

CITY OF ALBUQUERQUE



March 6, 2009

Jeffery G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Industry One Loading Dock, 4201 Yale NE, Grading/Drainage Plan w/
SO-19, (G-15/D007)**

Engineer's Stamp Date: 12/16/2008

Certification Date: 3-03-09

Dear Mr. Mortensen,

PO Box 1293

Thank you for providing an Engineer Certification for the Grading/Drainage Plan w/SO-19, received on 3-4-09, for the above referenced plan. Duane Schmitz has approved the sidewalk culvert. This information will be placed in the project file.

Albuquerque

If you have any questions, I can be contacted at 924-3982.

NM 87103

Sincerely,

Timothy E. Sims
Plan Checker, Planning Dept.-Hydrology
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: INDUSTRY ONE LOADING DOCK ZONE ATLAS/DRNG. FILE #: G15 D7
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT B-2, LANDS OF JR NANCE
 CITY ADDRESS: 4201 YALE NE

ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: NOT KNOWN CONTACT: CONTRACTOR
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: HIGH MESA CONSULTING GROUP (NMPS 11184) CONTACT: CHARLES G. CALA, JR
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: KLINGER CONSTRUCTORS CONTACT: JARED TABBERT
 ADDRESS: PO BOX 90850 PHONE: 822-9990
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER - SO #19

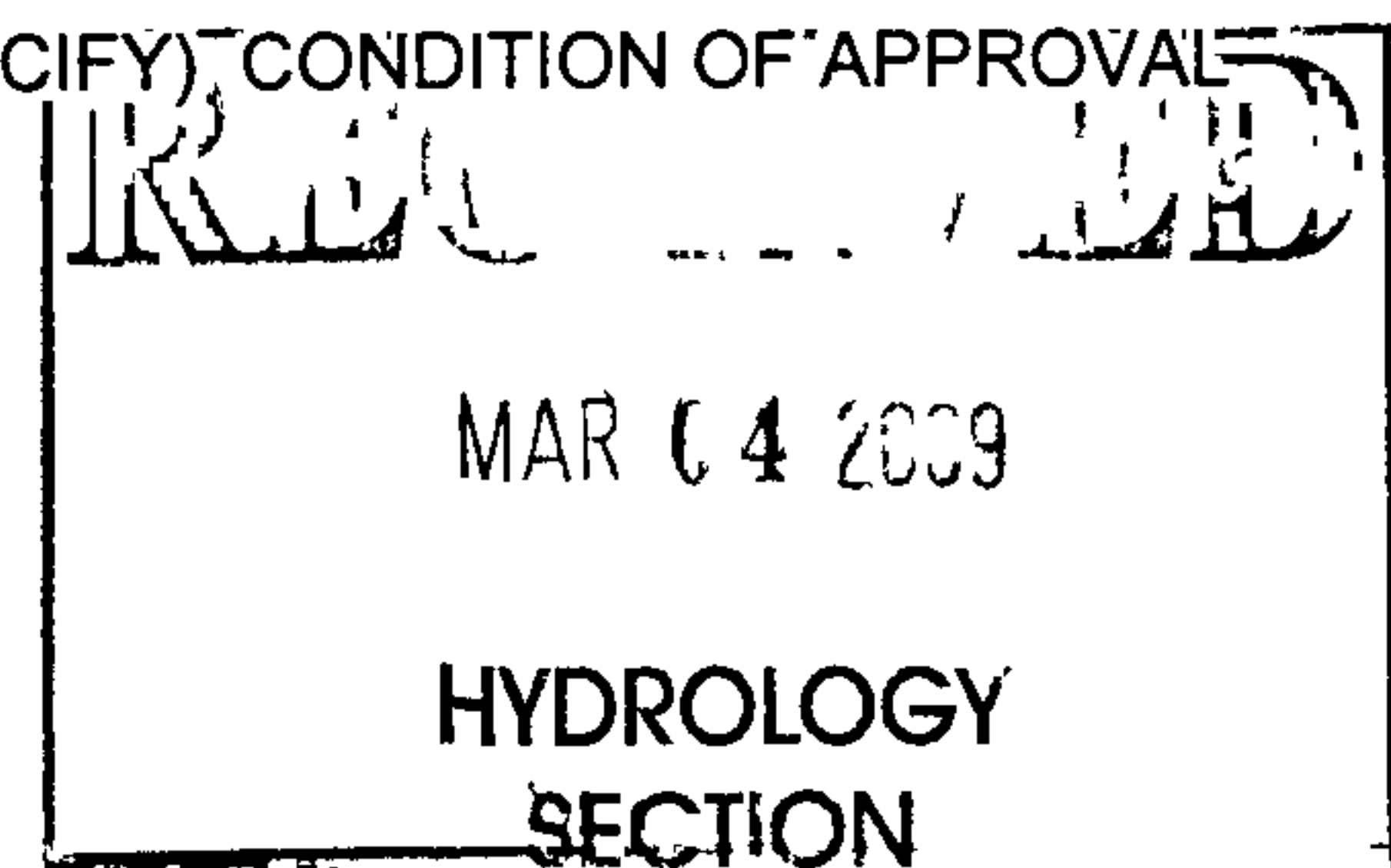
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) _____ CONDITION OF APPROVAL _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03/03/2009 BY: JEFFREY G. MORTENSEN



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



FAX 345-4254
to: Jeff
from: Curtis

December 17, 2008

Jeffrey G. Mortensen, P.E.
High Mesa Consulting Group
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Industry One Loading Dock Grading Plan
Engineer's Stamp dated 12-16-08 (G15/D007)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 12-16-08, the above referenced plan is approved Grading Permit, Paving Permit and SO# 19 Permit.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Upon completion of the project, provide an Engineer Certification for our files.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

GIS/DODJ

PROJECT TITLE: INDUSTRY ONE LOADING DOCK ZONE ATLAS/DRNG. FILE #: G15 D7
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT B-2, LANDS OF JR NANCE
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ENGINEERING FIRM: HIGH MESA CONSULTING GROUP CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
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ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: HIGH MESA CONSULTING GROUP (NMPS 11184) CONTACT: CHARLES G. CALA, JR
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: KLINGER CONSTRUCTORS CONTACT: JARED TABBERT
 ADDRESS: PO BOX 90850 PHONE: 822-9990
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: _____

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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
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☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER - SO #19

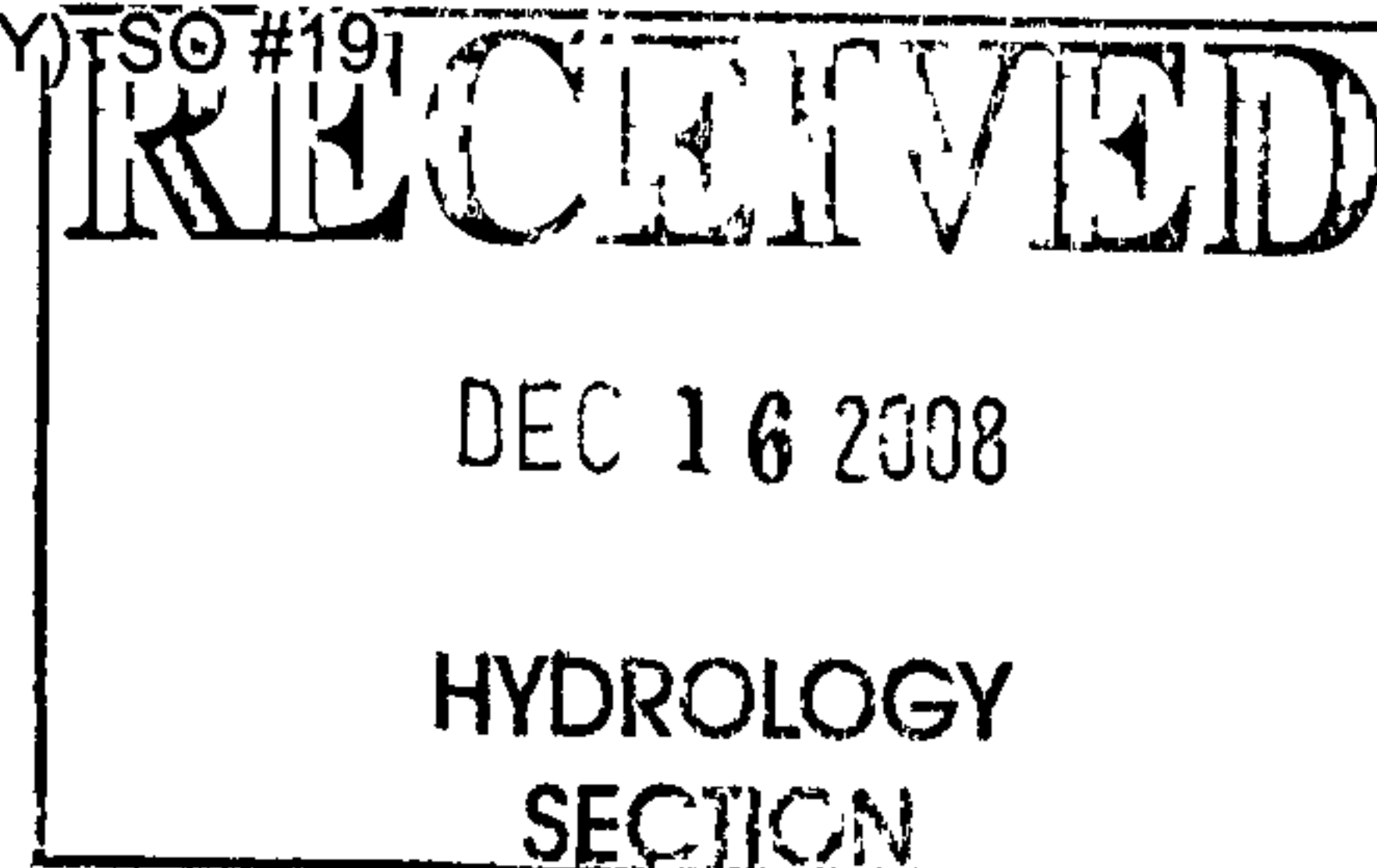
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☐ S. DEV. PLAN FOR SUB'D APPROVAL
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☐ SECTOR PLAN APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) SO #19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 12/16/2008 BY: JEFFREY G. MORTENSEN



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 16, 2000

Jeff Mortensen, PE
Jeff Mortensen & Associates, Inc
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Blanc Warehouse Grading and Drainage Plan
Engineer's Stamp dated 9-8-00 (G15/D7)

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 9-11-00, the above referenced site is approved for Grading Permit and Paving Permit.

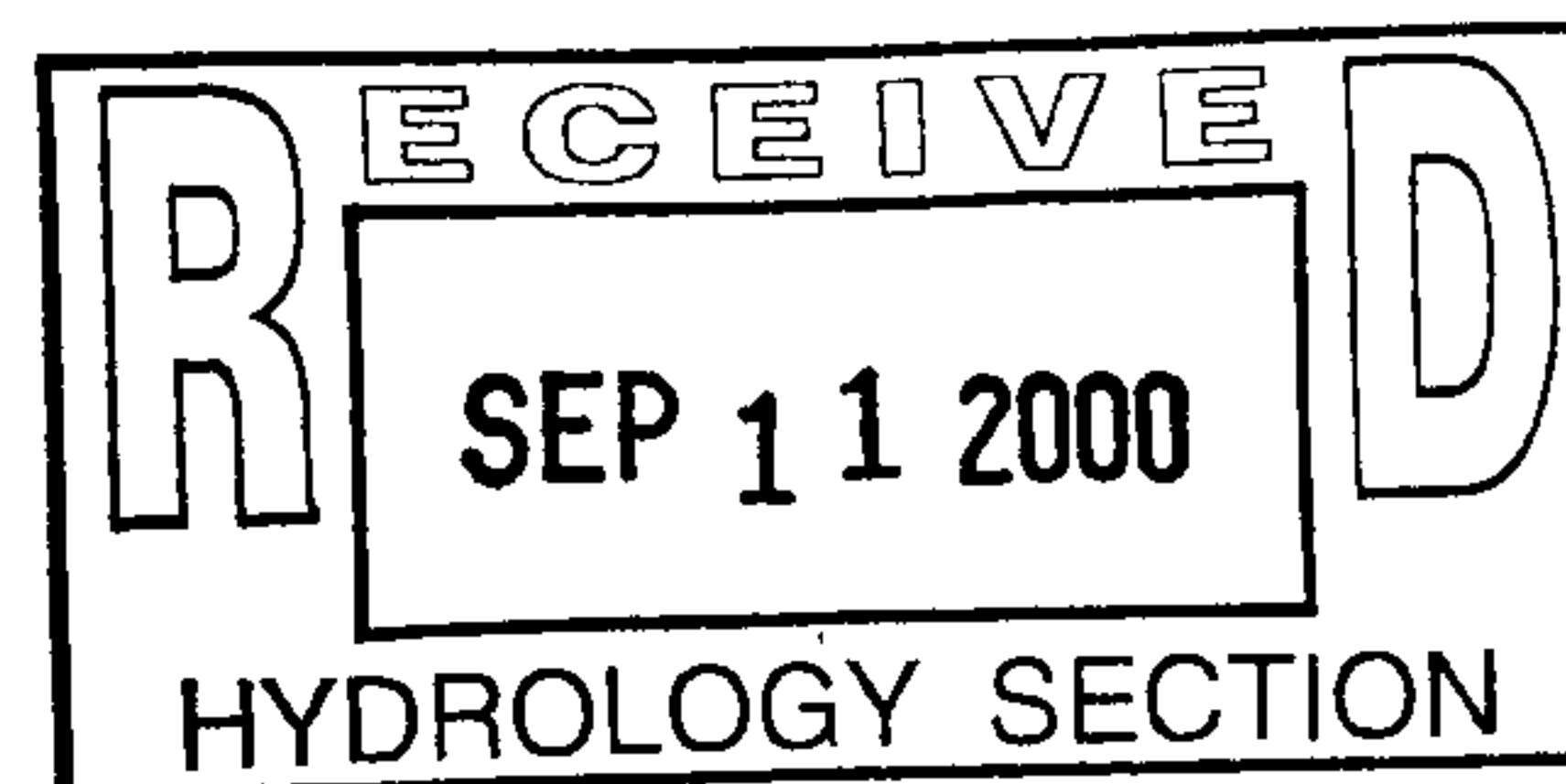
Please submit a certified as-built for our records.

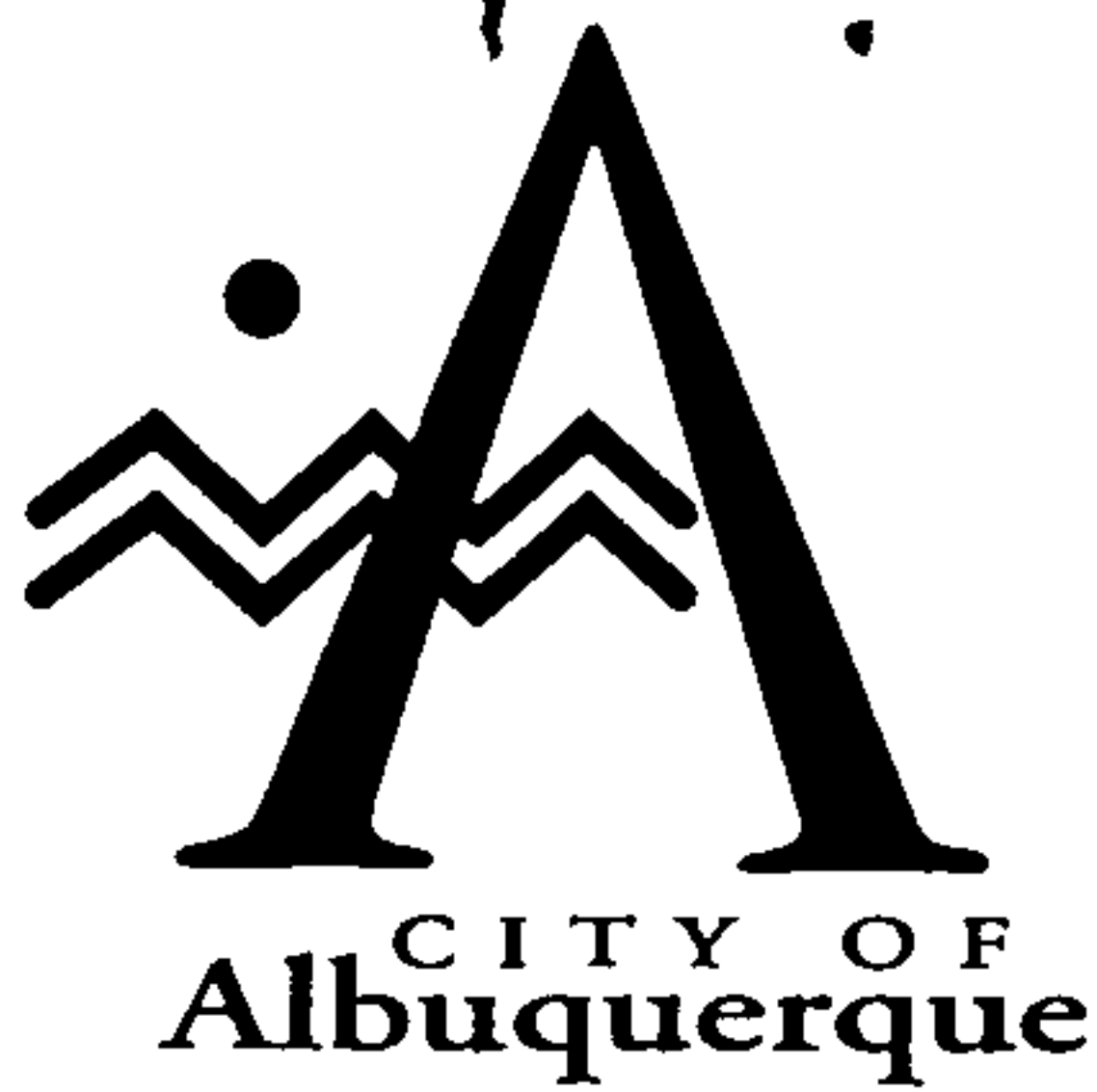
If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: file

DRAINAGE INFORMATION SHEET**PROJECT TITLE:** Blanc Warehouse / SAD 216 Coordination **ZONE ATLAS/DRNG. FILE #:** G15/D7**DRB #:** **EPC #:** **WORK ORDER #:****LEGAL DESCRIPTION:** Tract B-2, Lands of J.R. Nance**CITY ADDRESS:** Carmony Rd. NE/Yale Blvd. NE/ Alexander Blvd. NE**ENGINEERING FIRM:** Jeff Mortensen & Associates, Inc.**CONTACT:** Jeffrey A. Peterson**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505)345-4250**OWNER:** David Blanc**CONTACT:** David Blanc**ADDRESS:** 202 Central Ave. SE**PHONE:** (505) 243-4345**ARCHITECT:** N/A**CONTACT:** Engineer**ADDRESS:****PHONE:** (505)345-4250**SURVEYOR:** Jeff Mortensen & Associates, Inc.**CONTACT:** Charles Cala**ADDRESS:** 6010-B Midway Pk. N.E., Albuquerque, NM 87109**PHONE:** (505) 345-4250**CONTRACTOR:** Bradbury Stamm**CONTACT:** Roger Lueck**ADDRESS:** 3701 Paseo Del Norte NE, Alb., NM 87184**PHONE:** 328-0996**TYPE OF SUBMITTAL:****CHECK TYPE OF APPROVAL SOUGHT:****DRAINAGE REPORT**☒ **DRAINAGE PLAN****CONCEPTUAL GRADING & DRAINAGE
PLAN**☒ **GRADING PLAN****EROSION CONTROL PLAN****ENGINEER'S CERTIFICATION**☒ **OTHER****** *Update to facilitate connection to SAD 216***PRE-DESIGN MEETING:****YES****NO****COPY PROVIDED****SKETCH PLAT APPROVAL****PRELIMINARY PLAT APPROVAL****S. DEV. PLAN FOR SUB'D APPROVAL****S. DEV. PLAN FOR BLDG. PERMIT APPROVAL****SECTOR PLAN APPROVAL****FINAL PLAT APPROVAL****FOUNDATION PERMIT APPROVAL****BUILDING PERMIT APPROVAL****CERTIFICATE OF OCCUPANCY APPROVAL**☒ **GRADING PERMIT APPROVAL**☒ **PAVING PERMIT APPROVAL****S.A.D. DRAINAGE REPORT****DRAINAGE REQUIREMENTS****OTHER****(SPECIFY)****DATE SUBMITTED:** 09/11/00**BY:** Jeffrey A. Peterson, EI



August 5, 1997

Martin J. Chávez, Mayor

Graeme Means
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: TIPP'S EQUIPMENT (G15-D7). ENGINEER'S CERTIFICATION FOR
CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION DATED
JULY 25, 1997,**

Dear Mr. Means:

Based on the information provided on your July 25, 1997 submittal, the above referenced project is approved for Certificate of Occupancy.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



Lisa Ann Manwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

xc: Rick Murphey
Scott Prickett

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



This Drainage Covenant, between Industry One, Ltd. a New Mexico corporation ("Owner"), whose address is 202 Central Avenue, S.E. #104, Albuquerque, NM **, and the City of Albuquerque, New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the owner of certain real property described as: Tract B-2 Land of J.R. Nance (Sec 2, T.10N., R.3E., NMPM Bernalillo County, NM in Bernalillo County, New Mexico (the "Property"). Said plat was filed on 2/12/86 in Book C29 Page 123 in the records of the Bernalillo County Clerk of Bernalillo County, New Mexico. Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain Drainage Facilities on the Property, and the parties wish to enter into this Agreement to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following "Drainage-Facility" within the Property at Owner's sole expense in accordance with the standards, plans and specifications approved by the City pursuant to Drainage File No. G-15/D7: Temporary retention pond within above referenced property as shown on the grading and drainage plan for Tipps Equipment with Engineer's seal dated 08-01-1996.

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to the Owner requiring the Owner to construct or repair the Drainage Facility within --30-- days ("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

(Approved by Legal Dept.
as to form only 06/90)

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's repair or maintenance following notice to the Owner as required in this agreement or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City.

8. Indemnification. Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney's fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give direction or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Agreement may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer, or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this agreement shall be construed to relieve the Owner, his heirs, assigns, and successors from an assessment against Owner's Property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of given formal written notice to the Owner, Owner's address is:

Mr. David W. Blanc, President	copies of notices to:
Industry One, Ltd.	David Campbell, Esq.
202 Central Avenue, SE #104	Vogel & Campbell, PC
Albuquerque, New Mexico 87102	6100 Uptown Blvd NE, Suite 500, Albuquerque, NM 87110

Notice may be given to the Owner either in person or by mailing the notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three days after the notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by given written notice of the change by Certified Mail, return receipt requested, to the City Public Works Department, P.O. Box 1293, Albuquerque, New Mexico, 87103.

12. Term. This Agreement shall continue until terminated by the City pursuant to Section 9 above.

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED

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5118

(Approved by Legal Dept.
as to form only 06/90)

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13. Binding on Owner's Property. The covenants and obligations of the Owner said forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running the Owner's Property until released by the City.

14. Entire Agreement. This Agreement contains the entire agreement of the parties and supercedes any and all other agreements or understanding, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

OWNER: Industry One, Ltd.
a New Mexico corporation
By: [Signature]
Its: President
Dated: 10/31/96

STATE OF New Mexico)
COUNTY OF Bernalillo) ss

The foregoing instrument was acknowledged before me this 31st day of October, 1996, [by name of person:] David W. Blanc, President, [title or capacity, for instance "president" or "owner":] for Industry One, Ltd. a New Mexico corporation.

[Signature]
Notary Public

My Commission Expires:
3/12/99

CITY OF ALBUQUERQUE:

Approved:

By: [Signature]
Title: For the City Engineer
Dated: 11-22-96

(EXHIBIT A ATTACHED)

(Approved by Legal Dept.
as to form only 06/90)



EXHIBIT 'A'

T 6' ASPHALTIC
RUNDOWN PER
-C-

WORK PERMIT FILED
BK. BCR 92-98
DOC. # 92121963

HDPE

FOUND REBAR WITH
CAP - LS 407:-

FOUND REBAR
CAP "LS 403" WITH

ALEXANDER

BASIN
'B'

5118

N.E. (S.A.D.)
(TC39.4)

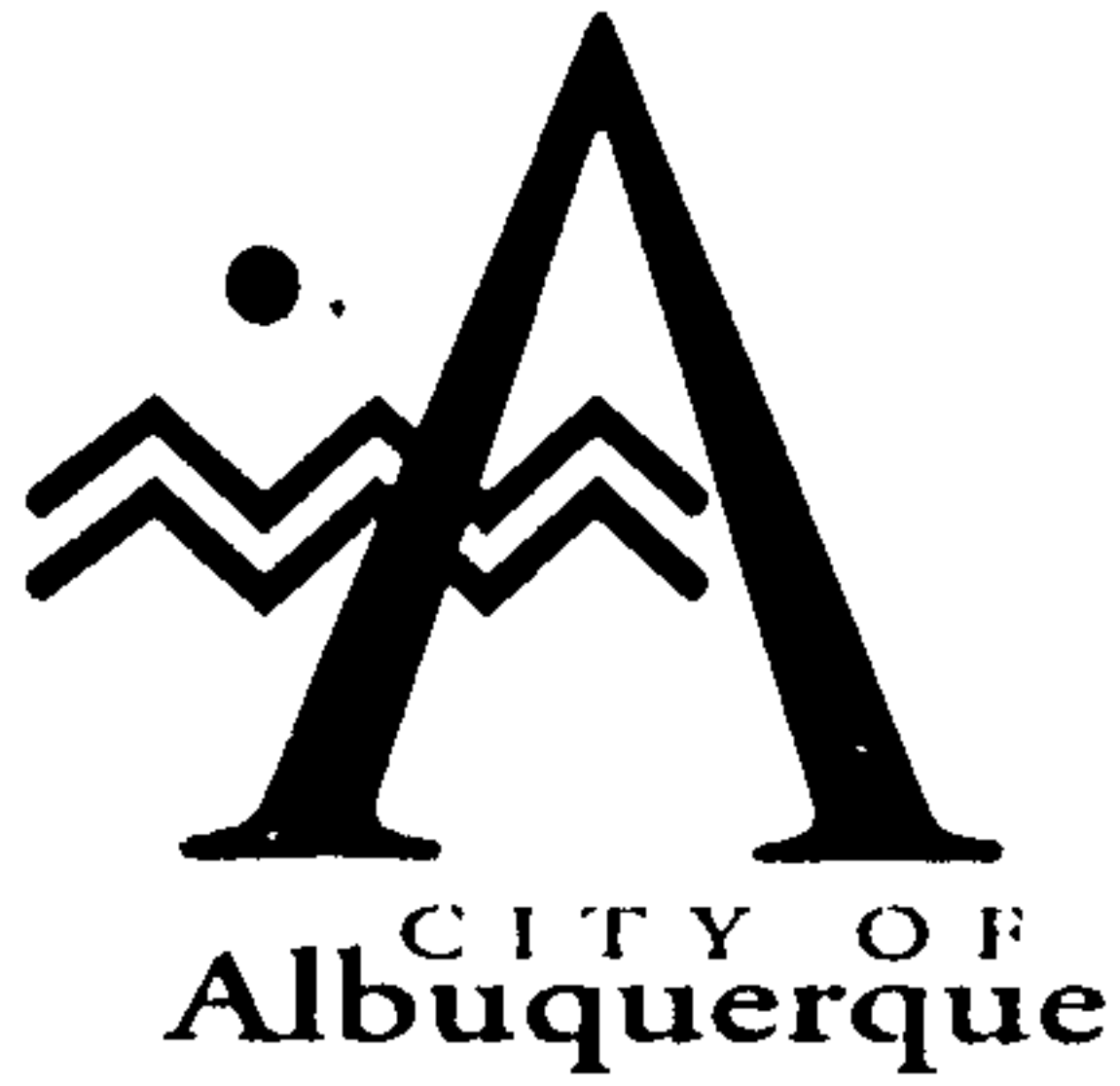
TRACT B-2
LAND OF J.R. NANCE
3 603 AC.±, 156,954 SQ. FT ±

PROPOSED BUILDING
FF = 5041.00

PROPOSED
FF = 504

40

51



August 5, 1997

Martin J. Chávez, Mayor

Graeme Means
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

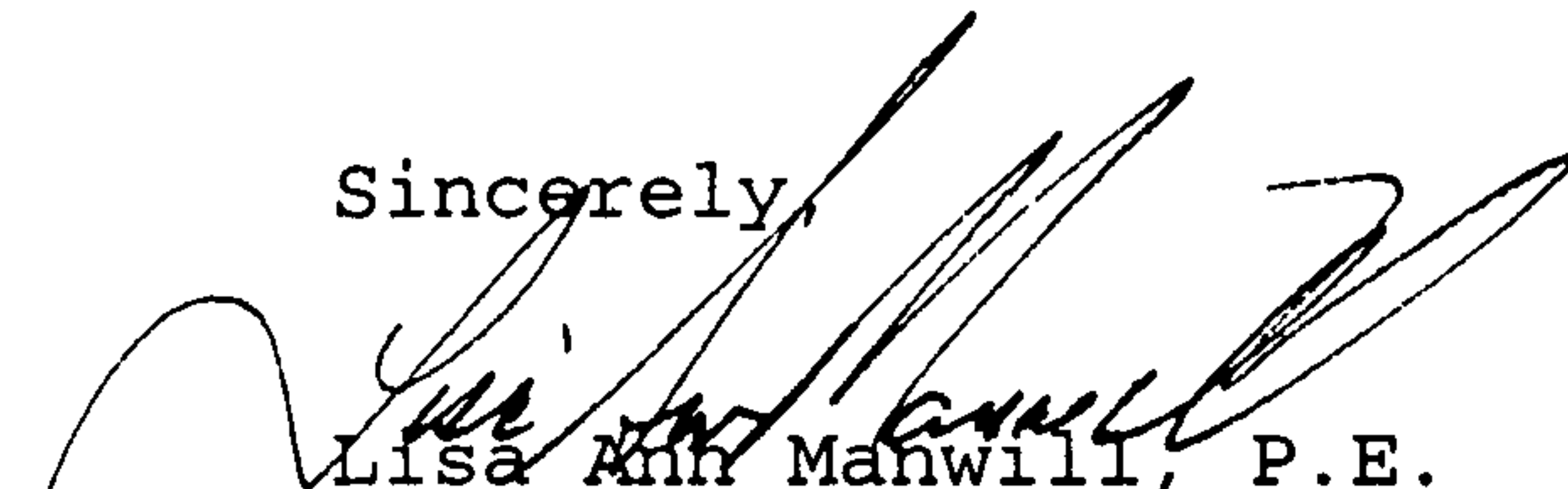
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Sincerely,



Lisa Ann Mahwill, P.E.
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103



60473

PROJECT TITLE: TIPP'S EQUIPMENTZONE ATLAS/DRNG. FILE #: G15/D7

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: TRACT B-2, LANDS OF J.R. NANCE

CITY ADDRESS:

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC.CONTACT: GRAEME MEANSADDRESS: 6010-B MIDWAY PARK BLVD N.E.PHONE: 345-4250OWNER: CONTACT ARCHITECT

CONTACT:

ADDRESS:

PHONE:

ARCHITECT: HOLMES SABATINI & ASSOC.CONTACT: SCOTT PRICKETTADDRESS: 202 CENTRAL S.E. WEST COURTYARDPHONE: 241-3105SURVEYOR: JEFF MORTENSEN & ASSOCIATESCONTACT: CHUCK CALA

ADDRESS:

PHONE: 345-4250CONTRACTOR: KLINGER CONSTRUCTORSCONTACT: RICK MURPHEYADDRESS: 8701 WASHINGTON NEPHONE: 822-9990

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

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☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

XC: RICK MURPHEY
SCOTT PRICKETT

JUL 28 1997

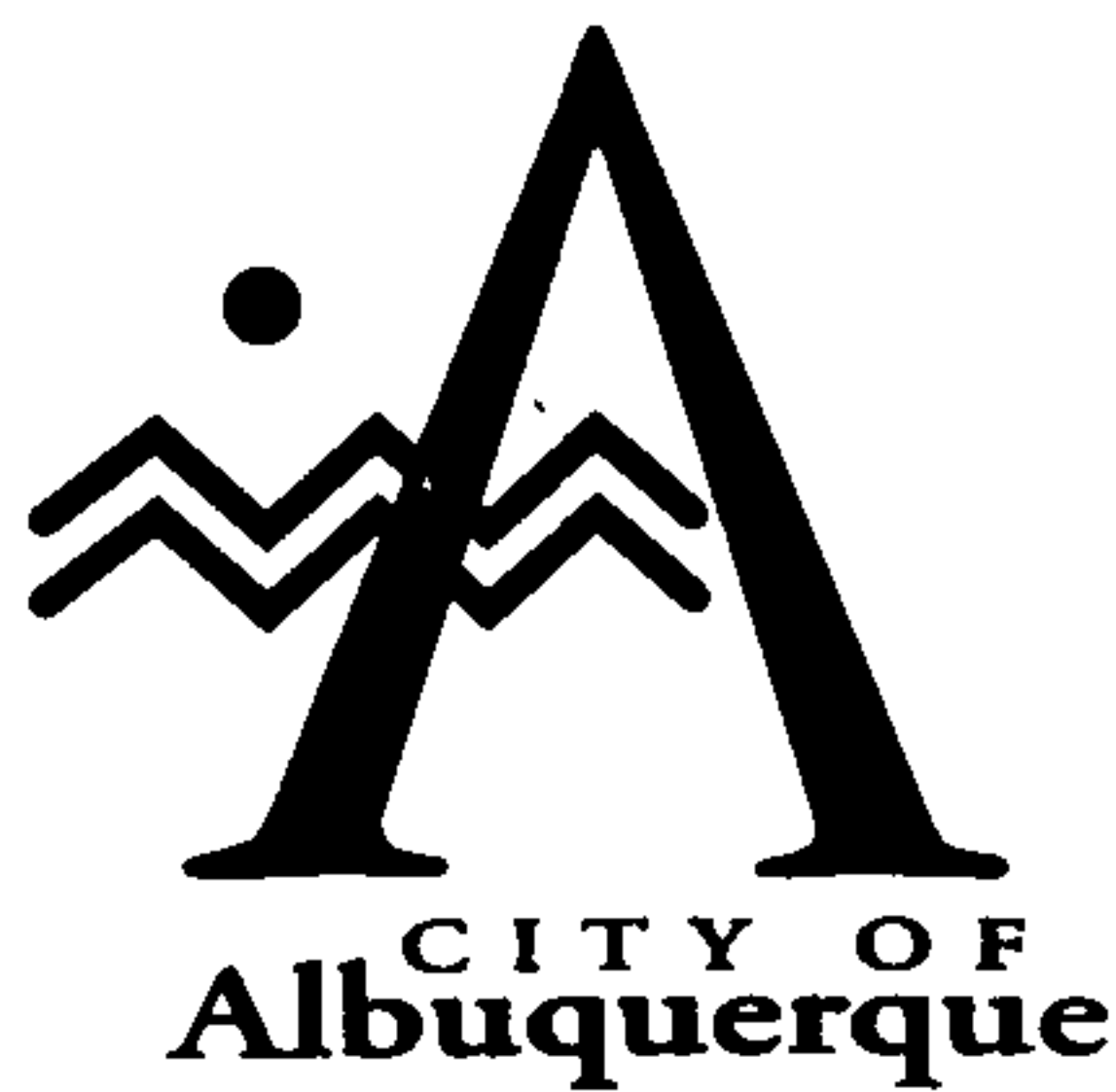
HYDROLOGY SECTION

DATE SUBMITTED:

07/28/97

BY:

Graeme Means



December 12, 1996

Martin J. Chávez, Mayor

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: REVISED DRAINAGE PLAN FOR TIPPS EQUIPMENT (G15-D7) REVISION
DATED 12/3/96.**

Dear Mr. Mortensen:

Based on the information provided on your December 4, 1996 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

Please advise your client that once the SAD 216 facilities are available. It will be their responsibility to tie onto the facilities.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

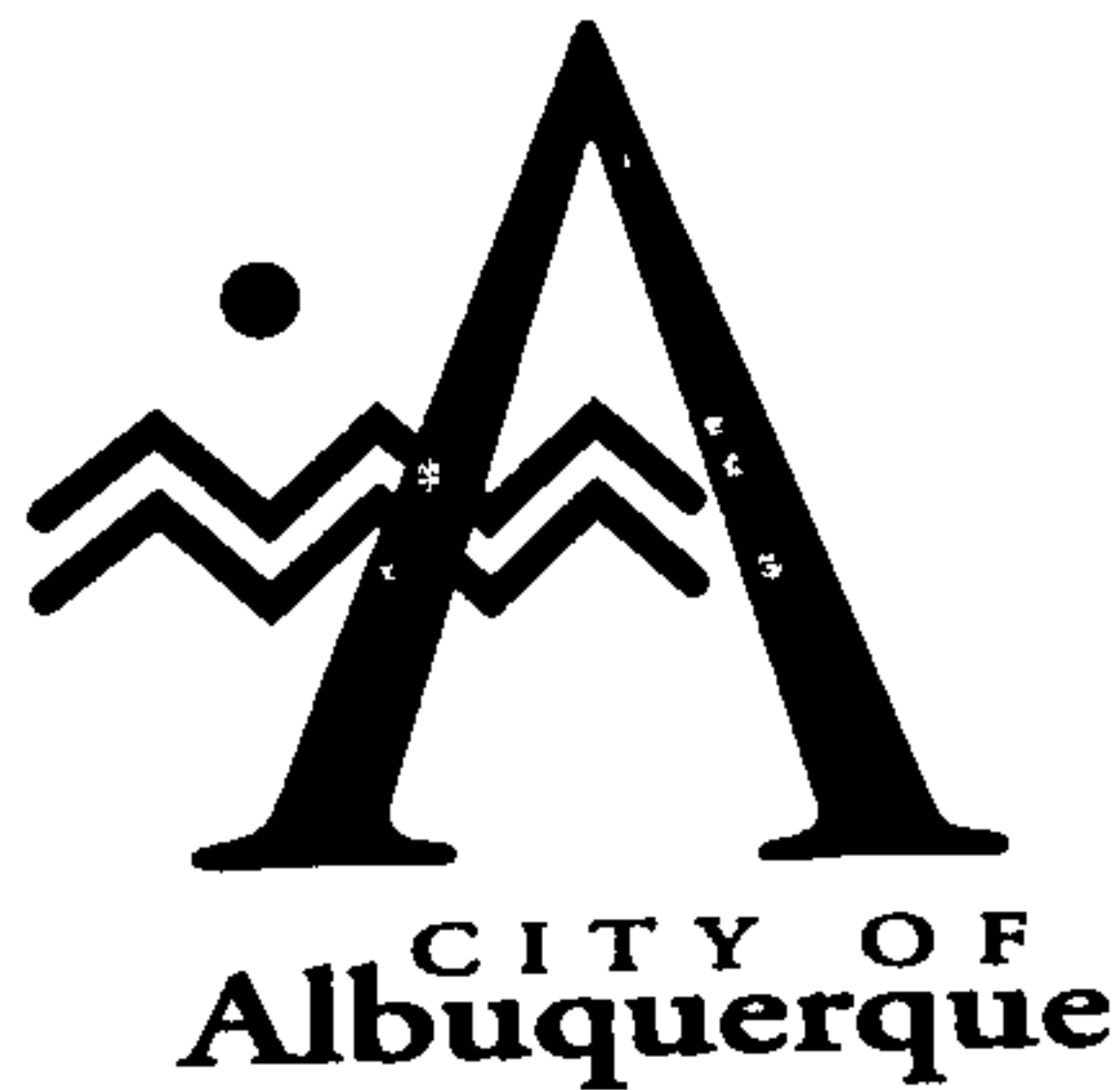
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

Good for You, Albuquerque!





P.O. Box 1293 Albuquerque, NM 87103

August 20, 1996

Martin J. Chávez, Mayor

J. Graeme Means
Jeff Mortensen & Assoc.
6010-B Midway Park Blvd NE
Albuquerque, NM 87109

RE: GRADING & DRAINAGE PLAN FOR TIPPS EQUIPMENT (G-15/D7)
RECEIVED AUGUST 2, 1996 FOR BUILDING PERMIT
ENGINEER'S STAMP DATED 08-01-96

Dear Mr. Means:

Based on the information included in the submittal referenced above, City Hydrology approves the grading & drainage plan for building permit.

Include a copy of the grading & drainage plan in the set of construction documents that will be submitted to Code Administration for the Building Permit.

Execute a drainage covenant for the temporary retention pond and submit it to the City for processing & recording.

Engineer's Certification of grading & drainage per DPM checklist must be accepted by City Hydrology before any Certificate of Occupancy will be released.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.
Civil Engineer, Hydrology

c: Andrew Garcia
Fred Aguirre

Good for You, Albuquerque!



CONTRACT CONTROL FORM

PRELIMINARY REVIEW

Project # 2720

Contact Person Shun
Phone No. 768-2505

CCN # _____

New or ~~Ext.~~ # _____

Type of Agreement : Drainage Covenant

Description/Project: Kipps Equipment Co

Public Works/Div.: Eng / Design

Developer: Industry one Ltd.

Contract Amount \$ 0 - SIA Contract Period: _____ - _____

Contract Amount \$ _____ SW'S Contract Period: _____ - _____

Project Completed Date: _____

DRAFT CONTRACT:

Rec'd by Legal: _____ Rejected/Returned to Dept.: _____ / _____

Returned to Legal: _____ / _____ Approved: _____ Initials: _____

FINANCIAL GUARANTY:

Letter of Credit No.: _____ Date: _____ Attached: Yes___ No___ Initial_____

Other: Type _____ Date: _____ Attached: Yes___ No___ Initial_____

FINAL CONTRACT REVIEW

APPROVALS REQUIRED:

	Date Delivered	Returned to Dept.	Approved By	Approval Date:
Purchasing:	_____	_____	_____	_____
Asst. City Attorney:	_____	_____	_____	_____
CIP:	_____	_____	_____	_____
City Attorney:	_____	_____	_____	_____
CAO:	_____	_____	_____	_____
Other: <u>Hydrology</u>	<u>11-22-96</u>	<u>TSL</u>	<u>JAC</u>	<u>11-22-96</u>
Council:	EC No.: _____	Approved: _____	Date: _____	

DISTRIBUTION:

	Date:	By:
User Department	_____	_____
Vendor	_____	_____
City Clerk	_____	_____
Treasury	_____	_____
_____	_____	_____

960474

PROJECT TITLE: TIPPS EQUIPMENTZONE ATLAS/DRNG. FILE #: G-15/D7

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: TRACT B-2, LANDS OF J. R. NANCECITY ADDRESS: YALE BVD. N.E.ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: J. GRIEME MEANSADDRESS: 6010-B MIDWAY PARK BVD S.E.PHONE: 345-4250OWNER: CONTACT ARCHITECT

CONTACT:

ADDRESS:

PHONE:

ARCHITECT: HOLMES SARATINI & ASSOC.CONTACT: SCOTT PRICKETTADDRESS: 202 CENTRAL S.E. WEST
COUNTY

PHONE:

SURVEYOR: CLINT SHERRILL & ASSOC.CONTACT: CLINT SHERRILLADDRESS: 730 SAN MATEO S.E.PHONE: 256-7364

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

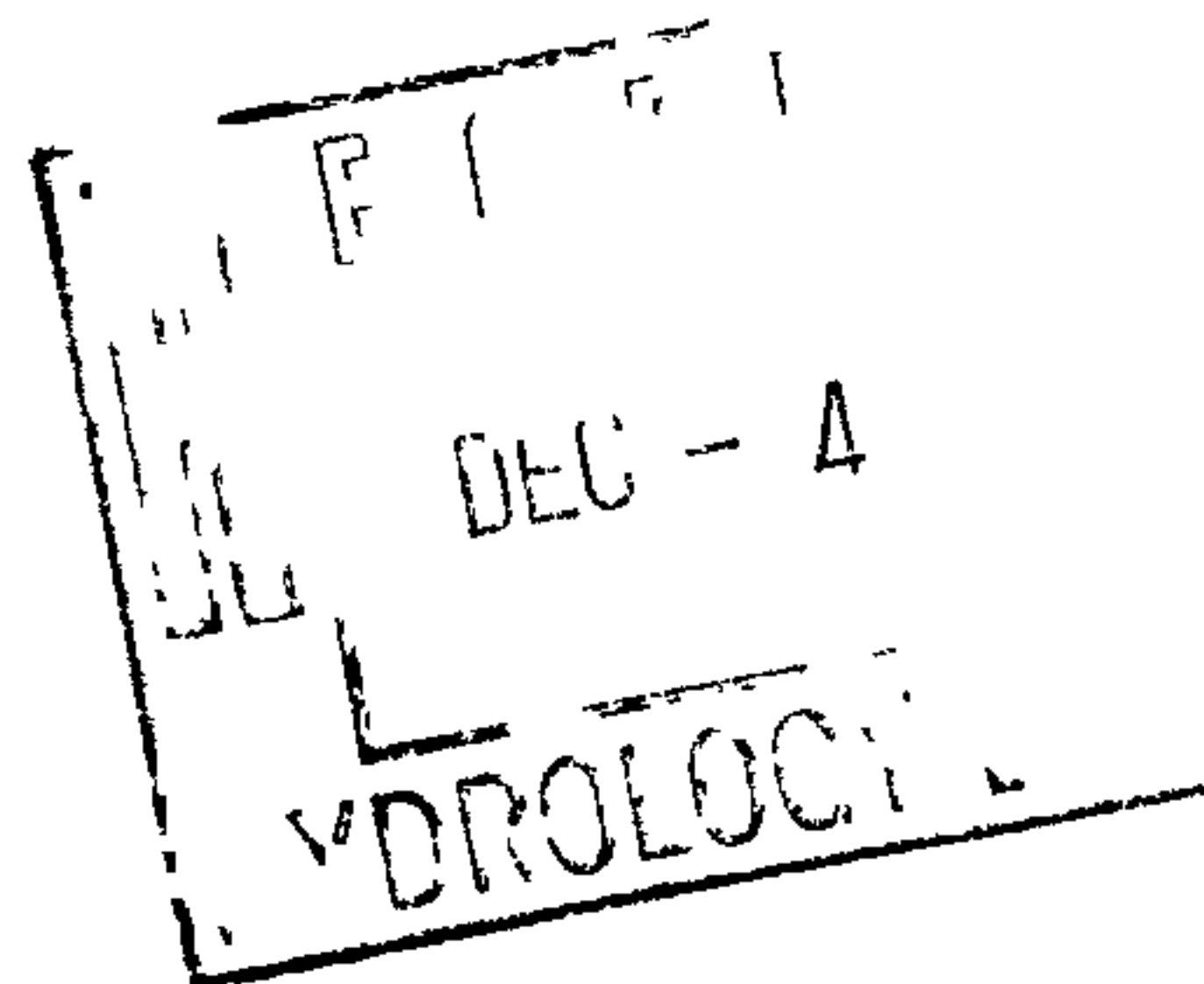
TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☒ DRAINAGE PLAN☐ CONCEPTUAL GRADING & DRAINAGE PLAN☒ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATION☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ S. DEV. PLAN FOR SUB'D. APPROVAL☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL☐ SECTOR PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ FOUNDATION PERMIT APPROVAL☒ BUILDING PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ GRADING PERMIT APPROVAL☐ PAVING PERMIT APPROVAL☐ S.A.D. DRAINAGE REPORT☐ DRAINAGE REQUIREMENTS☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY PROVIDED

XC: SCOTT PRICKETT

DATE SUBMITTED:

12/4/1996

BY:

J. GRIEME MEANS

FREE OPEN AREAS OF NEENAH GRATES (Continued)

CATALOG NO.	TYPE	SQ. FT. OPEN	CATALOG NO.	TYPE	SQ. FT. OPEN	CATALOG NO.	TYPE	SQ. FT. OPEN
R-4860.....	C.....	2.7	R-4995-A2.....	C.....	0.3	R-6450-HG.....	G.....	1.3
R-4865.....	D.....	4.0	R-4996-A1.....	B.....	0.2	R-6450-JG.....	G.....	1.9
R-4870.....	B.....	3.1		Diag. Bar	0.3	R-6450-KG.....	G.....	2.7
R-4871.....	B.....	2.7		Convex		R-6670-1.....	A or C.....	0.3
R-4872-A.....	B.....	4.7	R-4996-A2.....	C.....	0.3	R-6670-A.....	A or C.....	0.3
R-4880.....	C.....	2.3	R-4996-A3.....	B.....	0.2	R-6670-A1.....	A or C.....	0.4
R-4880-A.....	A.....	2.4	R-4997-A.....	C.....	0.3	R-6670-B.....	A or C.....	0.4
R-4880-C.....	C.....	2.2	R-4998.....	C.....	0.9	R-6670-B1.....	A or C.....	0.8
R-4881.....	A.....	4.3	R-4999-F.....	A.....	1.2	R-6670-B2.....	A or C.....	0.6
R-4882.....	A.....	4.0		B.....	1.4	R-6670-C.....	A or C.....	0.9
R-4884.....	C.....	3.3		C.....	1.6	R-6670-CA.....	A or C.....	0.9
R-4886.....	C.....	5.1	R-4999-G.....	A.....	1.4	R-6670-C1.....	A or C.....	1.0
R-4888.....	A.....	5.5		B.....	1.6	R-6670-D.....	A or C.....	1.4
R-4889.....	C.....	6.4		C.....	1.4	R-6670-E.....	A or C.....	1.8
R-4890.....	C.....	3.4	R-4999-H.....	A.....	1.6	R-6670-E1.....	A or C.....	1.8
R-4890-A.....	C.....	5.3		B.....	2.2	R-6670-E2.....	A or C.....	2.1
R-4890-2.....	A.....	5.4		C.....	1.8	R-6670-F.....	A or C.....	2.8
R-4891.....	A.....	3.8	R-4999-J.....	A.....	1.6	R-6670-G.....	A or C.....	3.9
R-4891-A.....	A.....	4.0		B.....	2.0	R-6670-H.....	A or C.....	3.8
R-4892-A.....	B.....	4.1		C.....	2.2	R-6671-A.....	B.....	1.0
R-4893.....	C.....	6.0	R-4999-K.....	A.....	2.2	R-6671-1A.....	B.....	0.3
R-4893-B.....	C.....	1.0		B.....	2.4	R-6671-2.....	A.....	0.7
R-4893-B1.....	A.....	6.1		C.....	1.9	R-6671-A1.....	A.....	1.3
R-4893-C.....	D.....	3.6	R-5901-A.....	G.....	0.2	R-6671-A2.....	A.....	1.0
R-4894.....	C.....	3.2	R-5901-B.....	G.....	0.3	R-6671-A3.....	A.....	2.5
R-4895-2.....	A.....	6.4	R-5901-C.....	G.....	0.5	R-6671-B.....	A.....	1.9
R-4896-1.....	C.....	8.2	R-5901-D.....	G.....	0.7	R-6671-C.....	C.....	1.6
R-4896-5.....	A.....	4.7	R-5901-E.....	G.....	1.1	R-6671-C1.....	A.....	2.9
R-4897.....	C.....	6.4	R-5901-F.....	G.....	1.6	R-6671-C2.....	A.....	3.4
R-4937.....	B.....	0.1	R-5901-G.....	G.....	2.0	R-6671-D.....	C.....	2.5
R-4938-A.....	A.....	1.2	R-5901-H.....	G.....	2.5	R-6671-E.....	A.....	1.9
R-4938-B.....	A.....	0.2	R-5901-J.....	G.....	3.7	R-6671-F.....	A.....	2.2
R-4939-A.....	K.....	3.3 sq. in.	R-5901-K.....	G.....	4.9	R-6671-G.....	A.....	3.0
R-4939-B.....	K.....	4.7 sq. in.	R-5903-A.....	G.....	0.2	R-6671-H.....	A.....	4.1
R-4976-1.....	A.....	0.9	R-5903-B.....	G.....	0.3	R-6672-1.....	A or C.....	0.4
R-4976-1.....	B.....	0.9	R-5903-C.....	G.....	0.5	R-6672-A.....	A or C.....	0.3
R-4976-2.....	A.....	1.5	R-5903-D.....	G.....	0.5	R-6672-B.....	A or C.....	0.5
R-4976-2.....	B.....	1.5	R-5903-E.....	G.....	1.1	R-6672-C.....	A or C.....	0.8
R-4976-3.....	A.....	2.8	R-5903-F.....	G.....	2.0	R-6672-D.....	A or C.....	1.1
R-4976-3.....	B.....	2.8	R-5903-G.....	G.....	1.5	R-6672-E.....	A or C.....	2.2
R-4976-4.....	A.....	3.3	R-5903-H.....	G.....	2.7	R-6672-F.....	A or C.....	2.7
R-4976-4.....	B.....	3.3	R-5903-J.....	G.....	3.7	R-6672-G.....	A or C.....	2.2
R-4976-5.....	A.....	5.2	R-5903-K.....	G.....	4.8	R-6672-H.....	A or C.....	1.9
R-4976-5.....	B.....	5.2				R-6672-J.....	A or C.....	2.4
R-4977-1.....	A.....	1.5				R-6672-K.....	A or C.....	2.5
R-4977-1.....	B.....	1.5				R-6672-L.....	A or C.....	2.9
R-4977-2.....	A.....	2.0	R-6020.....	G.....	1.0	R-6672-M.....	A or C.....	3.0
R-4977-2.....	B.....	2.0	R-6040.....	G.....	1.3	R-6672-Q.....	A or C.....	9.3
R-4977-3.....	A.....	3.7	R-6070.....	G.....	1.5	R-6673-A.....	A.....	0.6
R-4977-3.....	B.....	3.7	R-6077.....	G.....	2.5	R-6673-B.....	A.....	1.7
R-4977-4.....	A.....	5.3	R-6080.....	G.....	2.7	R-6673-C.....	A.....	1.2
R-4977-4.....	B.....	5.3	R-6110.....	G.....	0.9	R-6673-D.....	A.....	2.3
R-4977-5.....	A.....	8.8	R-6111.....	G.....	1.2	R-6673-E.....	A.....	2.5
R-4977-5.....	B.....	8.8	R-6112.....	G.....	1.3	R-6673-J.....	A.....	2.6
R-4990-A.....	A.....	0.2	R-6113.....	G.....	0.9	R-6673-K.....	A.....	3.7
	B.....	0.3	R-6114.....	G.....	1.8	R-6673-L.....	A.....	5.3
	C.....	0.3	R-6115.....	G.....	1.7	R-6673-N.....	A.....	4.9
R-4990-B.....	A.....	0.3	R-6116.....	G.....	1.2	R-6673-O.....	A.....	4.9
	B.....	0.3	R-6117.....	G.....	1.8	R-6673-P.....	C.....	3.8
	C.....	0.3	R-6118.....	G.....	2.6	R-6673-Q.....	A.....	5.3
R-4990-C.....	A.....	0.3	R-6120.....	G.....	5.4			
	B.....	0.3	R-6130.....	G.....	0.8			
	C.....	0.4	R-6131.....	G.....	1.0			
R-4990-D.....	A.....	0.4	R-6132.....	G.....	1.3			
	B.....	0.5	R-6133.....	G.....	1.3			
	C.....	0.5	R-6134.....	G.....	1.5			
R-4990-E.....	A.....	0.6	R-6136.....	G.....	2.5			
	B.....	0.7	R-6137.....	G.....	2.7			
	C.....	0.5	R-6138.....	G.....	2.6			
R-4990-F.....	A.....	0.6	R-6352-A.....	G.....	0.4			
	B.....	0.7	R-6352-B.....	G.....	0.8			
	C.....	0.8	R-6352-D.....	G.....	0.7			
R-4990-G.....	A.....	0.7	R-6352-E.....	G.....	0.8			
	B.....	0.8	R-6352-G.....	G.....	1.3			
	C.....	0.7	R-6400-AO.....	G.....	0.3			
R-4990-H.....	A.....	0.8	R-6400-BO.....	G.....	0.8			
	B.....	1.1	R-6400-CO.....	G.....	1.8			
	C.....	0.9	R-6400-DO.....	G.....	1.2			
R-4990-J.....	A.....	0.8	R-6450-AG.....	G.....	0.2			
	B.....	1.0	R-6450-BG.....	G.....	0.2			
	C.....	1.1	R-6450-CG.....	G.....	0.4			
R-4990-K.....	A.....	1.1	R-6450-DG.....	G.....	0.5			
	B.....	1.2	R-6450-EG.....	G.....	0.7			
	C.....	0.9	R-6450-FG.....	G.....	0.1			
R-4995-A1.....	B.....	0.2	R-6450-GG.....	G.....	1.3			

Type K indicates "Special" grate style and is not among standard types as illustrated.

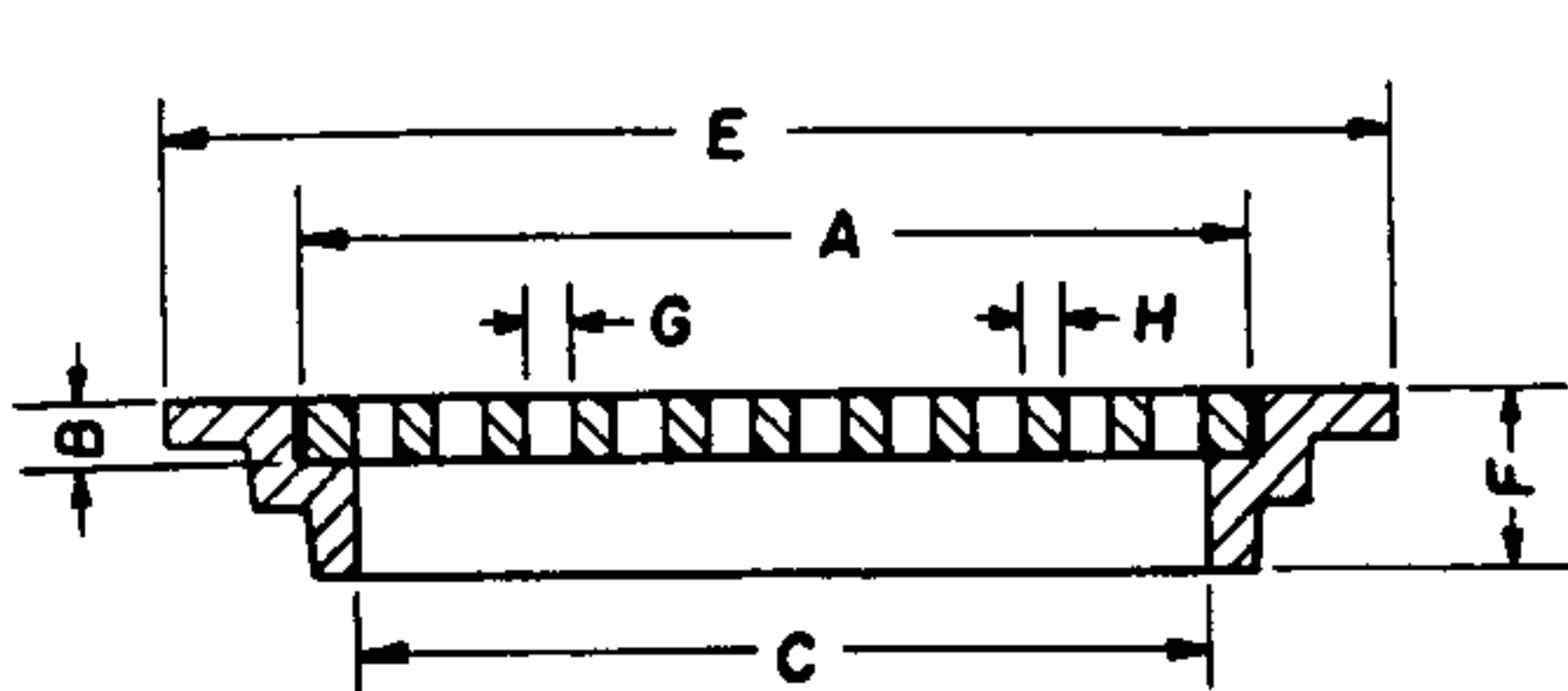
R-6670-3 Series Square and Rectangular Frames and Grates

Light and Heavy Duty — for Slab Construction

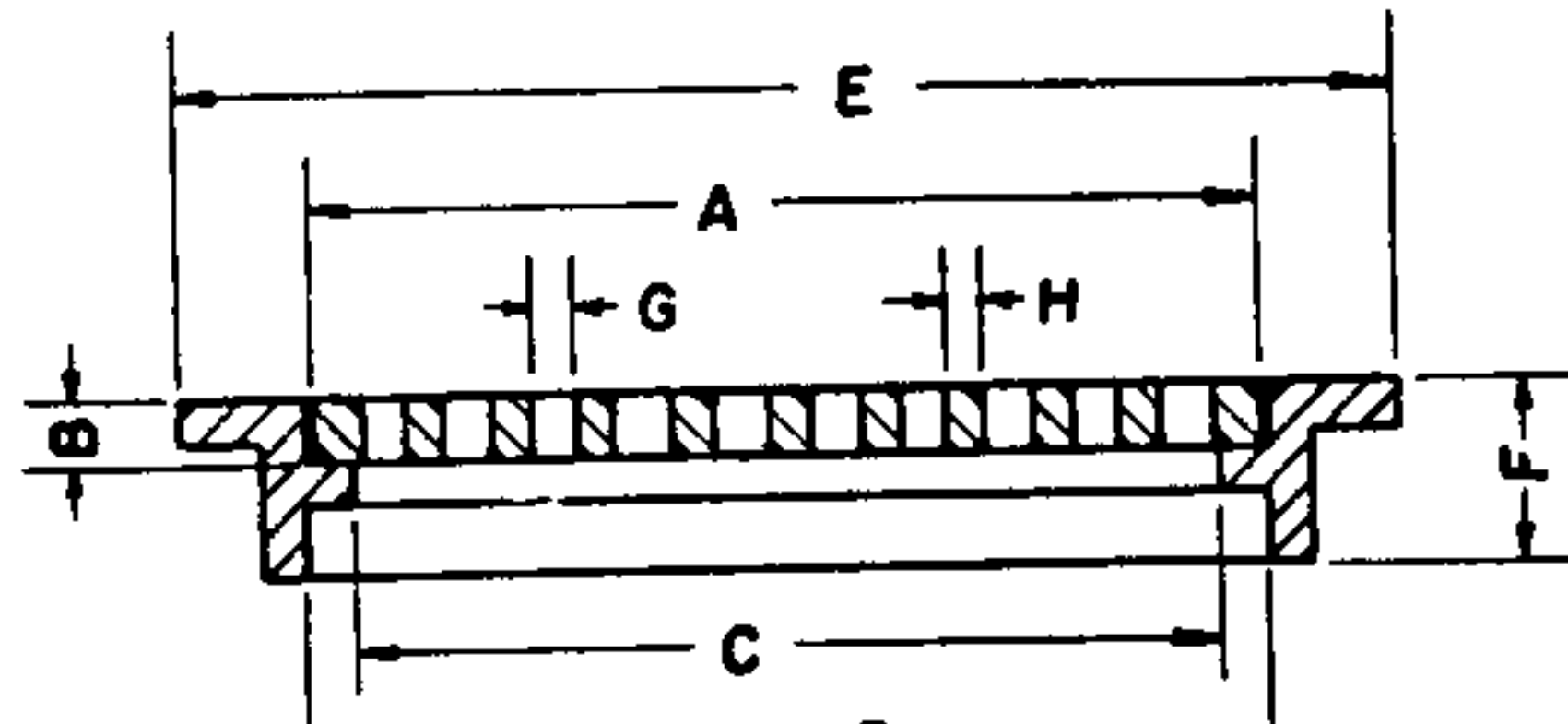
Suitable for drains in sidewalks, garages, laundries, service stations, bottling plants, industrial buildings, etc.

Specify: 1. Complete catalog number.

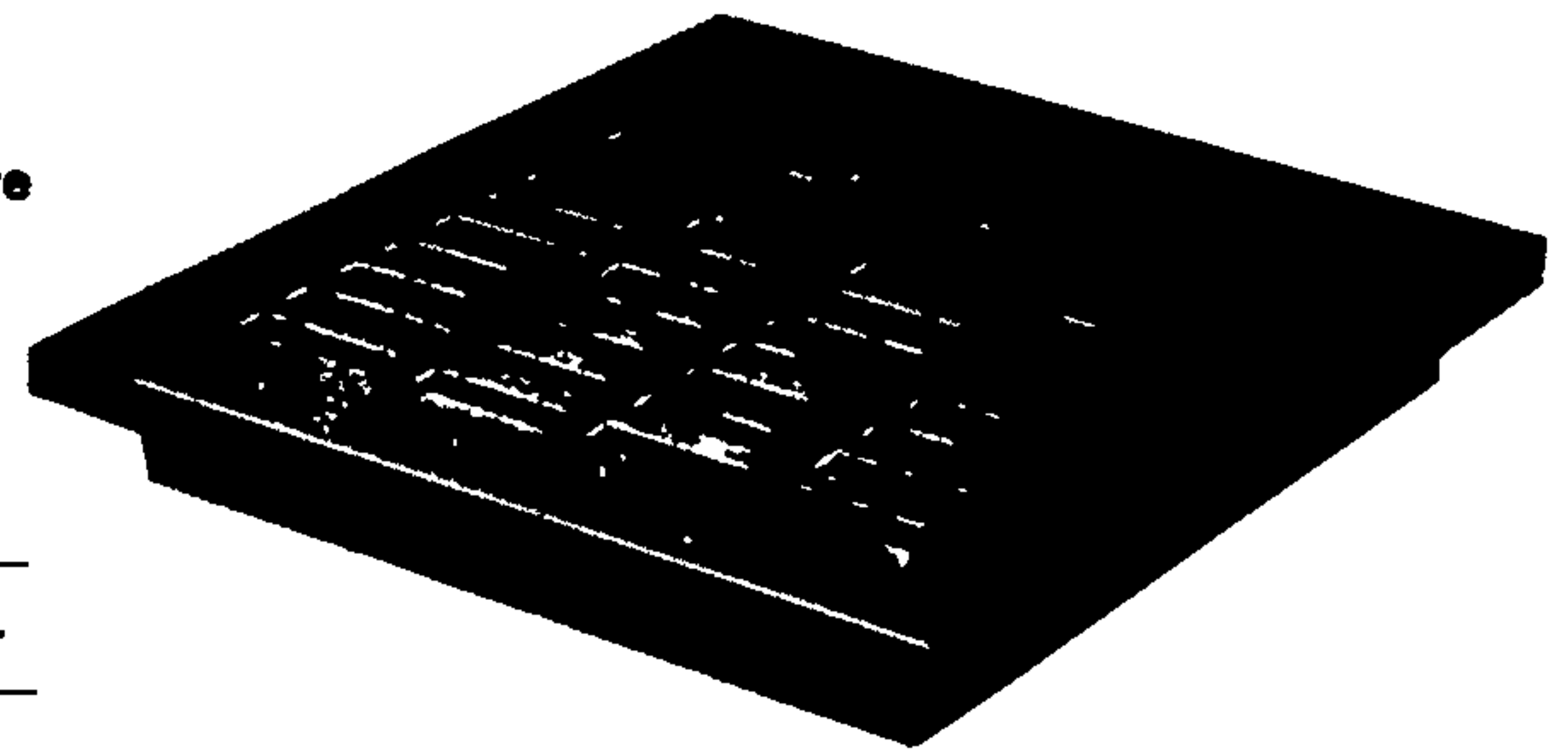
Illustrating
R-6670-A
 Frame and Grate



Frame Style Y



Frame Style W



Illustrating
R-6671-D Frame and Grate

Catalog No.	Dimensions in inches								Wt. Lbs.	Frame Type
	A	B	C	D	E	F	G	H		
Square—Light Duty										
R-6670-1	10¼ x 10¼	½	9¼ x 9¼	—	12½ x 12½	1¼	½ x 4	¾	30	Y
R-6670-A	12 x 12	¾	10 x 10	—	18½ x 18½	4	1 x 4½	1	70	Y
R-6670-A1	13½ x 13½	¾	11¼ x 11¼	—	15¾ x 15¾	1½	1 x 3	⅝	40	Y
R-6670-B	13 x 13	¾	12 x 12	—	15 x 15	3	1 x 3	⅝	55	Y
R-6670-B1	18 x 18	1½	16 x 16	18¼ x 18¼	22 x 22	4	¾ x 4⅝	¾	160	W
R-6670-B2	20 x 20	¾	18½ x 18½	—	24 x 24	4	¾ x 5¼	1	115	Y
R-6670-C	20 x 20	¾	18½ x 18½	—	24 x 24	4	1 x 5	1	120	Y
R-6670-CA	20 x 20	⅝	18½ x 18½	—	24 x 24	3	1 x 19½	1	125	Y
R-6670-C1	21¾ x 21¾	1½	20 x 20	22 x 22	26 x 26	4	¾ x 4	¾	190	W
R-6670-D	23½ x 23½	¾	22¼ x 22¼	—	28½ x 28½	4	1 x 4	1	160	Y
R-6670-E	25½ x 25½	¾	24 x 24	—	30 x 30	4	1 x 5	⅝	175	Y
R-6670-E1	27½ x 27½	1½	26 x 26	28 x 28	32 x 32	4	¾ x 7⅝	¾	255	W
R-6670-E2	30 x 30	¾	28 x 28	—	34 x 34	4	¾ x 8¾	1	215	Y
R-6670-F	32 x 32	¾	30 x 30	—	37 x 37	4	1 x 9	1	265	Y
R-6670-G*	38 x 38	¾	36 x 36	—	46 x 46	4	1 x 7¾	1	400	Y
R-6670-H*	37 x 37	1½	36 x 36	37½ x 37½	42 x 42	4	1 x 4⅞	1	440	W
Rectangular — Light Duty										
R-6671-1A	9 x 11	¾	8 x 10	—	12 x 14	4½	¾ x 7½	¾	35	Y
R-6671-2	14 x 20	1½	12 x 18	14¼ x 20¼	18 x 24	4	¾ x 5½	1	165	W
R-6671-A	14 x 26	¾	12 x 24	—	18 x 30	4	⅝ x 10	⅝	140	Y
R-6671-A1	18 x 32	¾	16 x 30	—	20 x 34	4	¾ x 4½	1	165	Y
R-6671-A2	19½ x 25½	1½	18 x 24	19¾ x 25¾	24 x 30	4	⅞ x 5¼	1	195	W
R-6671-A3	19¾ x 37¾	1½	18 x 36	20 x 38	24 x 42	4	¾ x 5	1	295	W
R-6671-B	20 x 50	¾	18 x 48	—	22 x 52	4	⅞ x 5½	⅝	270	Y
R-6671-C	26 x 32	⅝	24 x 30	—	30 x 36	4	⅝ x 5	1	210	Y
R-6671-C1	25¾ x 37¾	1½	24 x 36	26 x 38	30 x 42	4	1 x 5⅝	¾	310	W
R-6671-C2*	26 x 50	⅝	24 x 48	—	30 x 54	4	¾ x 7	1	300	Y
R-6671-D	28¾ x 31¾	¾	27 x 30	—	34 x 37	4	⅝ x 5	1	250	Y
R-6671-E*	29 x 38	⅝	27 x 36	—	34 x 43	4	⅝ x 5	1	315	Y
R-6671-F	32 x 35	⅝	30 x 33	—	37 x 40	4	⅝ x 5	1	275	Y
R-6671-G*	32 x 38	¾	30 x 36	—	37 x 43	4	⅝ x 5	1	325	Y
R-6671-H*	31½ x 49½	1½	30 x 48	31¾ x 49¾	36 x 54	4	1 x 5	1	425	W
Square — Heavy Duty										
R-6672-1	11⅞ x 11⅞	1⅞	10¾ x 10¾	—	16 x 16	3½	1½ x 1½	⅝	60	Y
R-6672-A	12¼ x 12¼	1	11½ x 11½	—	15 x 15	6	1⅞ x 10	1	87	Y
R-6672-B	13¾ x 13¾	1½	12 x 12	14 x 14	18 x 18	4	1 x 5½	1	120	W
R-6672-C	18 x 18	1½	16 x 16	—	24 x 24	4½	1¼ x 15½	¾	155	Y
R-6672-D	21¾ x 21¾	1½	20 x 20	22 x 22	26 x 26	4	1¼ x 3½	1	220	W
R-6672-E	23¾ x 23¾	1½	22 x 22	24 x 24	28 x 28	4	2¼ x 7⅞	¾	290	W
R-6672-F	25¾ x 25¾	1½	24 x 24	26 x 26	30 x 30	4	2⅞ x 7¼	¾	300	W
R-6672-G	27 x 27	2	25 x 25	—	33½ x 33½	4	1½ x 5	1	355	Y
R-6672-H	27½ x 27½	1½	26 x 26	28 x 28	32 x 32	4	1 x 5	1	315	W
R-6672-J	30 x 30	1¾	28 x 28	—	34 x 34	4	1½ x 6	1¼	440	Y
R-6672-K	31¾ x 31¾	1½	30 x 30	—	37 x 37	4	2 x 5	1	475	Y
R-6672-L*	38 x 38	2	34 x 34	—	42 x 42	4	1¾ x 3⅞	1½	815	Y
R-6672-M*	37 x 37	1½	36 x 36	37½ x 37½	42 x 42	4	1¾ x 3½	1½	820	W
R-6672-Q*Δ	56½ x 56½	1½	54 x 54	—	64 x 64	4½	1⅞ x 12¾	1¼	1820	Y
Rectangular — Heavy Duty										
R-6673-A	14 x 20	1½	12 x 18	14¼ x 20¼	18 x 24	4	¾ x 5½	1	165	W
R-6673-B	13½ x 25½	1½	12 x 24	13¾ x 25¾	18 x 30	4	1 x 4½	1	185	W
R-6673-C	19½ x 25½	1½	18 x 24	19¾ x 25¾	24 x 30	4	1 x 6⅞	1	250	W
R-6673-D	19¾ x 31¾	1½	18 x 30	20 x 32	24 x 36	4	2 x 5	1	250	W
R-6673-E	19¾ x 37¾	1½	18 x 36	20 x 38	30 x 42	4	2 x 5	1	280	W
R-6673-J	25½ x 31½	1½	24 x 30	25¾ x 31¾	30 x 36	4	1⅞ x 5	1	370	W
R-6673-K	25¾ x 37¾	1½	24 x 36	26 x 38	30 x 42	4	1⅞ x 5	1	425	W
R-6673-L*	25¾ x 49¾	1½	24 x 48	26 x 50	30 x 54	4	1⅞ x 6⅜	1	580	W
R-6673-N*	31¾ x 37¾	1½	30 x 36	32 x 38	36 x 42	4	1⅞ x 4⅝	1	500	W
R-6673-O*	31½ x 49½	1½	30 x 48	31¾ x 49¾	36 x 54	4	1½ x 4¾	1	725	W
R-6673-P*	36 x 60	1⅞	34 x 58	—	40 x 64	6	2 x 8¼	1	890	Y
R-6673-Q*Δ	38 x 50	1¾	36 x 48	38¼ x 50¼	44¼ x 56¼	4	1¾ x 6	1	735	W

*Grate in two pieces. ⊗ Not recommended for bicycle traffic. For safety standards see pages 88 to 93.

Δ Frame in sections. Bolted in corners.

DRAINAGE INFORMATION SHEET

960472

PROJECT TITLE: TIPPS EQUIPMENTZONE ATLAS/DRNG. FILE #: G-15/107

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT B-2, LANDS OF J.R. NANCECITY ADDRESS: YALE BVD. N.E.ENGINEERING FIRM: JEFF MORTENSEN & ASSOC CONTACT: J. GRAEME MEANSADDRESS: 6010-B MIDWAY PARK BVD S.E.PHONE: 345-4250OWNER: CONTACT ARCHITECT

CONTACT: _____

ADDRESS: _____

PHONE: _____

ARCHITECT: HOLMES SARATINI & ASSOC.CONTACT: SCOTT PRICKETTADDRESS: 202 CENTRAL S.E. WEST CANTYLEDPHONE: 247-4506SURVEYOR: CLINT SHERRILL & ASSOC.CONTACT: CLINT SHERRILLADDRESS: 730 SAN MATEO S.E.PHONE: 256-7364

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

AUG - 2 1996

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

XC: SCOTT PRICKETT

DATE SUBMITTED: 08/01/1996BY: J. GRAEME MEANS