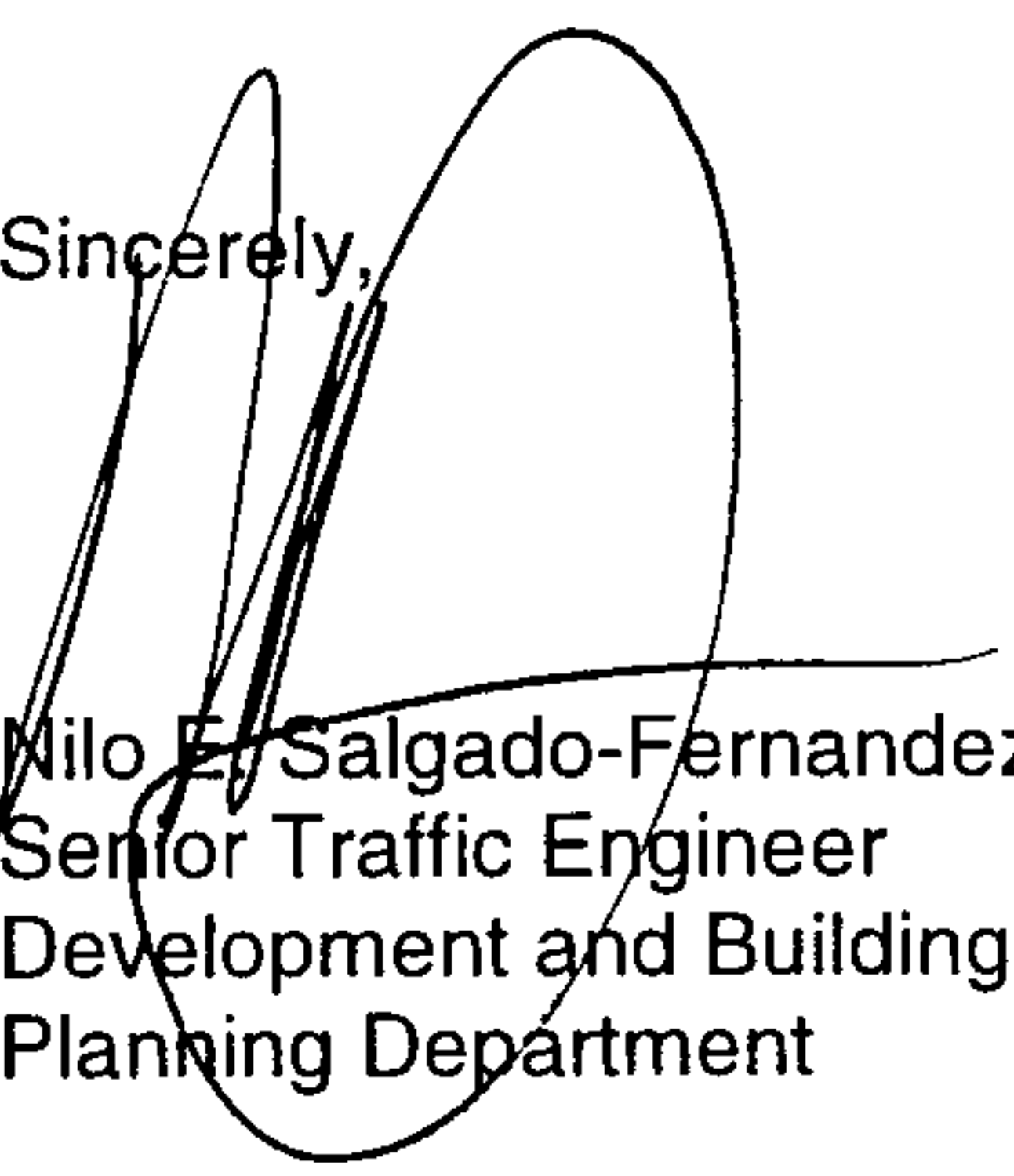
If you have any questions, please contact me at (505)924-3630.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,


Milo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

C: Engineer, Hydrology and CO Clerk

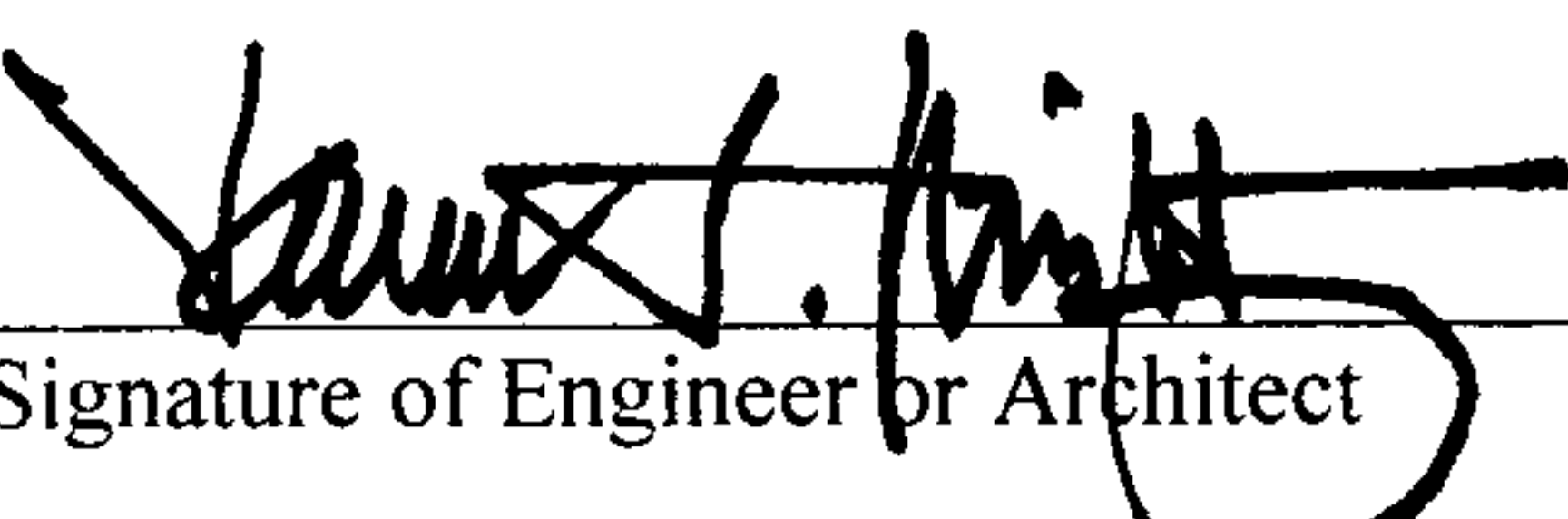
TRAFFIC CERTIFICATION

I, JAMES WRIGHT, NMRA #1342, OF THE FIRM WRIGHT AND HAMMER ARCHITECTS, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01-31-2013. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 09-17-2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS:

THERE ARE NO OUTSTANDING ITEMS THAT NEED TO BE CONSTRUCTED AND NO ITEMS THAT APPEAR TO HAVE BEEN BUILT OUT OF 'SUBSTANTIAL COMPLIANCE.'

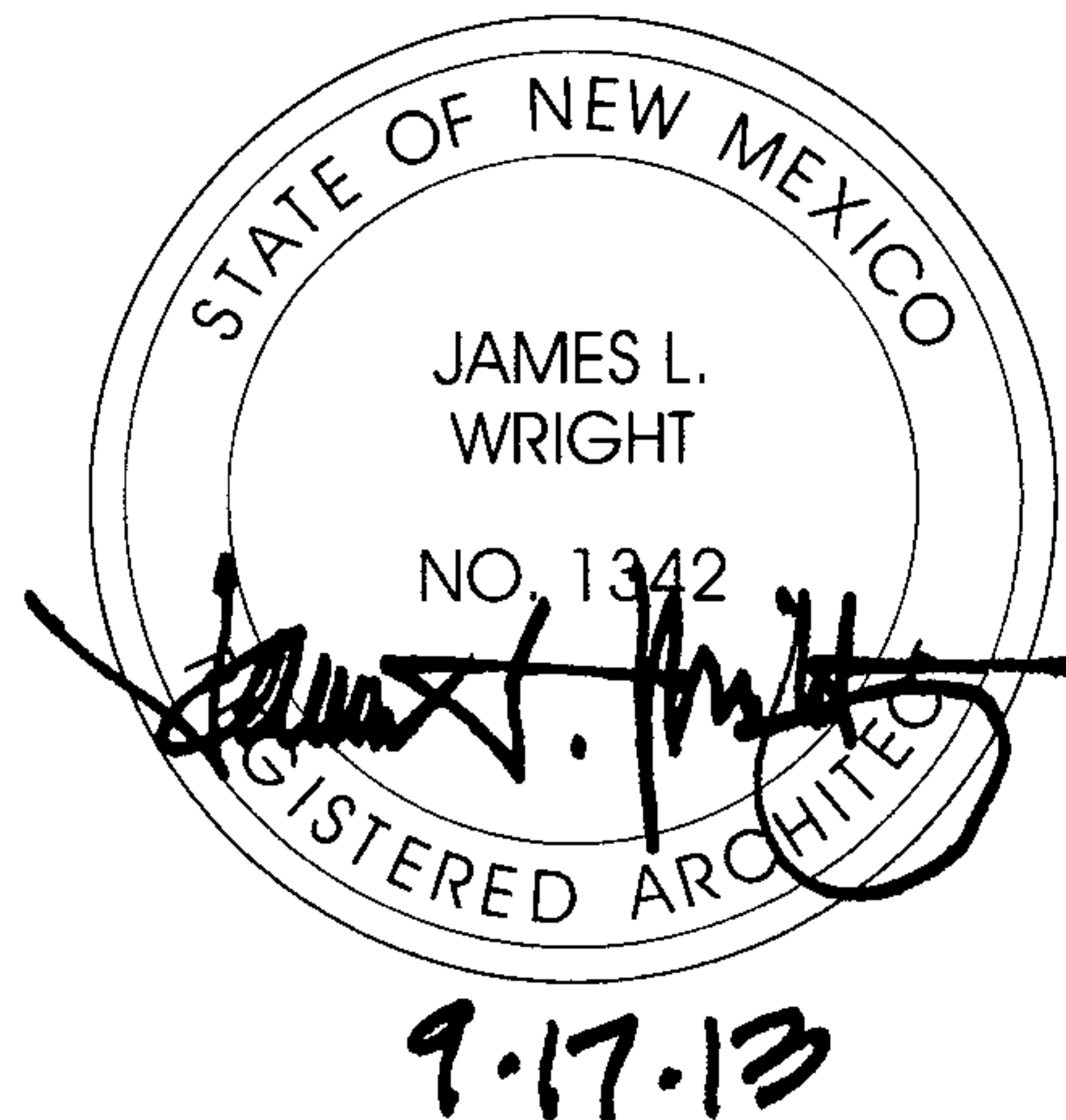
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

09/17/2013
Date



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: MHP/AOC Respite Care AdditionZONE MAP: G-15G15D001

DRB#: _____

EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1-A of Schmider Parcel, A Subdivision of Sundt's Industrial Area, Tract DCITY ADDRESS: 715 Candelaria Road NE 87110

J. Graeme Means, PE

ENGINEERING FIRM: High Mesa Consulting GroupCONTACT: #13676ADDRESS: 6010 Midway Park Blvd. NEPHONE: 505-345-4250CITY, STATE: Albuquerque, New MexicoZIP CODE: 87109OWNER: Metropolitan Homelessness ProjectCONTACT: Jaime TamezADDRESS: 715 Candelaria Road NEPHONE: 505-344-2323CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110ARCHITECT: Wright and Hammer ArchitectsCONTACT: Denise HammerADDRESS: 1735 Aliso Drive, NEPHONE: 505-266-6764CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110

Anthony Harris, PS

SURVEYOR: Harris SurveyingCONTACT: #11463ADDRESS: 2412 -D Monroe Street. NEPHONE: 505-889-8056CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110CONTRACTOR: ESA ConstructionCONTACT: Steve PannellADDRESS: 3435 Girard Blvd. NEPHONE: 505-884-2171CITY, STATE: Albuquerque, NMZIP CODE: 87107

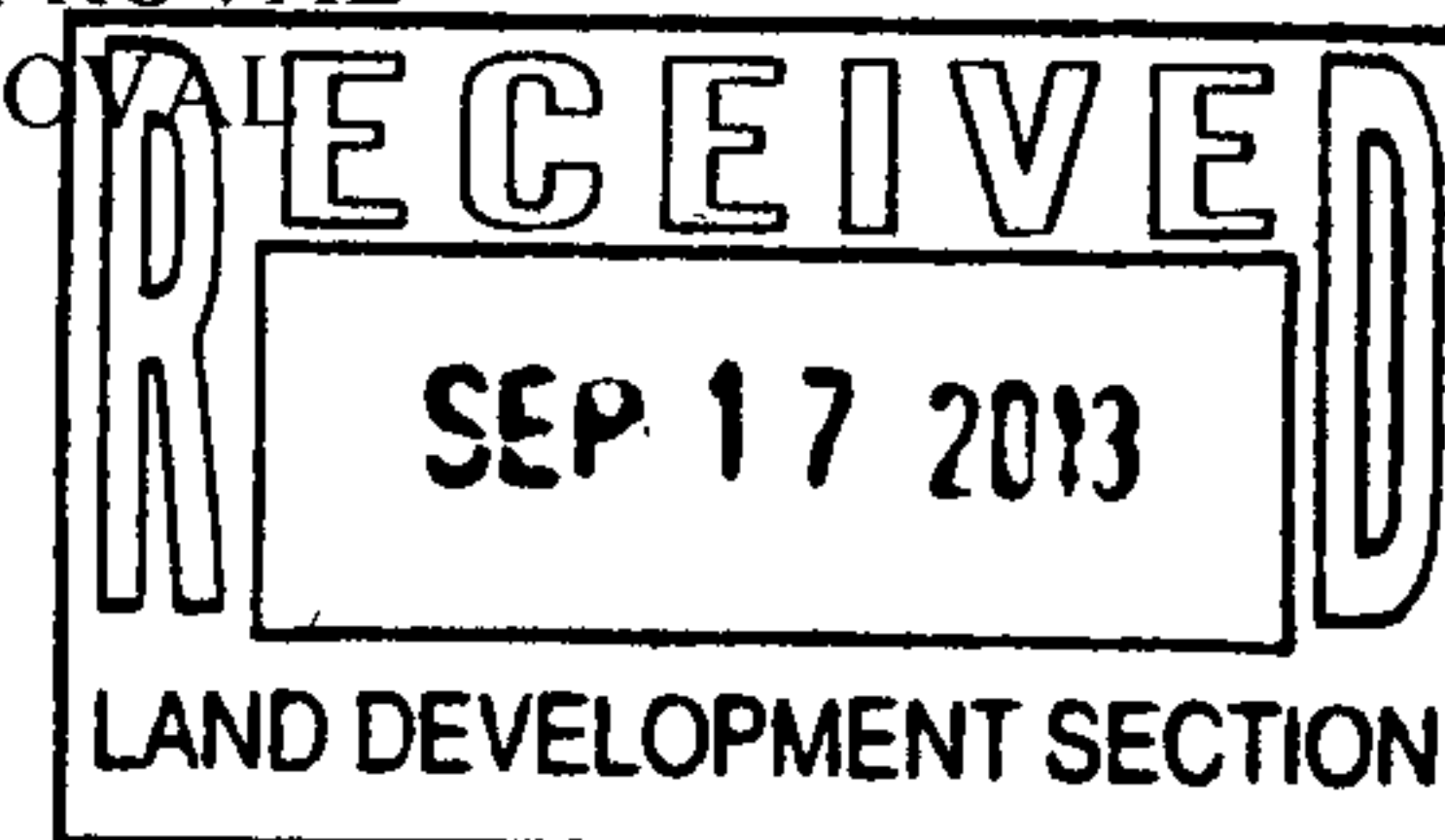
TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☒ **ENGINEER'S CERT (TCL)**
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ **CERTIFICATE OF OCCUPANCY (TEMP)**
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

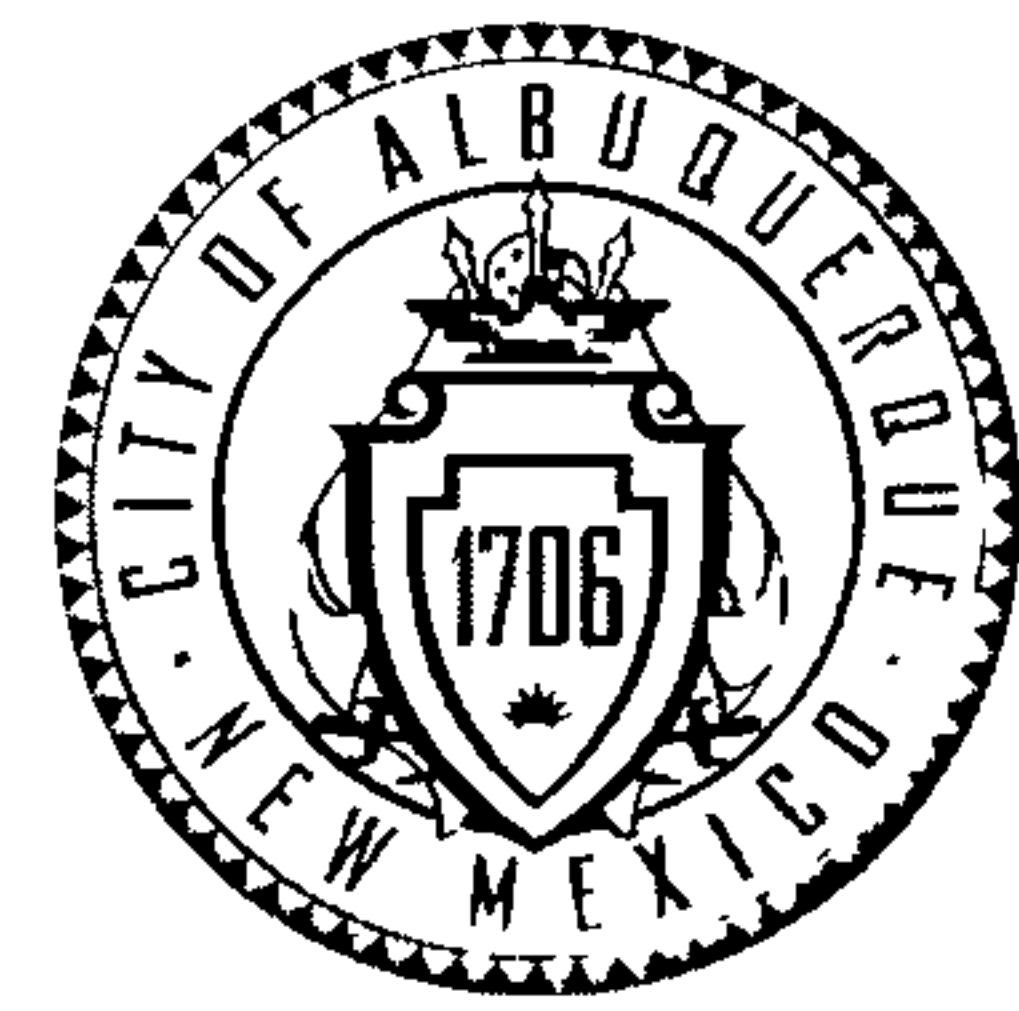
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☒ NO☐ COPY PROVIDEDDATE SUBMITTED: 9-17-2013 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

CITY OF ALBUQUERQUE



September 26, 2013

Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park NE
Albuquerque, NM 87109

**Re: Respite Care Addition, 715 Candelaria NE
 Request For Permanent C.O.
 Engineer's Stamp dated 11/19/12 (G15/D001)
 Certification Date: 09-23-13**

Dear Mr. Means,

Based on the Certification received 9/23/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

www.cabq.gov

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk—Katrina Sigala
 E-mail

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Albuquerque Opportunity Center – Respite Care Addition ZONE MAP: G-15/D001
 DRB#: _____ EPC#: _____ WORK ORDER#: _____
 LEGAL DESCRIPTION: Lot 1-A, Schmider Parcel
 CITY ADDRESS: 715 Candelaria Rd NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Opportunity Center CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Wright & Hammer CONTACT: Denise Hammer
 ADDRESS: 1735 Aliso Drive NE PHONE: 266-6764
 CITY, STATE: Albuquerque NM ZIP CODE: 87110

SURVEYING FIRM: HMCg LICENSED SURVEYOR: Chuck Cala # 11184
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: ESA Construction CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

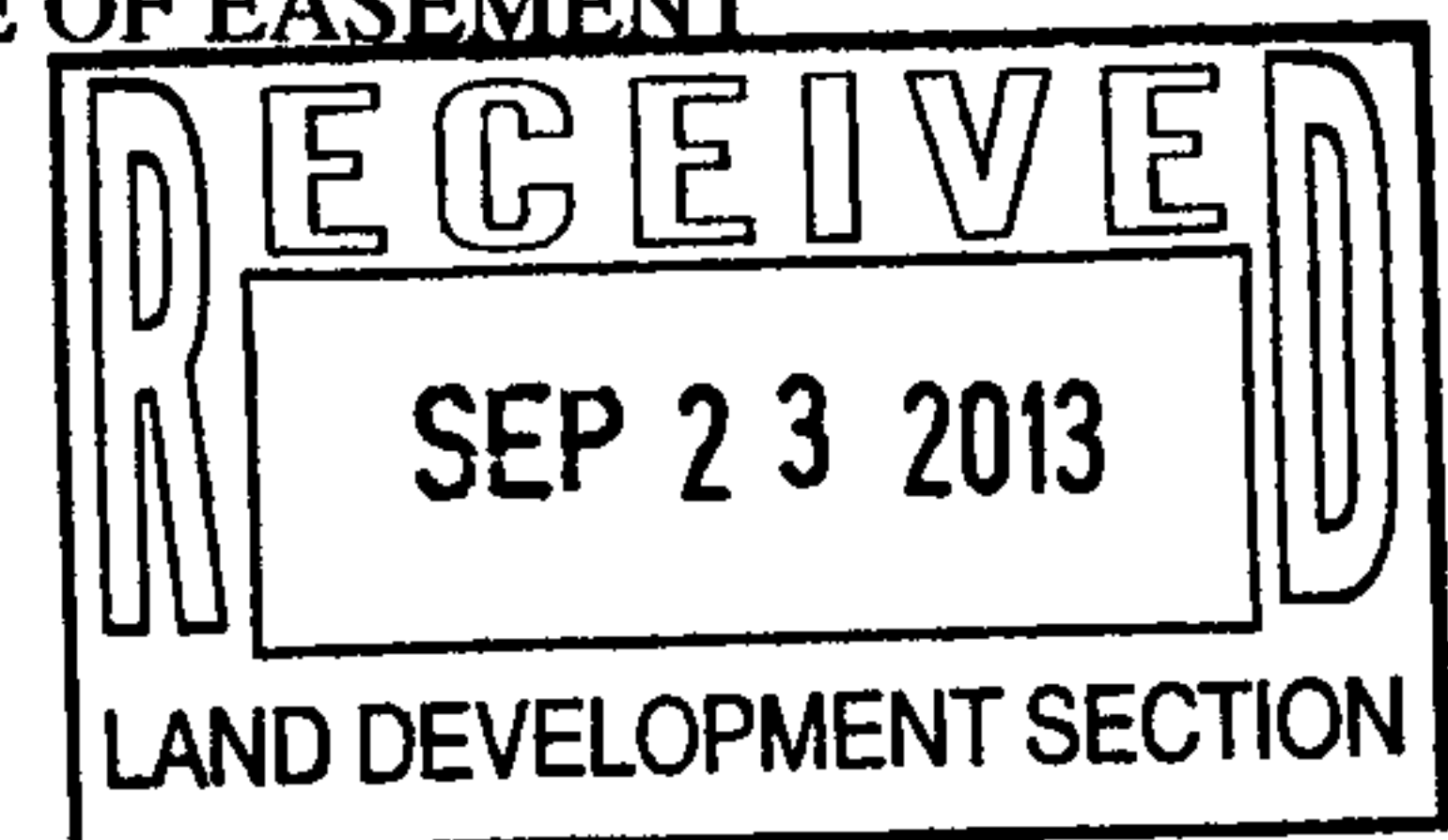
____ DRAINAGE REPORT
 ____ DRAINAGE PLAN 1st SUBMITTAL
 ____ DRAINAGE PLAN RESUBMITTAL
 ____ CONCEPTUAL G & D PLAN
 ____ GRADING PLAN
 ____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
 ____ CLOMR/LOMR
 ____ TRAFFIC CIRCULATION LAYOUT
 ____ ENGINEER'S CERT (TCL)
 ____ ENGINEER'S CERT (DRB SITE PLAN)
 ____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA/FINANCIAL GUARANTEE RELEASE
 ____ PRELIMINARY PLAT APPROVAL
 ____ S. DEV. PLAN FOR SUB'D APPROVAL
 ____ S. DEV. FOR BLDG. PERMIT APPROVAL
 ____ SECTOR PLAN APPROVAL
 ____ FINAL PLAT APPROVAL
 ____ FOUNDATION PERMIT APPROVAL
 ____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
 ____ GRADING PERMIT APPROVAL
 ____ PAVING PERMIT APPROVAL
 ____ OTHER SO#19 APPROVAL
 ____ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

____ YES
☒ NO
 ____ COPY PROVIDED



DATE SUBMITTED: 09/24/2013 BY: Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 27, 2012

Graeme Means, P.E.
High Mesa Consulting Group
6010-B Midway Park NE
Albuquerque, NM 87109

Re: Respite Care Addition 715 Candelaria NE
Grading and Drainage Plan
Engineer's Stamp dated 11/19/12 (G15/D001)

Dear Mr. Means,

Based upon the information provided in your submittal received 11-26-12, the above referenced project is approved for building permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports will have to comply with the requirements of the new permit. The permit is available online at
<http://www.cabq.gov/planning/landcoord/documents/EPA-NMS000101-FinalPermit.pdf>

NM 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Department.
Development and Building Services

C: RR/SB
 Email

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: Albuquerque Opportunity Center – Respite Care Addition ZONE MAP: G-15/D--1
 DRB#: _____ EPC#: _____ WORK ORDER#: _____
 LEGAL DESCRIPTION: Lot 1-A, Schmider Parcel
 CITY ADDRESS: 715 Candelaria Rd NE

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: Graeme Means #13676
 ADDRESS: 6010-B Midway Park Blvd NE PHONE: 345-4250
 CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Albuquerque Opportunity Center CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: Wright & Hammer CONTACT: Denise Hammer
 ADDRESS: 1735 Aliso Drive NE PHONE: 266-6764
 CITY, STATE: Albuquerque NM ZIP CODE: 87110

SURVEYING FIRM: Harris Surveying, Inc. LICENSED SURVEYOR: Tony Harris, #11463
 ADDRESS: 2412-D Monroe NE PHONE: 889-8056
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Not Yet Selected CONTACT: Architect
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ OTHER SO#19 APPROVAL
☐ OTHER RELEASE OF EASEMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

\$500

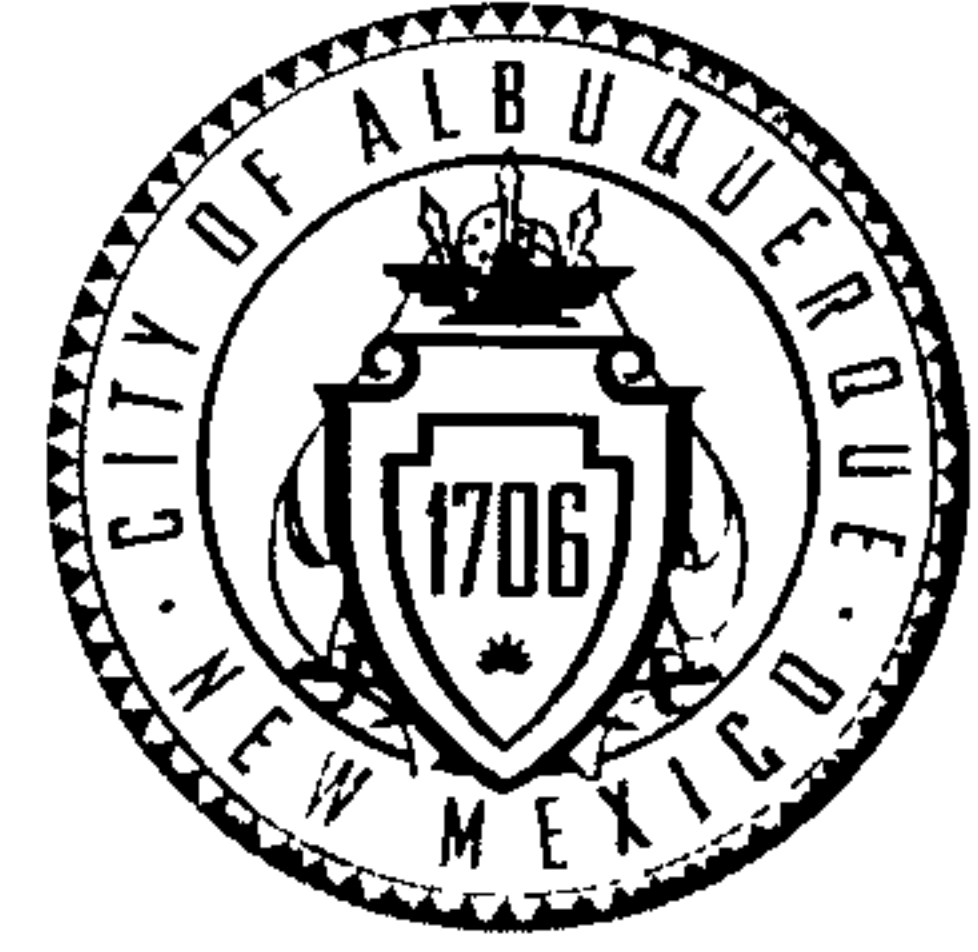


DATE SUBMITTED: 11/26/2012 BY: Graeme Means

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



February 1, 2013

James L. Wright, R.A.
Wright and Hammer Architects.
1735 Aliso Drive NE
Albuquerque, NM 87110

Re: MHP/AOC Respite Care Addition, 715 Candelaria Rd. NE
Traffic Circulation Layout
Architect's Stamp dated 01-31-13 (G15-D001)

Dear Mr. Wright,

The TCL submittal received 02-01-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

NM 87103

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Cynthia K. Beck
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

RESUBMITTAL TO CYNTHIA BECK.

HMC 2009.038.3

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 01/06 - KDM)

PROJECT TITLE: MHP/AOC Respite Care Addition ZONE MAP: G-15 - D001
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1-A of Schmider Parcel, A Subdivision of Sundt's Industrial Area, Tract D
CITY ADDRESS: 715 Candelaria Road NE 87110

ENGINEERING FIRM: High Mesa Consulting Group CONTACT: J. Graeme Means, PE
ADDRESS: 6010 Midway Park Blvd. NE PHONE: #13676
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

OWNER: Metropolitan Homelessness Project CONTACT: Jaime Tamez
ADDRESS: 715 Candelaria Road NE PHONE: 505-344-2323
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

ARCHITECT: Wright and Hammer Architects CONTACT: Denise Hammer
ADDRESS: 1735 Aliso Drive, NE PHONE: 505-266-6764
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

SURVEYOR: Harris Surveying CONTACT: Anthony Harris, PS
ADDRESS: 2412 -D Monroe Street. NE PHONE: #11463
CITY, STATE: Albuquerque, New Mexico PHONE: 505-889-8056
ZIP CODE: 87110

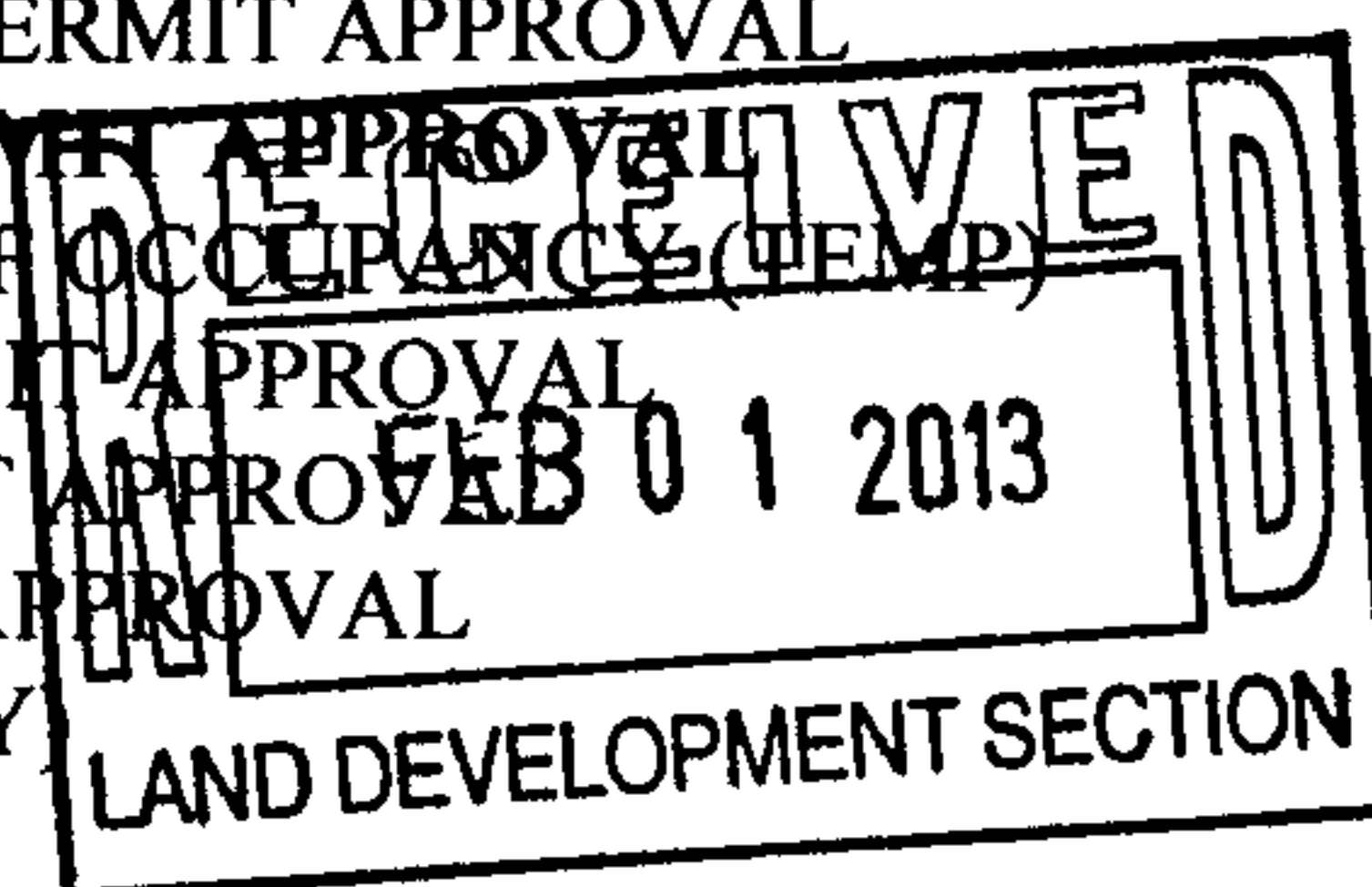
CONTRACTOR: _____ CONTACT: Architect
ADDRESS: _____ PHONE: 505-266-6764
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ **TRAFFIC CIRCULATION LAYOUT**
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ **BUILDING PERMIT APPROVAL**
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2.1.13 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

W R I G H T A N D H A M M E R A R C H I T E C T S

31 January, 2013

Ms. Cynthia Beck
City of Albuquerque
Traffic Engineer, Planning Department
Development and Building services
P.O. Box 1293
Albuquerque, NM 87103

Re: MHP/AOC Respite Care Addition, 715 Candelaria Rd. NE,
 Traffic Circulation Layout

Dear Ms. Beck:

Based on your letter dated 01-29-2013, please find the enclosed revisions to the Traffic Circulation Layout submitted on 1-29-2013, as well as the following responses to address your comments:

1. All ramps are ADA compliant. Portable Building ramps were installed under a recent project permitted by the City of Albuquerque which received Certificates of Occupancy in December of 2012.
2. A six foot, asphalt, ADA accessible, pedestrian walkway from the street sidewalk at Candelaria Road to the entrance of the existing building has been provided.
3. The concrete landing at the existing building entry door abuts the new asphalt, ADA accessible pedestrian walkway and complies with *2010 ADA Standards for Accessible Design*, Chapter 4, Section 404, for maneuvering clearances at manual swinging doors.
4. The parking lot layout is designed to conform to a two-way layout per the City of Albuquerque *DPM* standards Chapter 23, figure 23.7.1.
5. Details for the proposed security fence and gates are included in this submittal (please see drawing sheet C-502 dated 19, November 2012). The minimum 11 foot clear site triangle is maintained from the edge of the access easement and per the City of Albuquerque *DPM* Chapter 23 Section 6.12 "*Visibility for Driveways.*" Please note that the access easement ends at the north property line of 715 Candelaria Road NE, and is secured by a fence and electric gate.

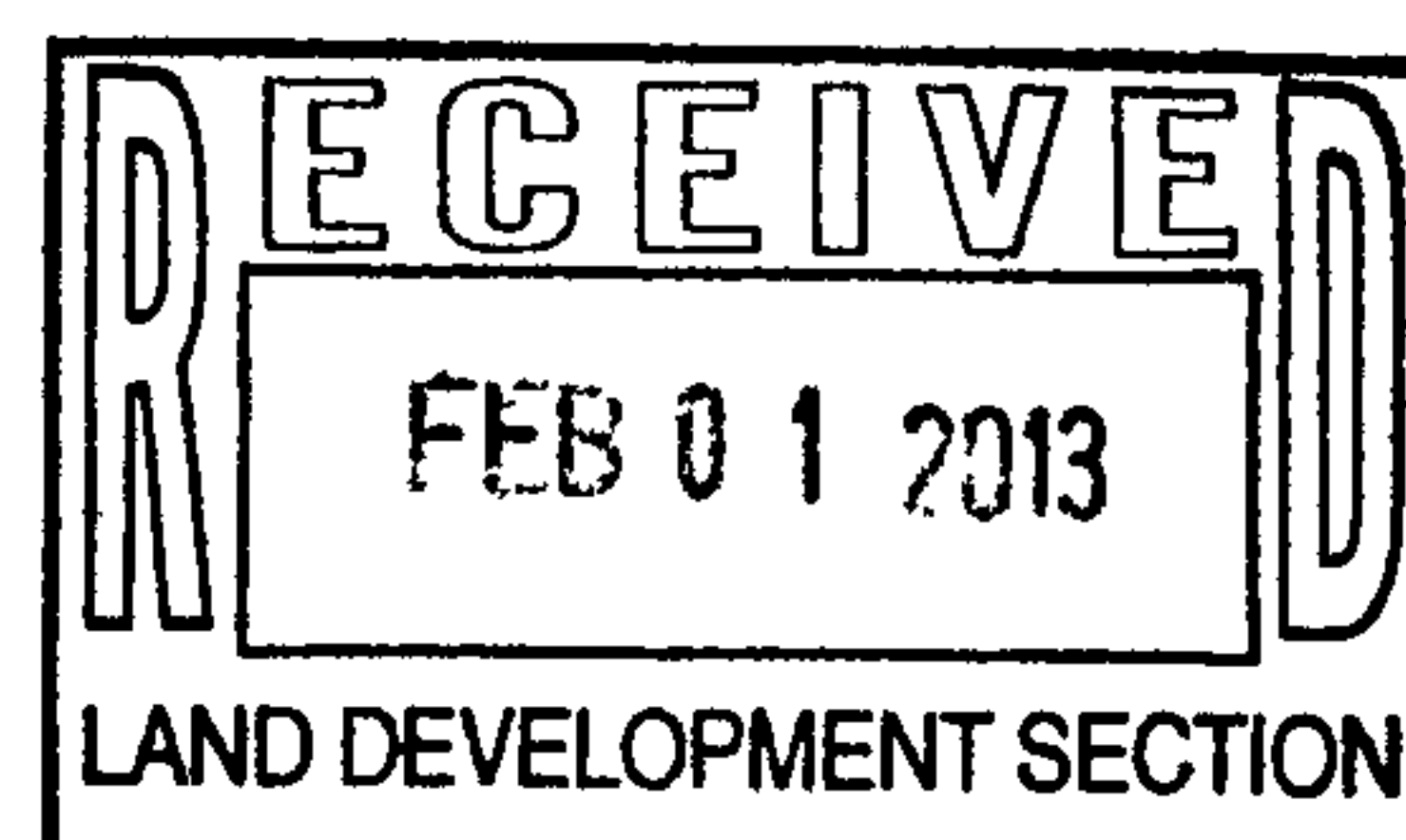
Also, please note that this letter grants Ms. Denise Hammer authority to make necessary changes to the enclosed submittal as required for the purpose of securing a building permit from the City of Albuquerque.

If you have further questions, please contact me at 266-6764.

Sincerely,



James Wright, Architect



Enclosures:

- Sheet C-101.1, revised and dated 1-31-2013 (3 copies)
- Sheet C-502, dated 19, Nov., 2012 (1 copy)

January 29, 2013

James L. Wright, R.A.
Wright and Hammer Architects
1735 Aliso Drive NE
Albuquerque, NM 87110

**Re: MHP/AOC Respite Care Addition, 715 Candelaria Rd. NE,
Traffic Circulation Layout
Architect's Stamp Not Dated (G15—D001)**

*Called Dennis Hammer
1/28/13
Set Meeting @ 4pm
to go over TCL
Requirements.
CRB*

Dear Mr. Wright,

Based upon the information provided in your submittal received 01-18-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Please show a vicinity map on the site plan.
3. Please provide a legal description on the site plan.
4. Please show the entire site, including all property lines, easements, required setbacks and structures, proposed and existing.
5. Clearly delineate between property lines, setback lines, easement lines, landscaped areas and project limits. A legend to clarify all line types, hatchings, and symbols is recommended.
6. Please refer to all applicable city standards.
7. Please ensure all ramps are ADA compliant.
8. Clarify the extents of the current phase.
9. Do the portables with their associated access ramps and steps exist? Please clarify and provide detail notes to show ADA accessibility compliance.
10. Please include a copy of your shared access agreement with the adjacent property owner.
11. All easements must be show on the site plan and labeled. Please provide recording information.
12. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
13. Please indicate parking lot surface material proposed.
14. A five-foot keyway is required for deadend parking aisles.
15. Please list the width and length for all parking spaces.
16. If compact parking spaces are provided, please place the words "compact" on the pavement of each space.
17. A six foot, ADA accessible, pedestrian walkways must be provided from all ADA parking stalls to the principal customer entrance of the nearest building on site.

*Applicant met
and reviewed
these comments
and accepts
a verbal 'No',
CRB 1/28/13
Dennis Hammer*

- Material?*
- ~~18.~~ Please label the drive aisle widths for all vehicle circulation. A minimum of 24 feet is required for parking areas with perpendicular parking and two-way vehicle movement.
 - ~~19.~~ List the width of the proposed turnouts.
 - ~~20.~~ Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
 - ~~21.~~ List the width of the existing drivepad.
 - ~~22.~~ Define width of the existing sidewalk.
 - ~~23.~~ Please provide details of existing COA ROW infrastructure on Candelaria fronting the project site. Label sidewalk, curb and gutter, utility facilities, and ADA ramp at street corners.
 24. A six foot, ADA accessible, pedestrian walkways must be provided from street sidewalk to the principal customer entrance of the nearest building on site.
 - ~~25.~~ Please show the refuse access route.
 - ~~26.~~ Please label bicycle rack.
 - ~~27.~~ Please provide widths of pedestrian gate openings.
 - ~~28.~~ Please label width of sidewalk that abuts north side of proposed building if it is less than the 6 foot min. There appears to be a reduction in width due to proposed structural encroachments.
 - ~~29.~~ Per the Development Process Manual, Chapter 27, Section 7, Part F.II, a scale of 1"=20' is recommended for sites of less than 5 acres.
 - ~~30.~~ A scale must be shown on the plan. Per the Development Process Manual, Chapter 27, Section 2, Part B.1, only the following scales may be used:
 - 1" = 50'
 - 1" = 40'
 - 1" = 20'
 - 1" = 10'
 - 1" = 100' (for overall layouts only)

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 - KDM)

PROJECT TITLE: MHP/AOC Respite Care AdditionZONE MAP: G-15

DRB#: _____

EPC#: _____

WORK ORDER#: _____

LEGAL DESCRIPTION: Lot 1-A of Schmider Parcel, A Subdivision of Sundt's Industrial Area, Tract DCITY ADDRESS: 715 Candelaria Road NE 87110

J. Graeme Means, PE

ENGINEERING FIRM: High Mesa Consulting GroupCONTACT: #13676ADDRESS: 6010 Midway Park Blvd. NEPHONE: 505-345-4250CITY, STATE: Albuquerque, New MexicoZIP CODE: 87109OWNER: Metropolitan Homelessness ProjectCONTACT: Jaime TamezADDRESS: 715 Candelaria Road NEPHONE: 505-344-2323CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110ARCHITECT: Wright and Hammer ArchitectsCONTACT: Denise HammerADDRESS: 1735 Aliso Drive, NEPHONE: 505-266-6764CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110SURVEYOR: Harris Surveying

Anthony Harris, PS

CONTACT: #11463ADDRESS: 2412 -D Monroe Street. NEPHONE: 505-889-8056CITY, STATE: Albuquerque, New MexicoZIP CODE: 87110

CONTRACTOR: _____

CONTACT: Architect

ADDRESS: _____

PHONE: 505-266-6764

CITY, STATE: _____

ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ **TRAFFIC CIRCULATION LAYOUT**
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

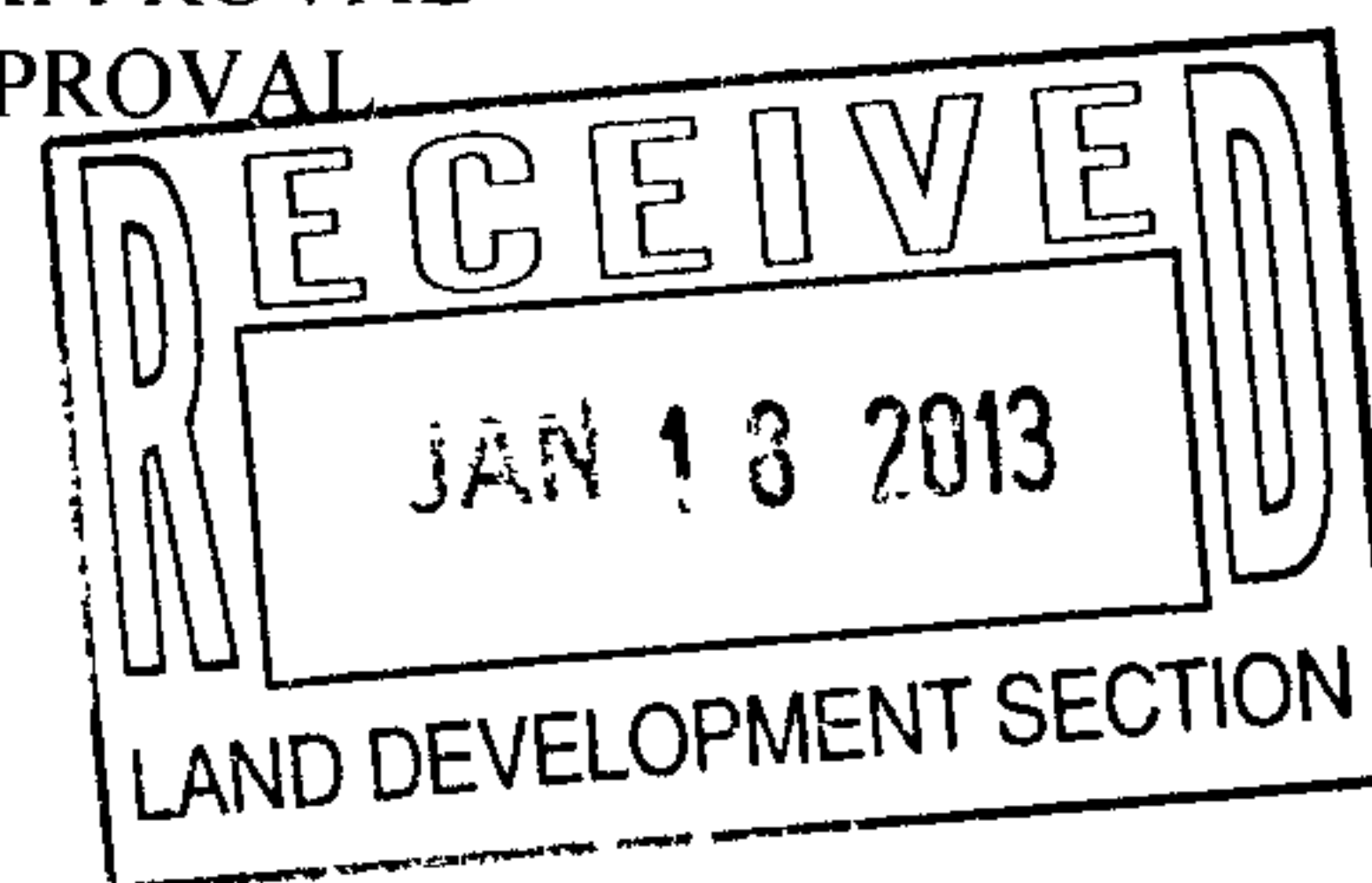
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ **BUILDING PERMIT APPROVAL**
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☒ NO☐ COPY PROVIDED

DATE SUBMITTED: _____

BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

CITY OF ALBUQUERQUE



January 29, 2013

James L. Wright, R.A.
Wright and Hammer Architects
1735 Aliso Drive NE
Albuquerque, NM 87110

**Re: MHP/AOC Respite Care Addition, 715 Candelaria Rd.NE,
Traffic Circulation Layout
Architect's Stamp Not Dated (G15—D001)**

Dear Mr. Wright,

Based upon the information provided in your submittal received 01-29-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please ensure all ramps are ADA compliant.
2. Please provide a six foot, concrete, ADA accessible, pedestrian walkways from street sidewalk to the principal customer entrance of the nearest building on site.*
3. The concrete landing abutting customer entrance does not appear to be ADA compliant. Please refer to current *2010 ADA Standards for Accessible Design*, Ch. 4, section 404, for maneuvering clearances at manual swinging doors.
4. The vehicular pavement markings for the parking lot circulation show one-way circulation. One-way parking and circulation have specific *Development Process Manual (DPM)* requirements, angled parking stalls and narrow drive aisle widths, to ensure intended circulation movement. The proposed perpendicular parking stall layout with 24 foot drive aisle conforms to a two-way layout. Please design parking lot to conform to DPM standards Chapter 23, figure 23.7.1.
5. Please provide details for the proposed security fence and gates adjacent to the drive aisles at the proposed parking area. Refer to *DPM* Chapter 23; section 6.12 "*Visibility for Driveways.*" Please demonstrate that the minimum 11 foot clear sight triangle is maintained between the vertical heights of 3 to 8 feet.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



*The TCL site plan references an "Existing 6' ADA Pedestrian Path" connecting the public ROW fronting Candelaria to the buildings entrance. The crusher-fine path does not qualify as ADA accessible in this situation because it is located in an urban area, with the high traffic volume potential and the path can not ensure a "firm, stable, and slip resistance surface" during and following inclement weather. According to the IEBC, section #605.1, the building addition proposed will require the existing site to comply with current ADA standards. The exception would be to provide proof that the cost to comply would be greater than 20 percent of the entire cost of the addition.

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia Beck
Traffic Engineer, Planning Dept.
Development and Building Services

PO Box 1293

C File

Albuquerque

NM 87103

www.cabq.gov

RESUBMITTAL FOR CYNTHIA BECK

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 02/2012)

G-15/0001

PROJECT TITLE: MHP/AOC RESPTTE CARE ADDITION PLANE MAP: ~~JES/DOFF~~
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: _____
CITY ADDRESS: _____

ENGINEERING FIRM: HMCG CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: MHP METROPOLITAN HOMELESSNESS PROJECT CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: WRIGHT AND HAMMER ARCHITECTS CONTACT: 206.6764
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

SURVEYOR: _____ CONTACT: denise@wrightandhammer.com
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☒ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUBD APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

RE: 1/29/2013
DATE SUBMITTED: _____ BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

1/30/12: Spoke w/ Applicant Re: Resubmittal

CIB

- 1) Ada Path / Access Row - BLDG → Crusher Fines / 3-4' Concrete @ Door
- 2) Easement - Dead end Access Rd, Fenced off at End of Client Property.
- 3) Remove Punt Markings / Allow 2-way Parking Lot Movement
- 4) Demonstrate Clear Sight Δ / distance @ Exit w/ Fence & Gate.

CYNTHIA,

SORRY I MISSED

YOU - PLEASE

SEE 3 ATTACHED

REVISIONS PLUS

YOUR MARK-UP PLUS

WARRANTY DEED FOR

EASEMENT (THIS IS

ALL MHP COULD FIND....)

THANKS SO MUCH,

DENISE

Cherne, Curtis

From: Cherne, Curtis
Sent: Monday, August 27, 2012 1:11 PM
To: 'Graeme Means'
Subject: RE: Pre-Design Meeting G-15/D001

Graeme,
I agree.

Curtis Cherne, P.E., CFM
Hydrology, COA

From: Graeme Means [mailto:GMeans@highmesacg.com]
Sent: Monday, August 27, 2012 11:03 AM
To: Cherne, Curtis
Subject: RE: Pre-Design Meeting G-15/D001

Curtis,

Based on our discussion, it appears that the 2005 plat should have retained drainage easements for 1) the site to continue to drain to the north to the historic detention pond, and 2) for the detention pond outlet pipe to run back to the south to Candelaria. As discussed, our approach to this project will be to maintain the status quo, discharging in a historic manner at rates equal to or less than existing. The proposed development will replace pavement with a building addition, a parking lot, and some landscaping. We anticipate a small reduction in runoff.

As such, we will not have to pursue easements or construct offsite or downstream drainage improvements.

Please confirm this understanding.

Thank you,

Graeme



J. Graeme Means, P.E.
Principal

6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
www.highmesacg.com

Phone: 505.345.4250
Fax: 505.345.4254
gmeans@highmesacg.com

From: Graeme Means
Sent: Thursday, August 23, 2012 3:01 PM
To: 'Cherne, Curtis '
Subject: FW: Pre-Design Meeting J-15/D001

8/27/2012



J. Graeme Means, P.E.
Principal

6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
www.highmesacg.com

Phone: 505.345.4250
Fax: 505.345.4254
gmeans@highmesacg.com

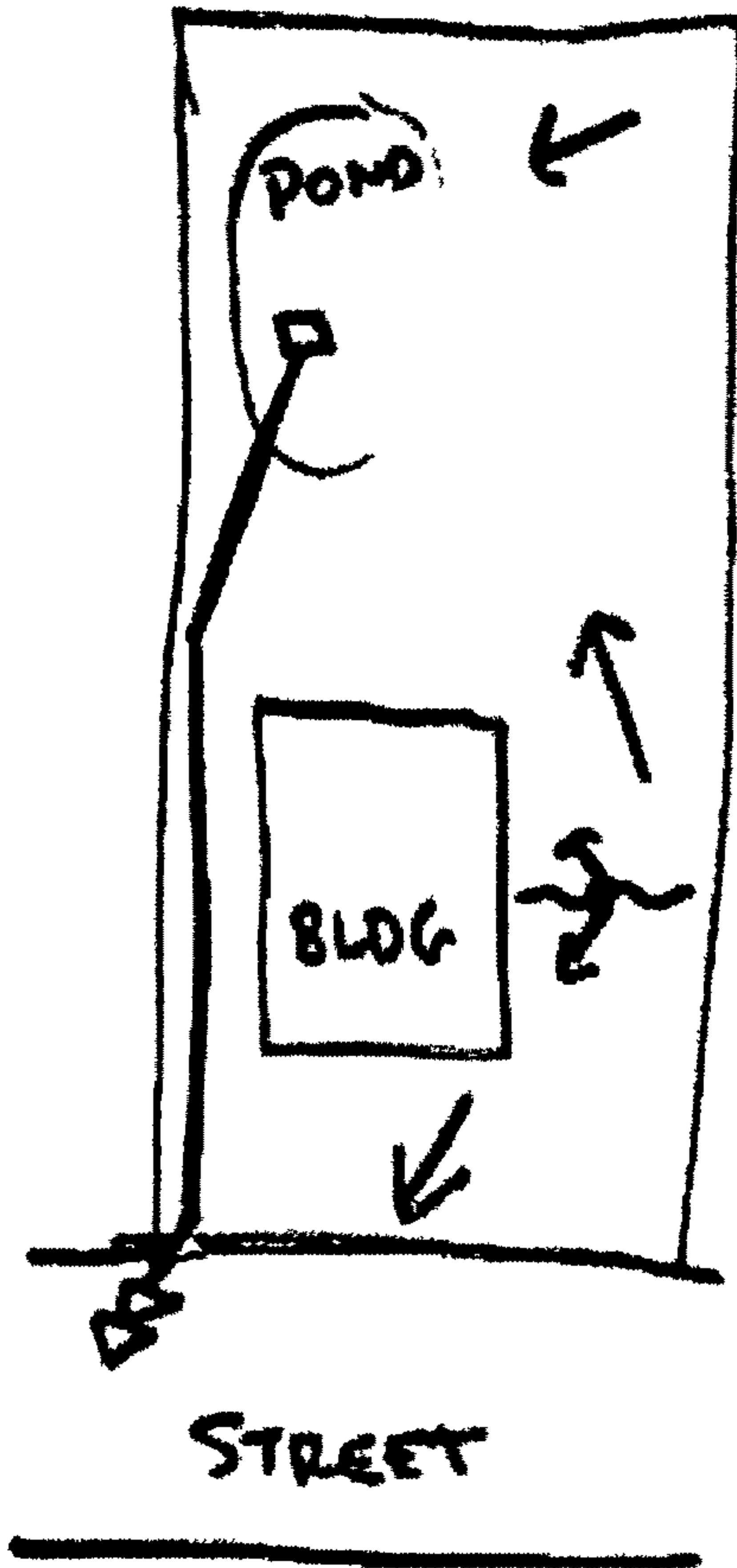
From: Graeme Means
Sent: Thursday, August 23, 2012 2:08 PM
To: 'Cherne, Curtis '
Subject: Pre-Design Meeting J-15/D001

Curtis,

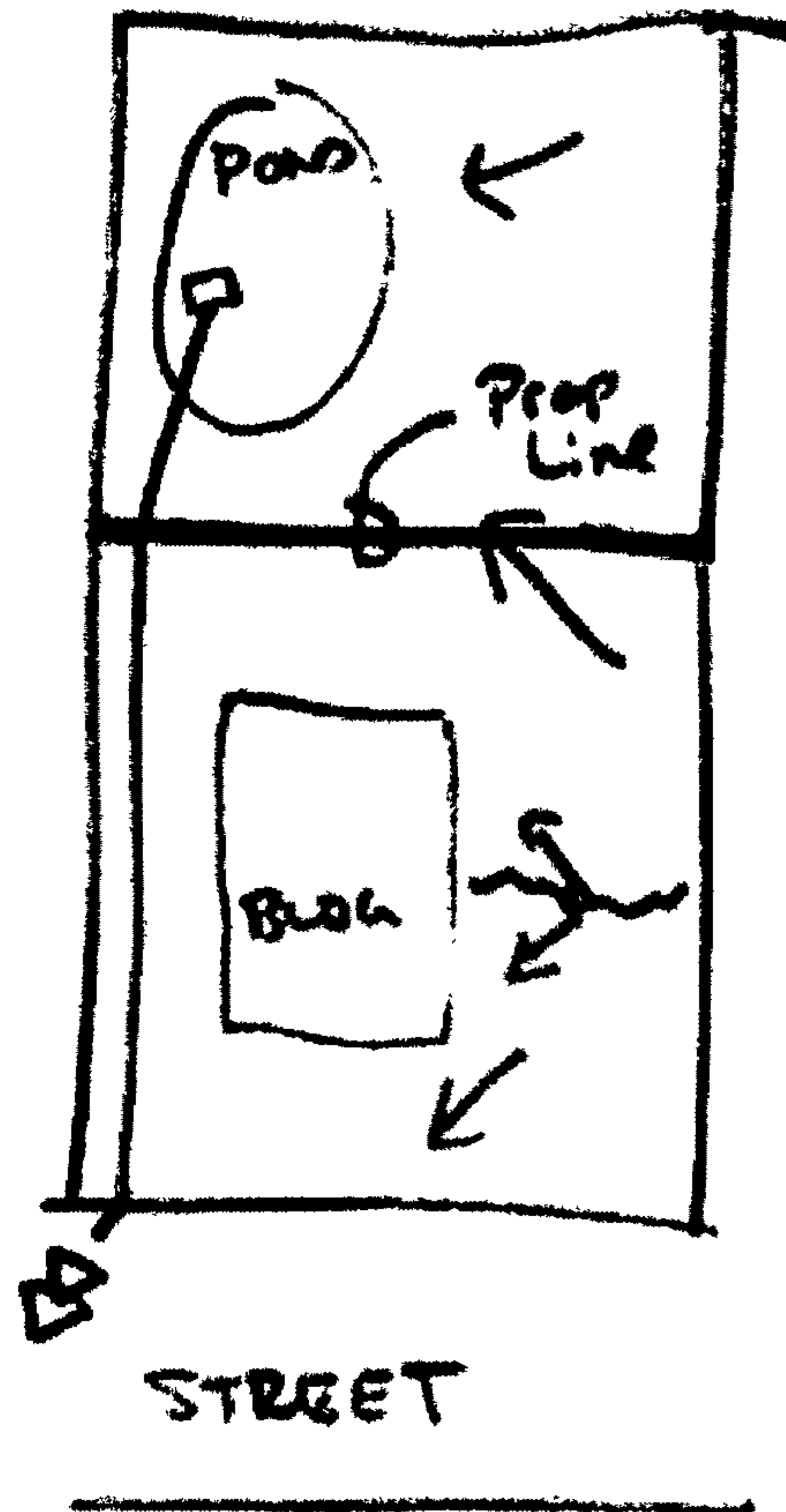
I'd like to schedule a quick pre-design meeting for a building addition at a commercial site. The original G&D (that we prepared) included a detention pond at the rear end of the site with controlled release back out via storm drain to the street out in front through a sidewalk culvert. Normally, a project like this would be simple, however, a plat was approved and recorded in 2005 that split the lot in half without identifying any drainage easements. Do you have time Friday to guide me?

8/27/2012

1987-2005



2005-NOW





J. Graeme Means, P.E.
Principal

6010-B Midway Park Blvd. NE
Albuquerque, NM 87109
www.highmesacg.com

Phone: 505.345.4250
Fax: 505.345.4254
gmeans@highmesacg.com