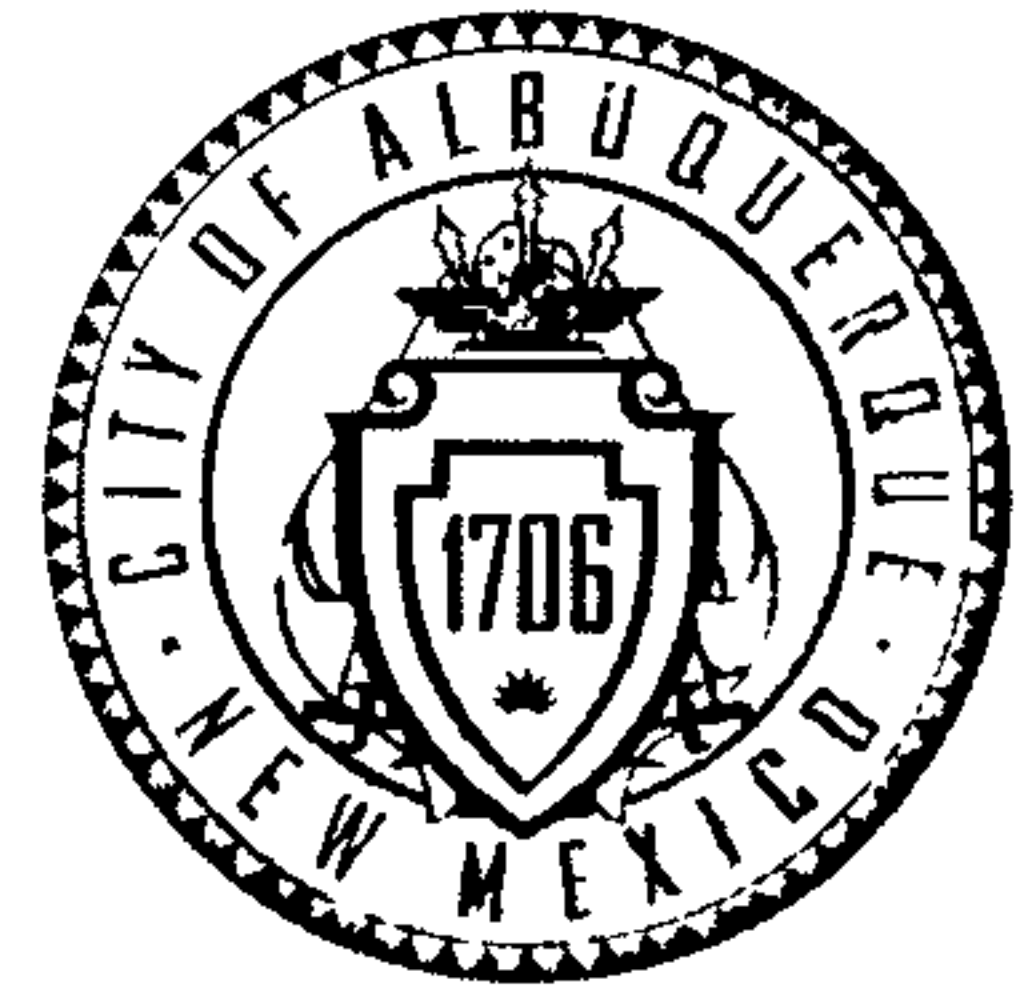


CITY OF ALBUQUERQUE



March 24, 2016

Richard J. Berry, Mayor

Maryam D. Giahi
Wilson & Company
4900 Lang Ave. NE
Albuquerque, NM, 87109

**RE: APS Rankin Training Facility
Grading and Drainage Plan
Engineer's Stamp Date 2-16-2016 (File:G15D061)**

Dear Ms. Giahi:

Based upon the information provided in your submittal received 2-17-2016, the above referenced Grading and Drainage Plan is approved for Grading Permit and Building/Demo Permit. We do, however, have the following recommendations:

1. The crusher fine parking areas should be graded away from the pavement edges, or the pavement section will be subject to subgrade failure and eventual edge cracking. This will be a requirement, if during the C.O. inspection it becomes apparent that sediment will wash onto the street during a storm.
2. A cut-off wall (or narrow edge curbing) should be considered to maintain the integrity of the new edges of asphalt.

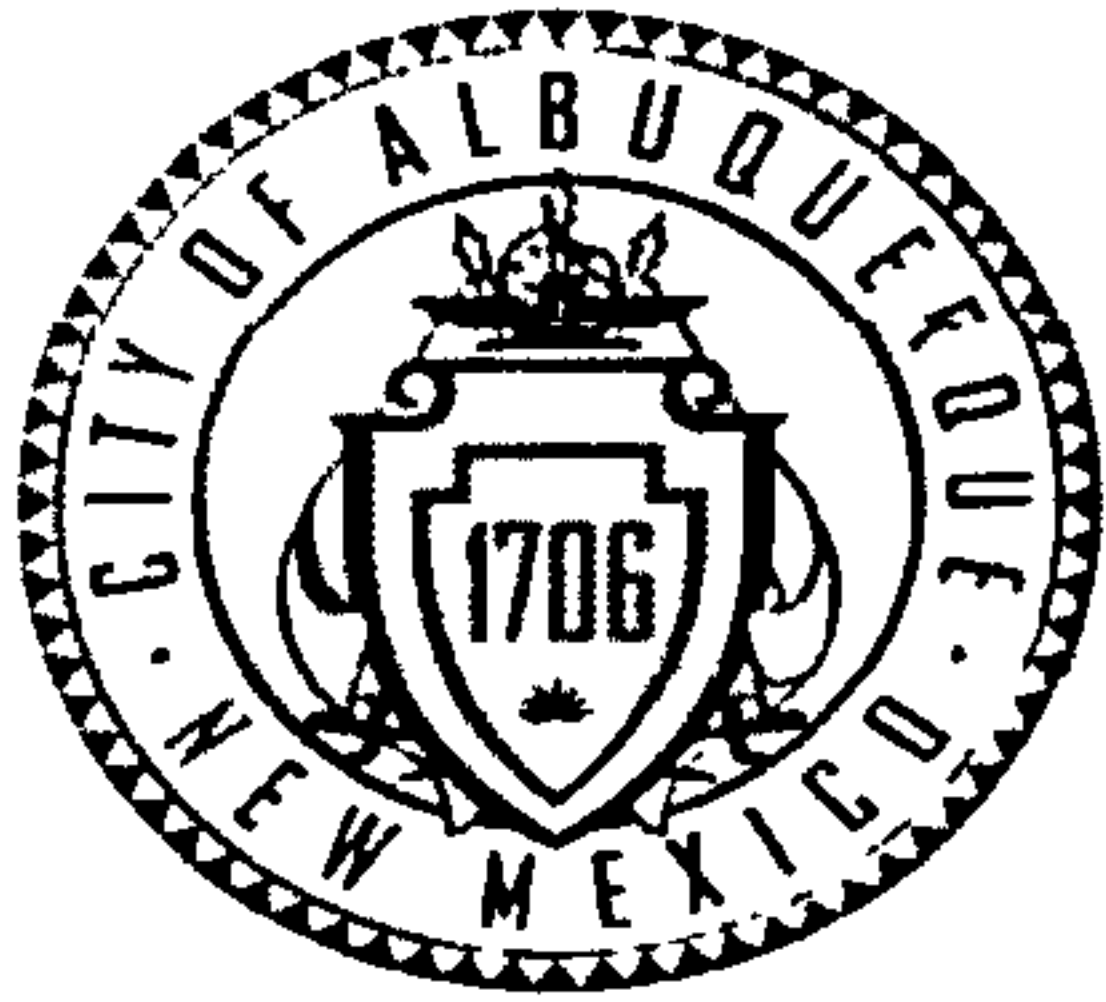
If you agree with one or both of the recommendations, please email me at acarrillo@cabq.gov to place a note in our file.

Please attach a copy of this approved plan in the construction sets when submitting for the building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Rankin Training Facility Site Renovations Building Permit #: T201390019 City Drainage #: G15D061

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: ~~702~~ Rankin Road, NE Albuquerque, NM 87107

Engineering Firm: T20 Wilson & Company Engineers and Architects Contact: Donald Duneman

Address: 4900 Lang Ave, NE Albuquerque, NM 87109

Phone#: 505-948-5125 Fax#: _____ E-mail: donald.duneman@wilsonco.com

Owner: Albuquerque Public Schools Contact: Myron Johnson

Address: 915 Oak Street, SE, Albuquerque, NM 87106

Phone#: 505-848-8810 Fax#: _____ E-mail: johnson_my@aps.edu

Architect: Integrated Design & Architects Contact: Ken Carrello

Address: 906 1/2 Park Ave SW, Albuquerque, NM 87102

Phone#: 505-243-3499 Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

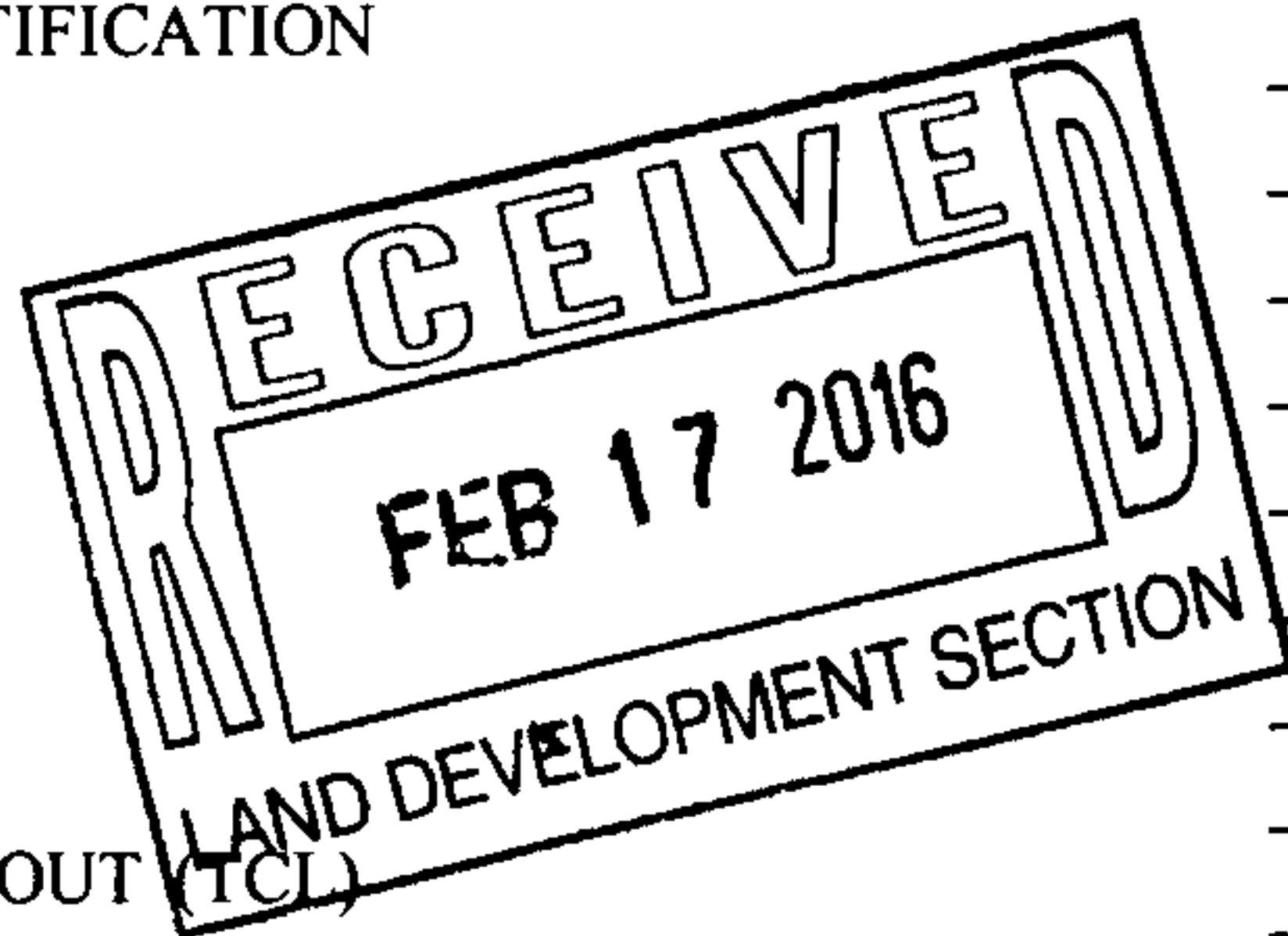
- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



DATE SUBMITTED: Feb 17, 2016 By: Maryam Giah

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Project Meeting Minutes

Project: Rankin Training Facility

Re: Grading & Drainage Plan

Date/Time: January 28, 2016, 4:00 pm

Location: City of Albuquerque

Attendees

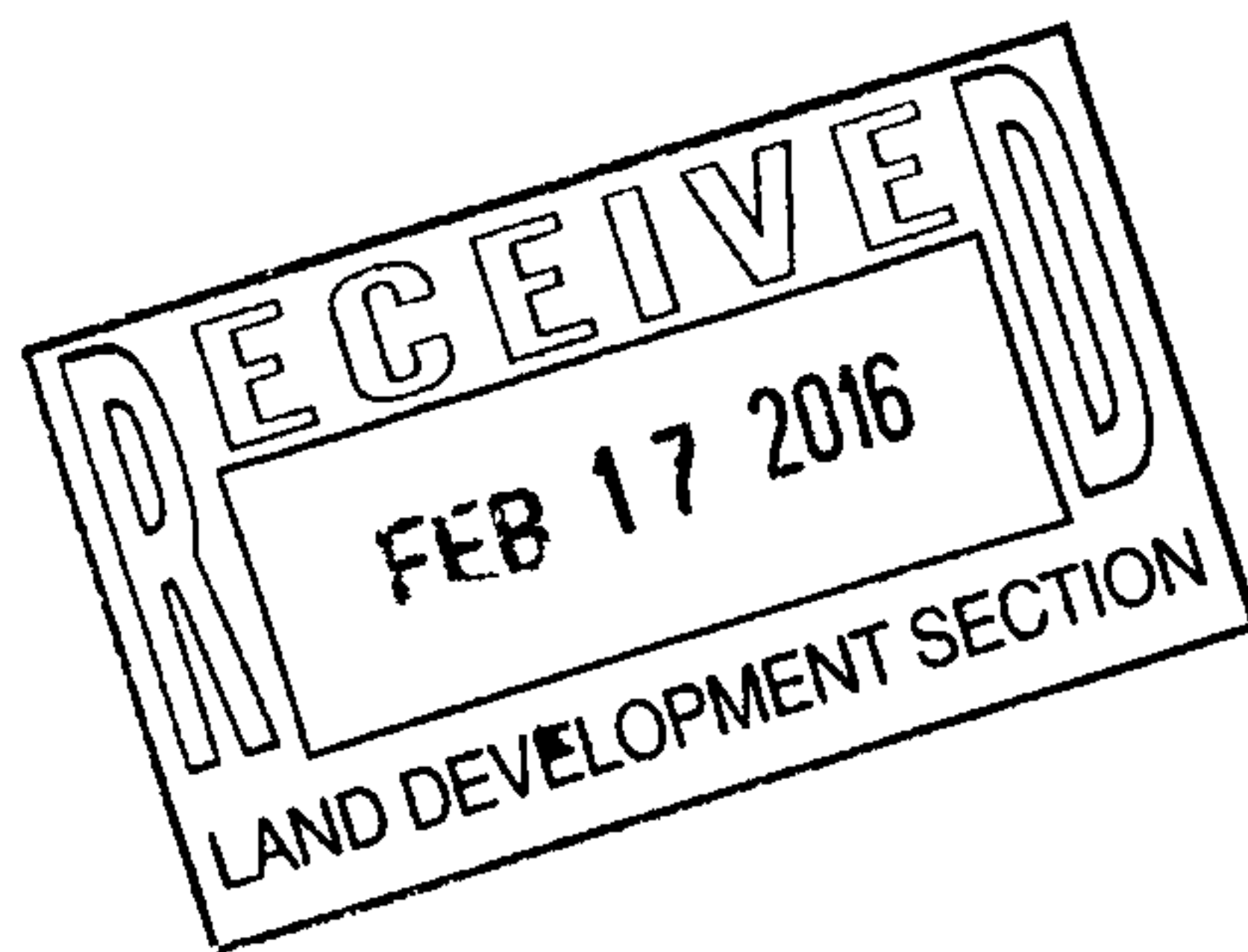
Rudy Rael, COA Hydrology

Maryam Giahi, WCI

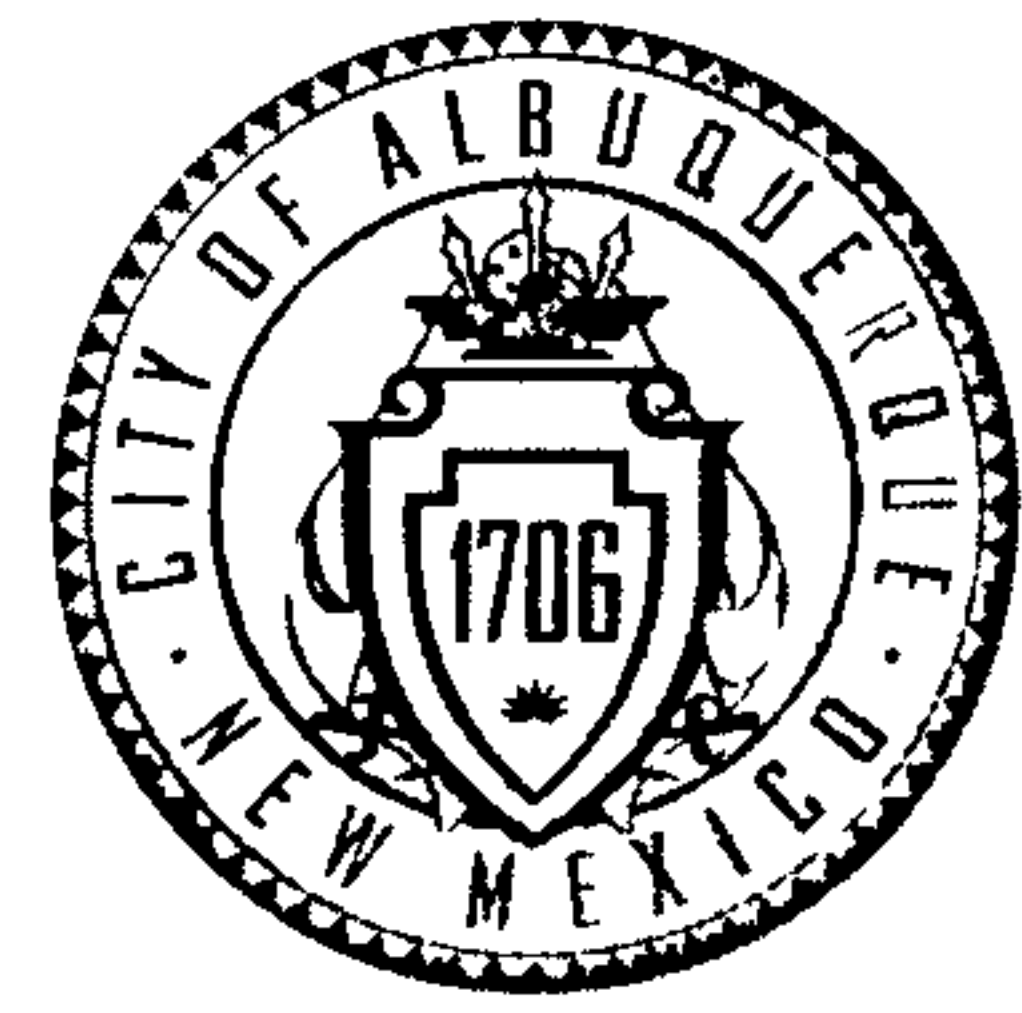
Submittal requirements were discussed. Key items are as follows:

- COA DPM hydrology design criteria can be used for calculations
- Changes in existing conditions vs. improved should be noted to show reduction in impervious areas
- Label spots and show proposed contours
- Add a note that the first flush will be taken care of by the newly added crusher fine paving areas

Rudy asked that we mention to the site engineer about the COA new requirement that all ADA parking spaces (striped areas included) should be covered with concrete pavement



CITY OF ALBUQUERQUE



June 24, 2016

Bob Hall
Integrated Design & Architecture
906 ½ Park Ave., SW
Albuquerque, NM 87102

Re: Rankin Training Facility
720 Rankin Rd., NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 3-9-16 (G15-D061)

Dear Mr. Doug Hall,

The TCL submittal received 6-22-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

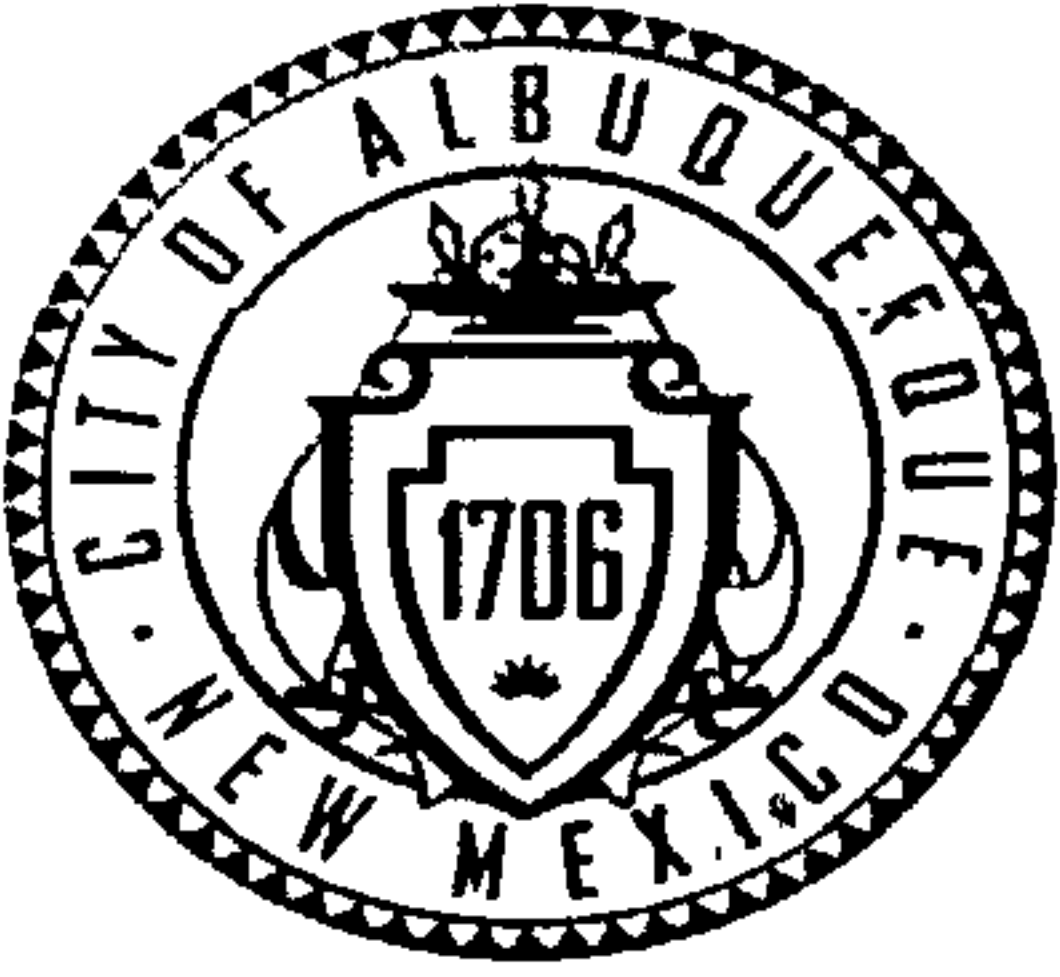
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Rankin Training Facility Building Permit #: T201690709 City Drainage #: 615D061

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot # 22, Block #1 Subdivision Coman Industrial District UPC# 101506032820940353

City Address: 720 Rankin Rd NE Albuquerque, New Mexico 87107

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: Albuquerque Public School Contact: _____

Address: 6400 Uptown Blvd, NE

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Bob Hall Contact: _____

Address: 906 1/2 Park Ave SW Albuquerque New Mexico 87102

Phone#: 505-243-3499 Fax#: 505-243-3583 E-mail: info@integrateddesignarch.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

☐ PRELIMINARY PLAT APPROVAL

☐ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING

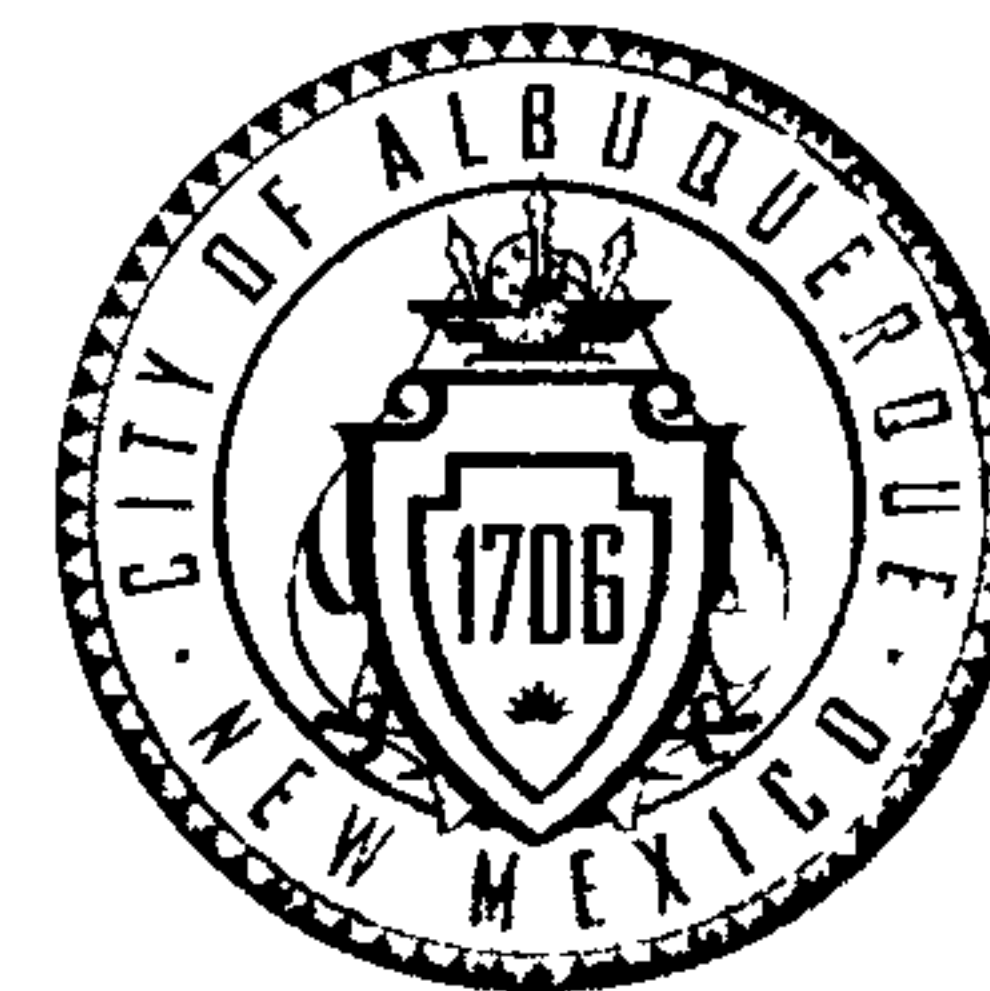
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 6-22-14 By: Bob Hall

COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____

CITY OF ALBUQUERQUE



June 16, 2016

Integrated Design & Architecture
Bob Hall
906 ½ Park Ave., SW
Albuquerque, NM 87102

Re: Rankin Training Facility
720 Rankin Rd., NE
Traffic Circulation Layout *DO 61*
Engineer's/Architect's Stamp **3-9-16** (G15-~~D0641~~)

Dear Mr. Hall,

Based upon the information provided in your submittal received 6-14-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
3. Clarify the extents of the current phase.
4. Please identify and dimension all existing buildings, doors, structures, sidewalks, ADA ramps, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
5. Identify all existing access easements and rights of way width dimensions.
6. Identify the right of way width, medians, curb cuts, and street widths on Rankin Rd.
7. Please list the width and length for all existing and proposed parking spaces. Dimension all HC parking spaces and HC Access Isles.
8. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs. Please show a detail of HC signs.
10. Show all drive aisle widths and radii.
11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details and dimensions at the drive pad crossing.

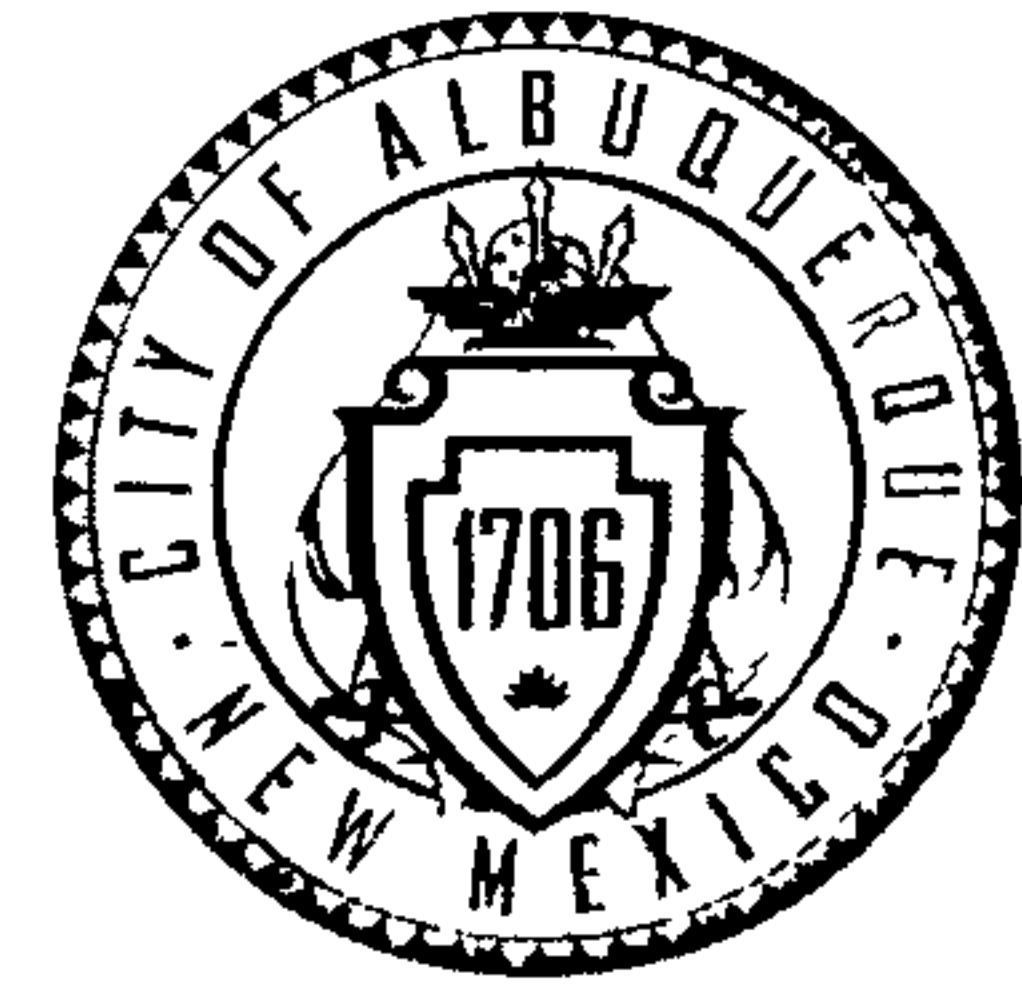
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



12. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details from both HC parking locations.
13. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb.
14. Design delivery vehicle route needs to be shown.
15. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval. Please provide detail of refuse container.
16. One-way vehicular paths require pavement directional signage and a posted "**Do Not Enter**" sign at the point of egress. Please show detail and location of posted signs.
17. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
18. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3*). Please provide this detail for both entrances/exits on Rankin Rd.
19. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
20. Please specify the City Standard Drawing Number when applicable.
21. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
22. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
23. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.

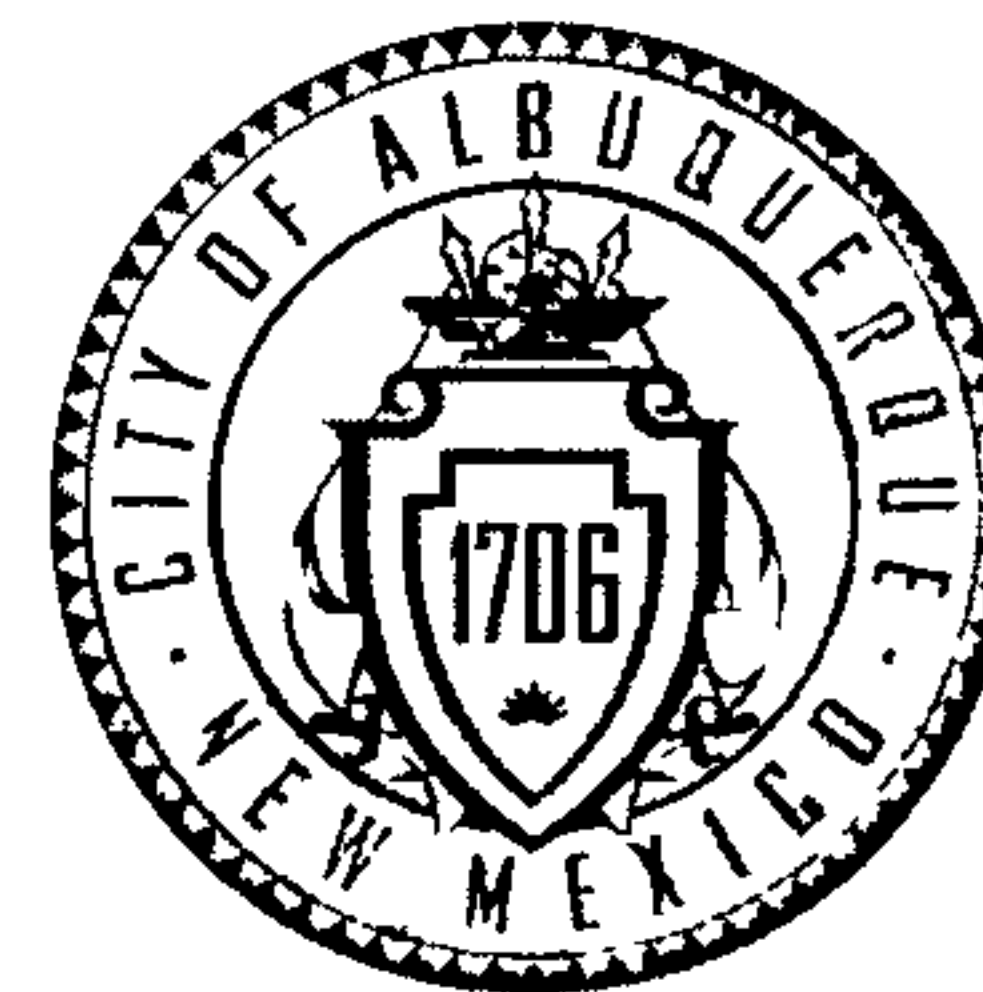
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



24. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'R. Michel', is written over the word 'Sincerely,'.

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

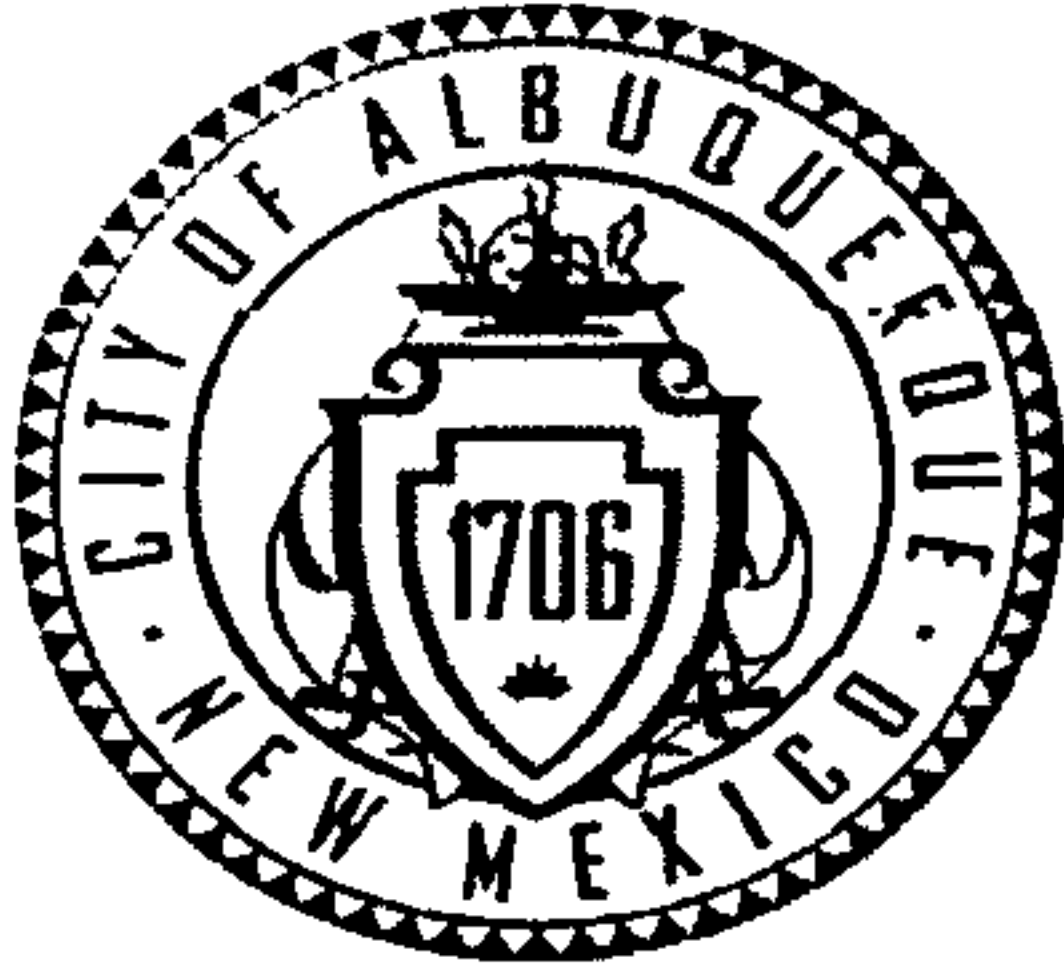
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Rankin Training Facility Building Permit #: T201690709 City Drainage #: G15D061

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot # 22, Block #1 Subdivision Coman Industrial District UPC# 101506032820940353

City Address: 720 Rankin Rd NE Albuquerque, New Mexico 87107

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: Albuquerque Public School Contact: _____

Address: 6400 Uptown Blvd, NE

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Bob Hall Contact: _____

Address: 906 1/2 Park Ave SW Albuquerque New Mexico 87102

Phone#: 505-243-3499 Fax#: 505-243-3583 E-mail: info@integrateddesignarch.com

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

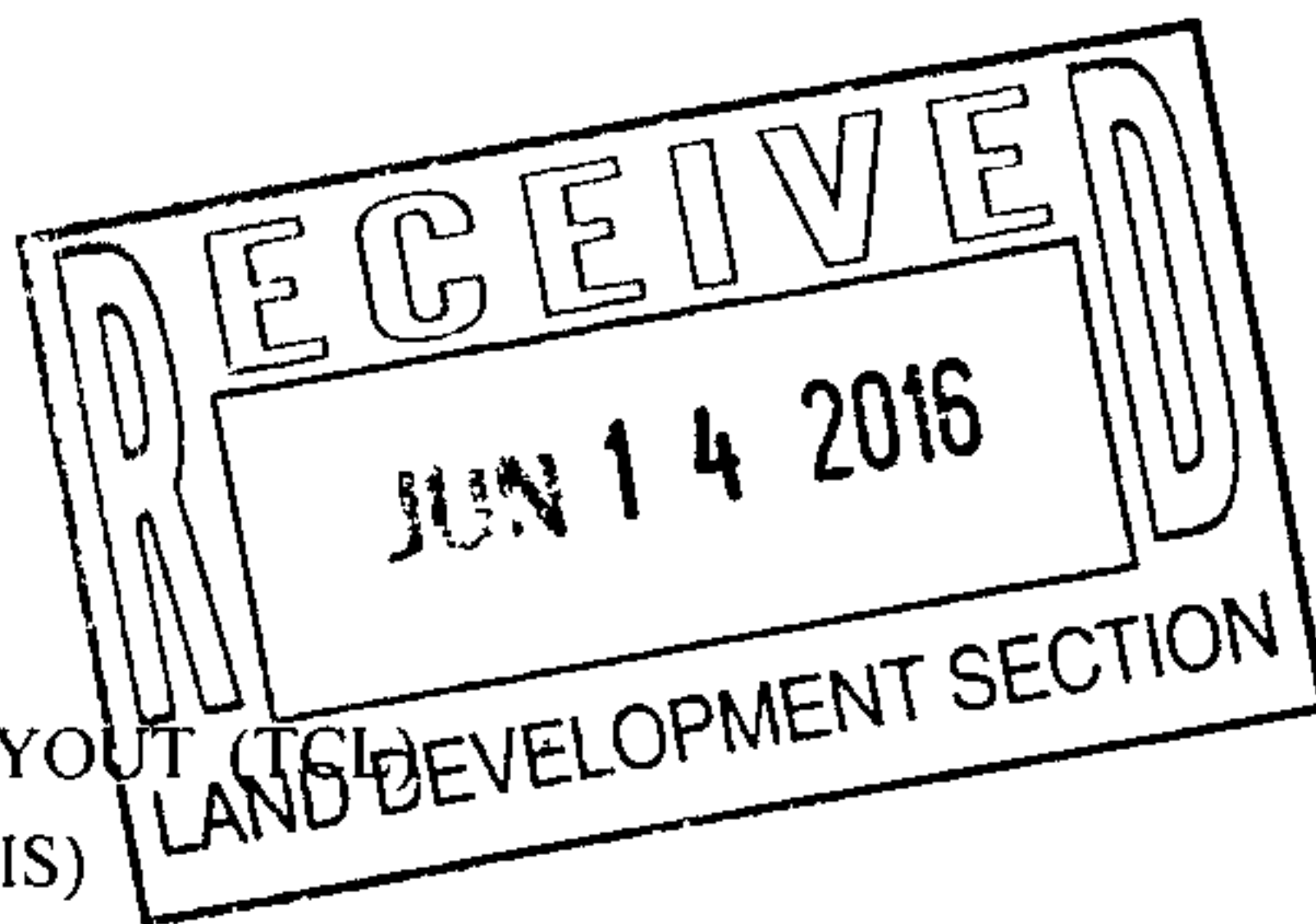
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: _____ By: _____

COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____

6-15/D61

CITY OF ALBUQUERQUE

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

COA BDM-5/11/04

CONTRACTOR
LICENSE
ADDRESS

UNIVERSAL CONSTR.

GA98

PO BOX 6008 STATION B
ALBUQUERQUE, NM 87107PERMIT NUMBER
PROJECT NUMBER
PERMIT ISSUE DATE
BARRICADED BY
BLUE STAKE
PAVING BY

2078889

02/09/2004

0190
CON

720 RANKIN RD NE

EXCAVATION 443008-5810000

SIDEWALK 443012-5810000

DRIVEPAD 443011-5810000

CURB/GUTTER 443010-5810000

BARRICADING 443009-5810000

RESTORATION 443017-5810000

TOTAL FEE

42.00	EX
0.00	SW
0.00	DP
0.00	CG
25.00	BR
0.00	RS
67.00	

PERMIT AND DETOUR PLAN COMMENTS

APS FOOD SERVICE PAVING, LETTER ON
FILE DATED 1/30/04, (6-15/D61)

START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS
02/09/2004	02/19/2004	02/19/2004	11/30/2004	12/31/2004	

APPLICANT

ISSUED BY

VOID UNTIL VALIDATED BY CITY TREASURER

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994). PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 04/03

DATE EXCAVATION STARTED _____

Backfill: Started _____ Completed _____ Accepted _____

Paved Cleared _____ Site Cleared _____ Warranty Exp _____

Restoration Fee Refund Authorized Yes _____ NO _____ BY: _____

Cash Disbursement Prepared for Refund Dated _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 30, 2004

Jeff Mortensen, PE
Jeff Mortensen & Associates
6010B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: APS Food Services Paving
Grading and Drainage Plan
Engineer's Stamp Dated 1-7-04 (G-15/D61)**

*Permit pulled on 2/9/04
720 Rardin NE
Universal Construction
2678889*

Dear Mr. Mortensen:

Based upon the information provided in your submittal received 1/8/04, the above referenced plan is approved for Paving Permit and SO#19 Permit.

A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit. Upon completion of project, please provide an as-built certification including signoff by the City's Storm Drain Maintenance section for our files.

If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Matt Cline, CoA
✓Pam Lujan, CoA
file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 30, 2004

Jeff Mortensen, PE
Jeff Mortensen & Associates
6010B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: APS Food Services Paving
Grading and Drainage Plan
Engineer's Stamp Dated 1-7-04 (G-15/D61)**

Dear Mr. Mortensen:

Based upon the information provided in your submittal received 1/8/04, the above referenced plan is approved for Paving Permit and SO#19 Permit.

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If you have any questions please call me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Matt Cline, CoA
Pam Lujan, CoA
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: APS FOOD SERVICES PAVING ZONE ATLAS/DRNG. FILE # G15 / D 61
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 22, BLOCK 1, COMAN INDUSTRIAL DISTRICT
 CITY ADDRESS: 720 RANKIN ROAD NE

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: ALBUQUERQUE PUBLIC SCHOOLS CONTACT: LAURA PERRY
 ADDRESS: 720 RANKIN ROAD NE PHONE: _____
 CITY, STATE: _____ ZIP CODE: 87107

ARCHITECT: APS M & O CONTACT: JOHN DUFAY
 ADDRESS: LINCOLN ANNEX PHONE: 765-5950 (228)
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: UNIVERSAL CONSTRUCTORS CONTACT: PAUL FISHER
 ADDRESS: _____ PHONE: 884-0400
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER (PAVING PERMIT)

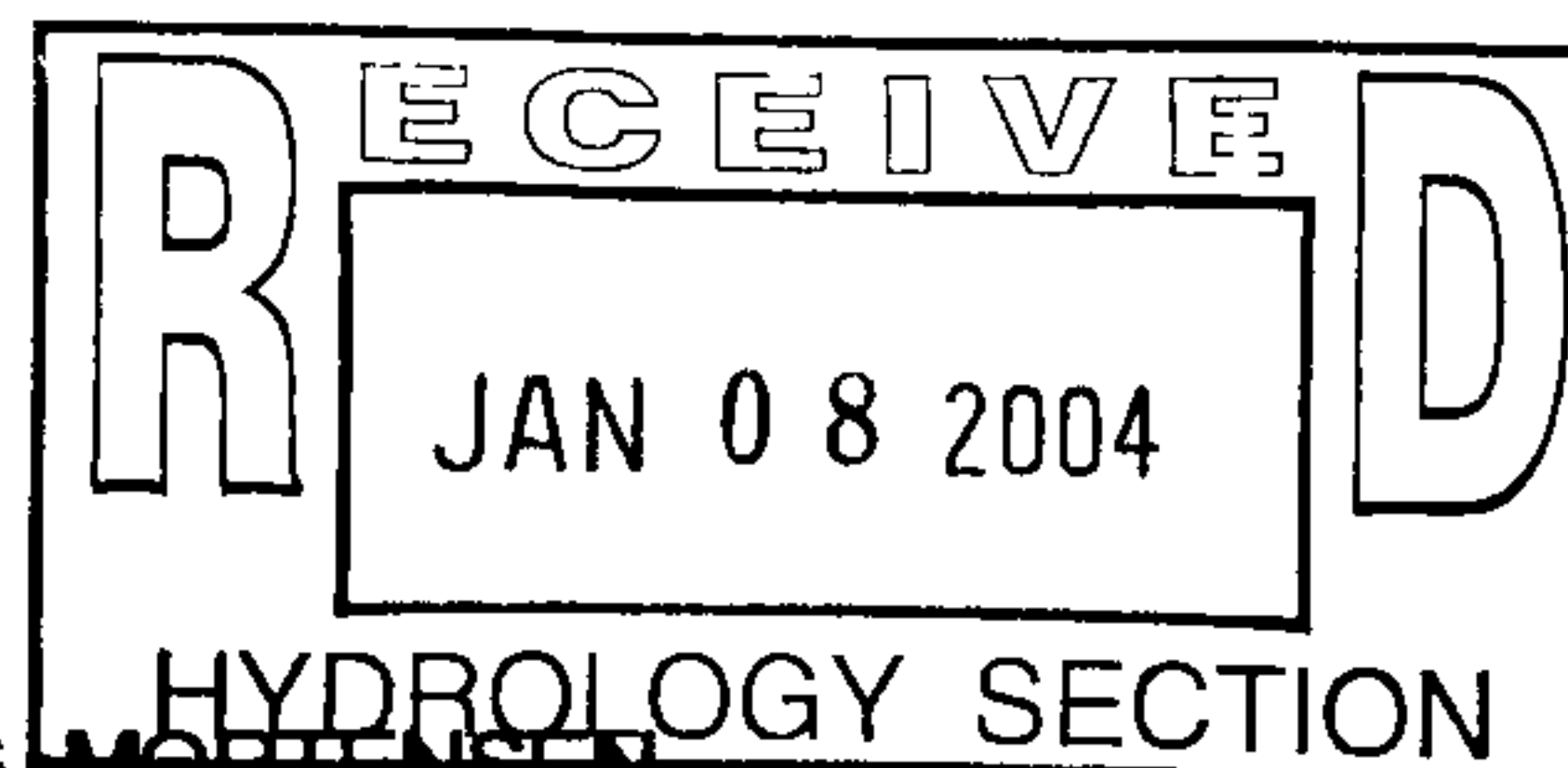
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY SO#19)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 01/08/2004 BY: JEFFREY G. MORTENSEN



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.