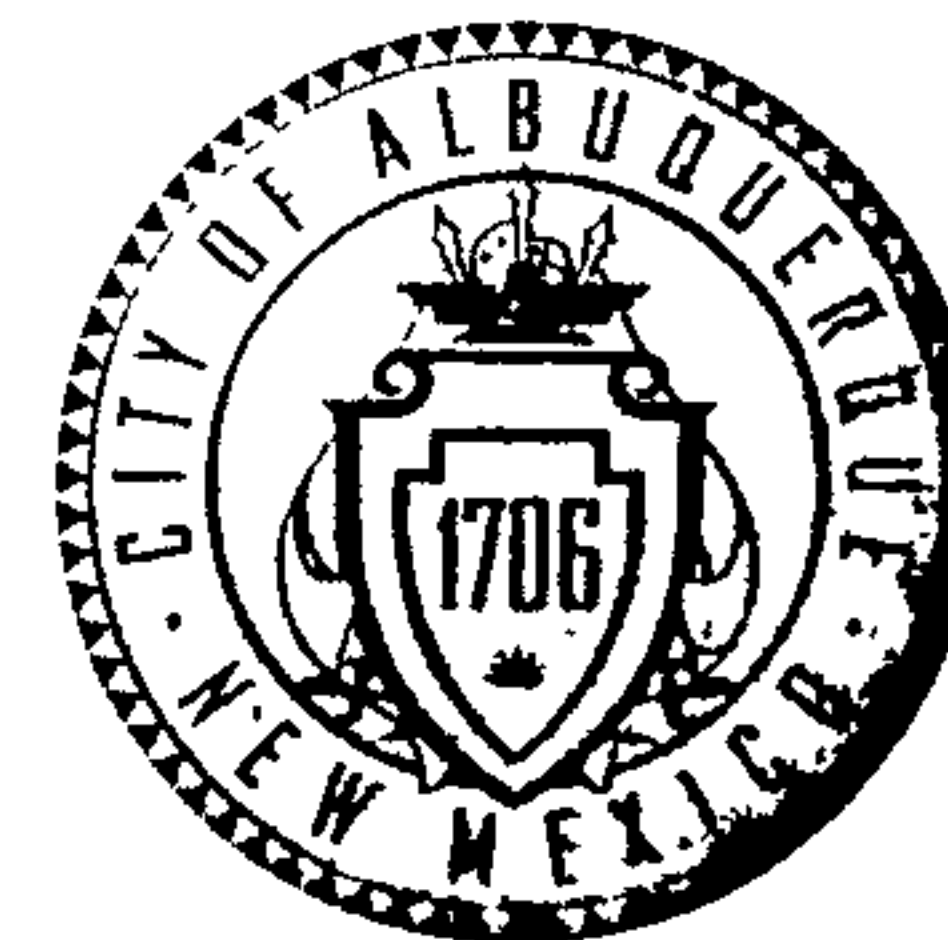


CITY OF ALBUQUERQUE



*Planning Department
Transportation Development Services Section*

December 3, 2010

Darren Lee Sowell, Registered Architect
DSA Architects, LLC
4700 Lincoln Rd, NE, Ste. 111
Albuquerque, NM 87109


Re: Certification Submittal for a Permanent Building Certificate of Occupancy
(C.O.) for JLM Auto Sales, [G-15 / D102]
215 Candelaria Rd NE
Engineer's Stamp Dated 11/30/10

Dear Mr. Sowell:

Based upon the information provided in your submittal received 12-03-10,
Transportation Development has no objection to the issuance of a Permanent Certificate
of Occupancy. This letter serves as a "green tag" from Transportation Development for a
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

G15/D102

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: JLM Auto Sales ZONE MAP: G-15
 DRB#: 1007008 EPC#: OTEP-40104-1 WORK ORDER#: N/A
~~09DRB-70037/09DRB-70039~~ ~~08EPC-40086~~
 LEGAL DESCRIPTION:
 CITY ADDRESS: 215 Candelaria Rd NE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: Randy Kaufman CONTACT: Randy
 ADDRESS: 325 Candelaria Rd NE PHONE: 991-1308
 CITY, STATE: Albuquerque, NM ZIP CODE: 87107

ARCHITECT: Darren Sowell Architects, LLC CONTACT: Craig
 ADDRESS: 4700 Lincoln Rd NE PHONE: 342-6200
 CITY, STATE: Albuquerque, NM 87109 ZIP CODE: 87109

SURVEYOR: Walker Surveying Co. CONTACT: Steve
 ADDRESS: 424 Shirk Lane SW PHONE: 219-4888
 CITY, STATE: Albuquerque, NM ZIP CODE: 87105

CONTRACTOR: Wilger Enterprises CONTACT: Scott
 ADDRESS: 425 Edmon Rd NE PHONE: 345-2854
 CITY, STATE: Albuquerque, NM ZIP CODE: 87107

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1" SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY)

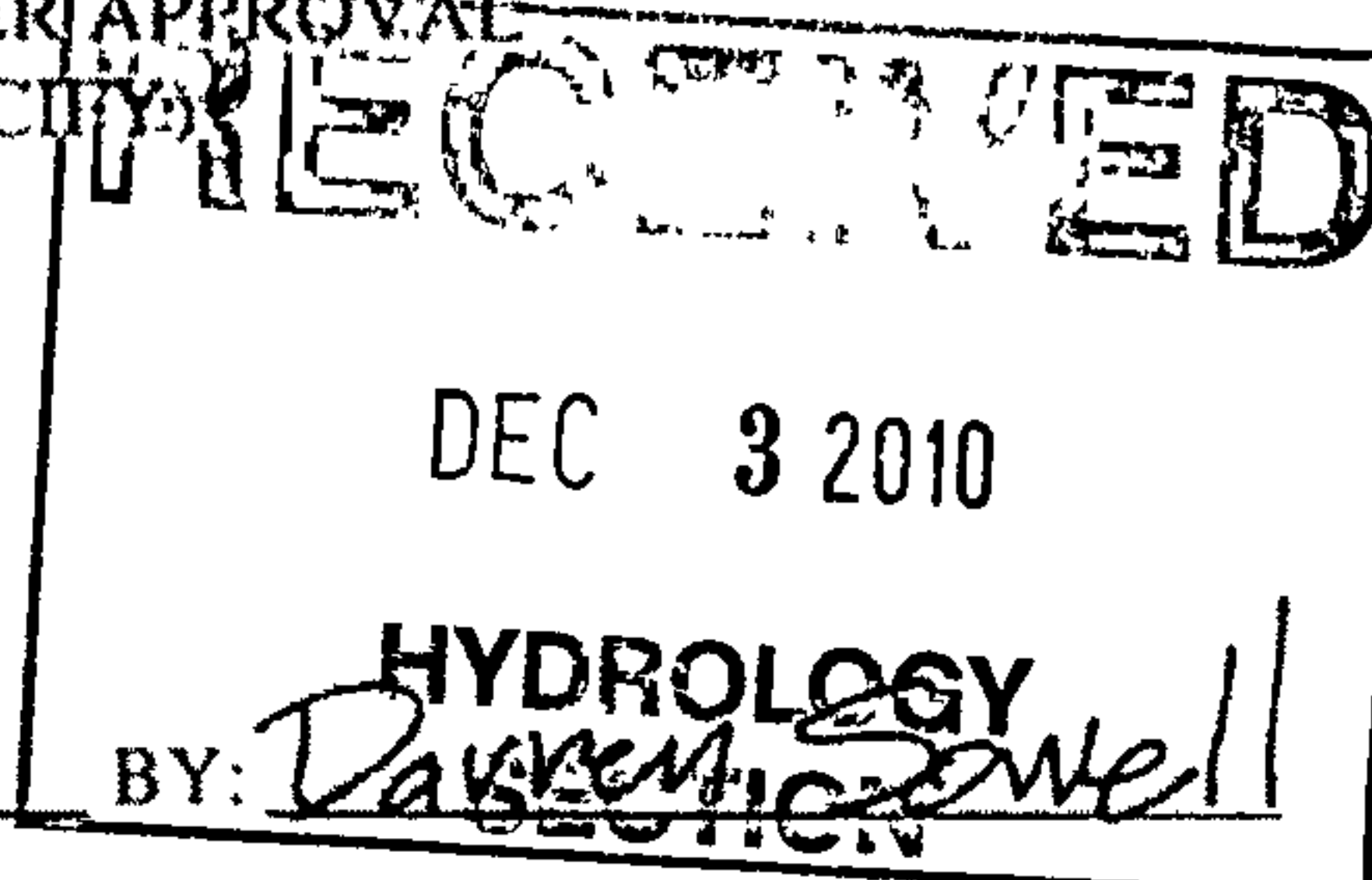
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: December 2, 2010



Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more



November 30, 2010

Kristal Metro, PE
Traffic Engineer
Transportation Development
City of Albuquerque
Albuquerque, New Mexico

RE: JLM Auto Sales - Site Plan Certification
Project# 1007008 / 07EPC-40104 Zone Map Amendment, 1007008 / 08EPC-40086 Site
Development Plan for Building Permit, 09DRB-70037 SBP and 09DRB-70039 SPS

Ms. Metro:

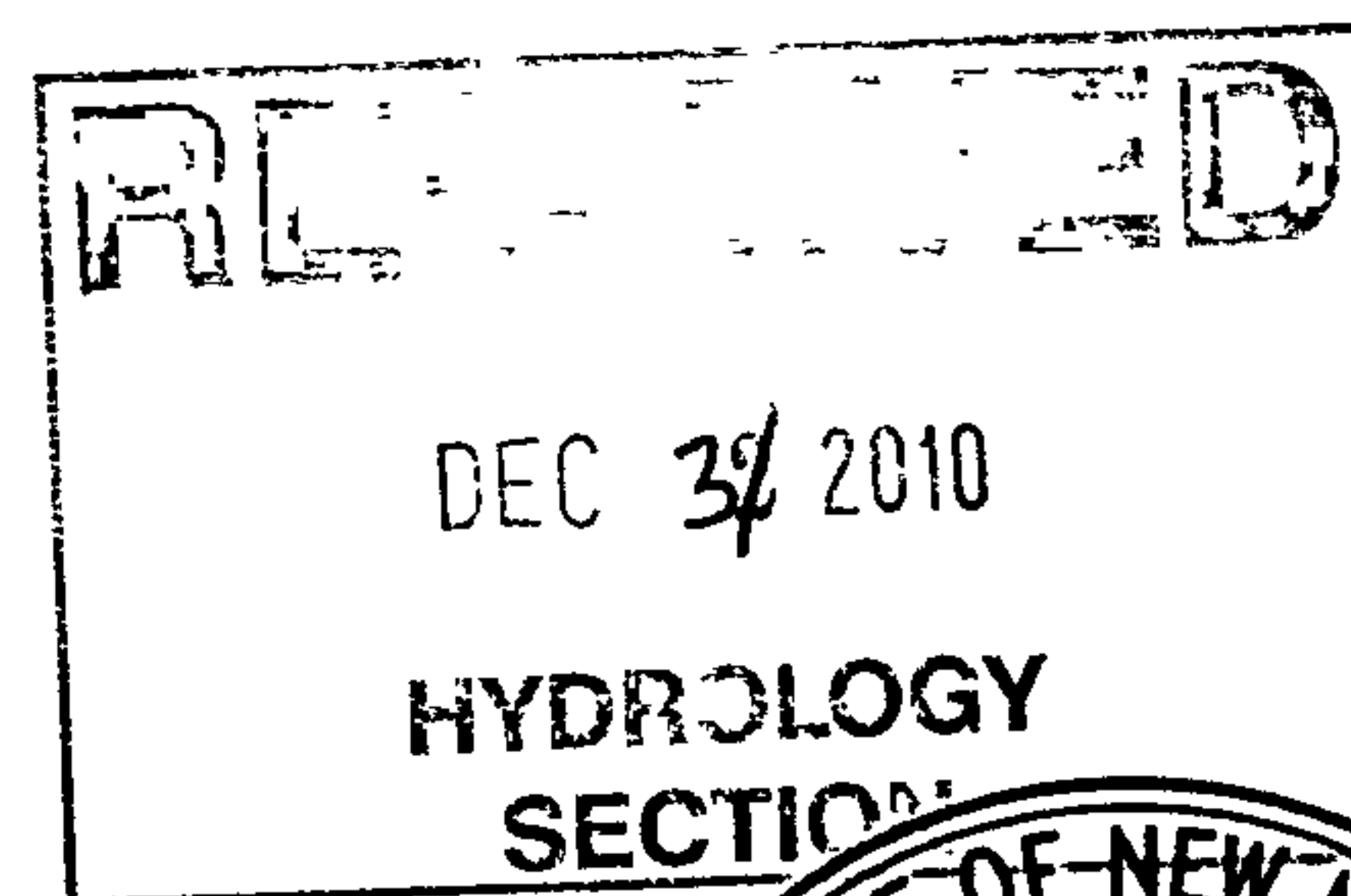
On November 29, 2010 my client called to inform me that all on and off site construction has been completed for the above mentioned project. DSA visited the site, at 215 Candelaria Road NE, to verify that the improvements have been constructed in accordance with the approved site plan.

This letter certifies that all on and off site improvements for Phase 1 were constructed in accordance with the approved Site Development Plan for Building Permit signed by the DRB Chairperson on 4-8-09. Phase 2 site improvements were constructed in accordance with the approved Site Plan with the exception of the motorcycle parking space. This space, along with the motorcycle parking sign, was relocated directly west of the refuse enclosure in order to provide Solid Waste better access to the refuse bin which was also constructed in this phase.

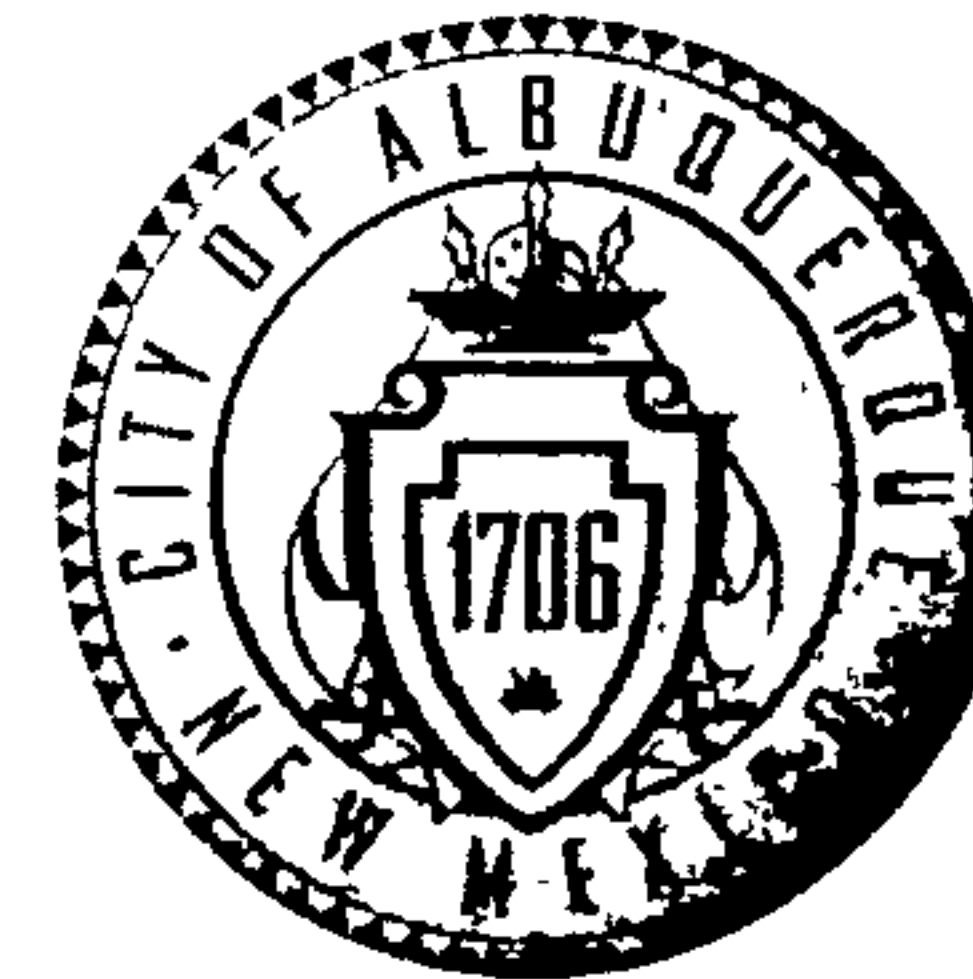
Respectfully submitted,

DSA Architects, LLC

Darren Sowell, AIA
Owner



CITY OF ALBUQUERQUE



November 20, 2009

Levi J. Valdez, P.E.
George T. Rodriguez-Consulting
12800 San Juan NE
Albuquerque, NM 87123

**Re: JLM Auto Sales, 215 Candelaria Rd NE, Grading and Drainage Plan
Engineer's Stamp dated 11-16-09 (G15/D102)**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 11-19-09, the above referenced plan is approved for Grading Permit, Paving Permit and SO 19 Permit.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

The storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

Upon completion of the project, provide an Engineer Certification for our files.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: JLM AUTO SALES ZONE MAP: G-15/D102
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 25 & TRACT "X", BLOCK 2, GRACELAND ACRES SUBD.
CITY ADDRESS: 215 CANDELARIA ROAD N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. LEVI J. VALDEZ
GEORGE T. RODRIGUEZ-DEVEL. CONSULT. CONTACT: GEORGE T. RODRIGUEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: RANDY KAUFMAN CONTACT: RANDY KAUFMAN
ADDRESS: 325 CANDELARIA ROAD, N.E. PHONE: 505-345-9935
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

ARCHITECT: DARREN SOWELL - ARCHITECT CONTACT: DARREN SOWELL
ADDRESS: 4700 LINCOLN N.E. - SUITE 111 PHONE: 505-342-6200
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87109

SURVEYOR: JOHN PAISANO, JR. CONTACT: JOHN PAISANO
ADDRESS: _____ PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

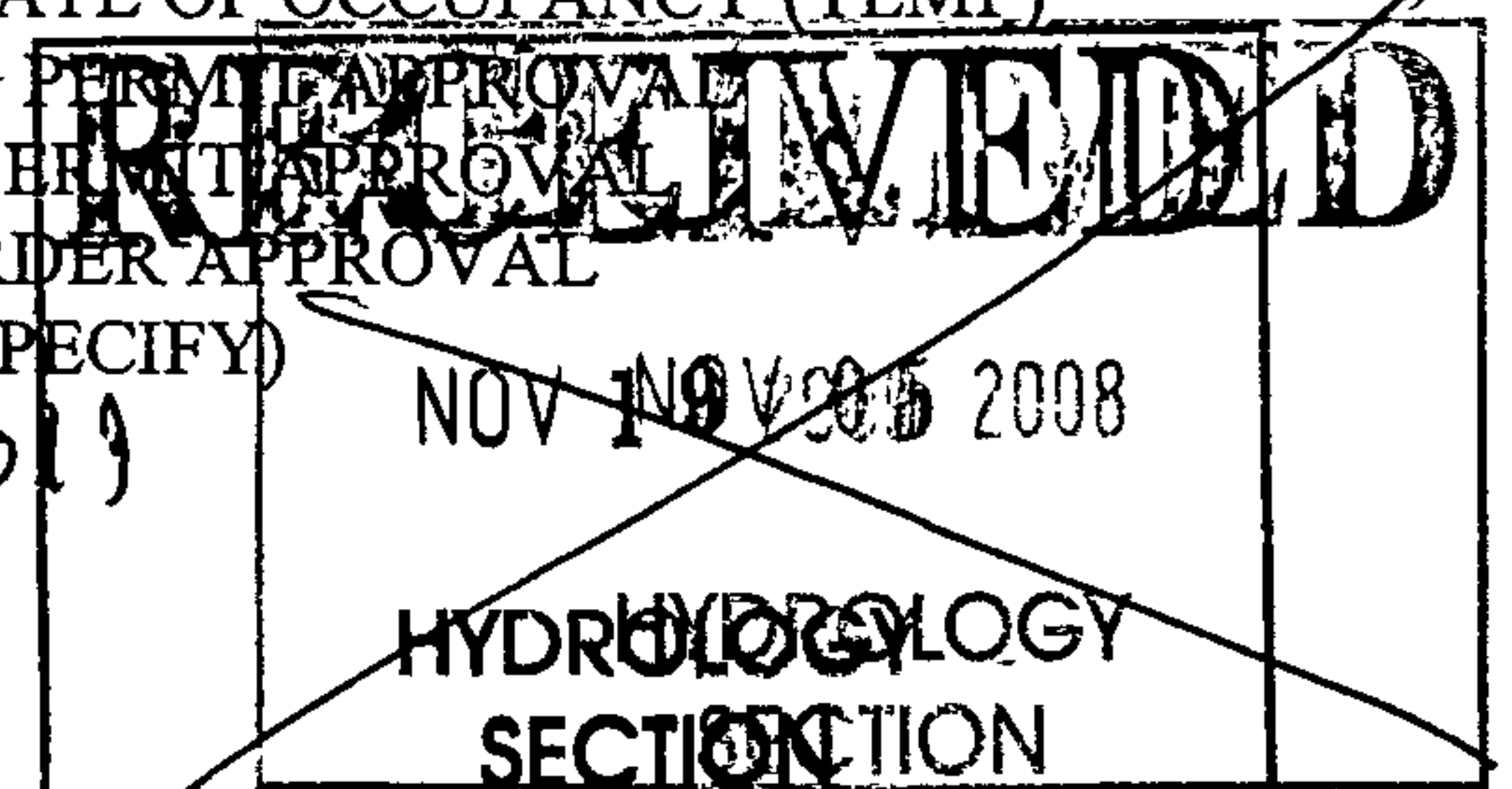
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) QUESTED. 5019

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

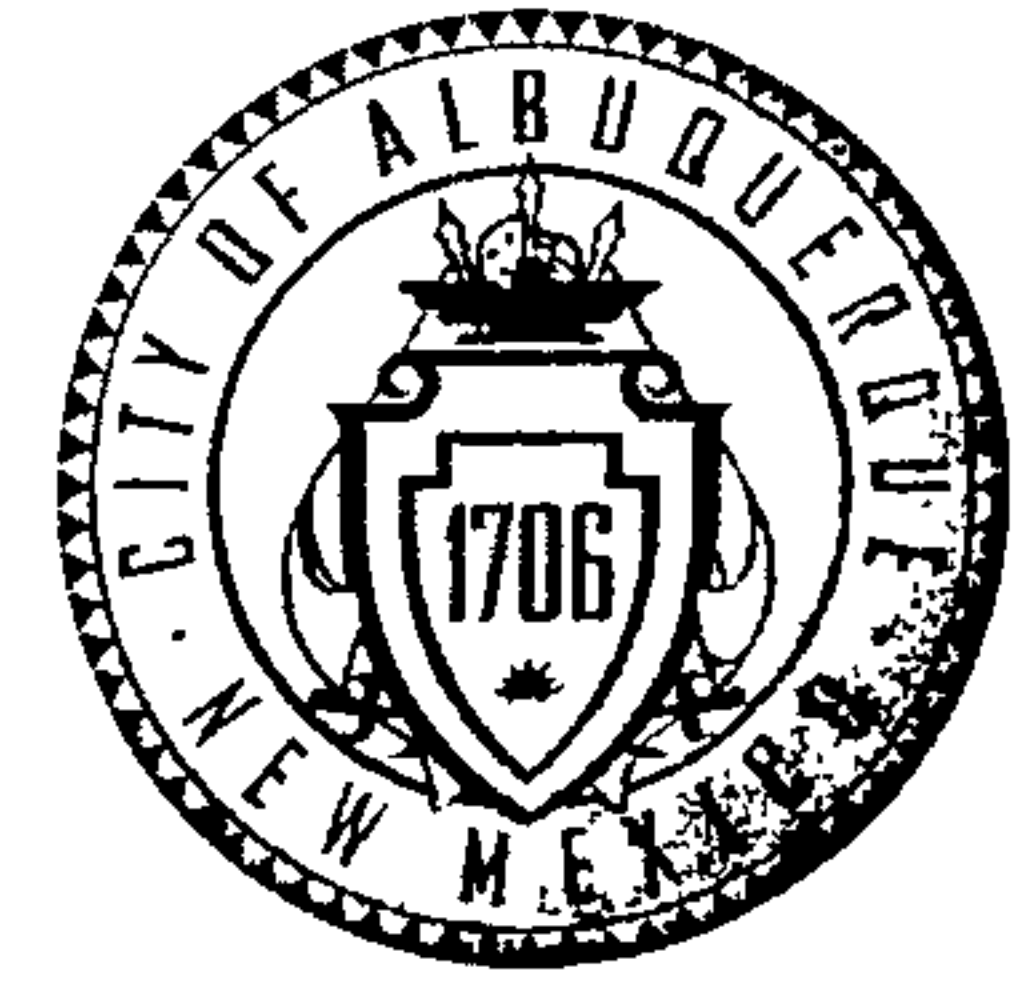


DATE SUBMITTED: 11-16-09 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



January 12, 2010

Levi J. Valdez, P.E.
George T. Rodriguez-Consulting
12800 San Juan NE
Albuquerque, NM 87123

Re: JLM Auto Sales, 215 Candelaria Rd NE, Grading and Drainage Plan
Engineer's Stamp dated 11-16-09 (G15/D102)
Certification dated 12-29-09

Dear Mr. Valdez,

Based upon the information provided in your submittal received 1-8-10, the above referenced plan is accepted for certification.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: JLM AUTO SALES ZONE MAP: G-15/D 102
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 25 & TRACT 'X', BLOCK 2, GRACELAND ACRES SUBD.
CITY ADDRESS: CANDELARIA ROAD N.E.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E.
GEORGE T. RODRIGUEZ - CONSULTANT CONTACT: LEVI VALDEZ
ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0913
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: RANDY KAUFMAN CONTACT: RANDY KAUFMAN
ADDRESS: 325 CANDELARIA ROAD N.E. PHONE: 345-9935
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87107

ARCHITECT: DARREN SOWELL - ARCHITECT CONTACT: DARREN SOWELL
ADDRESS: 4700 LINCOLN N.E. - SUITE 111 PHONE: 342-6200
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87109

SURVEYOR: JOHN PAISANO, JR. CONTACT: JOHN PAISANO, JR.
ADDRESS: _____ PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: _____

CONTRACTOR: ? CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) GRADING, PAVING,

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

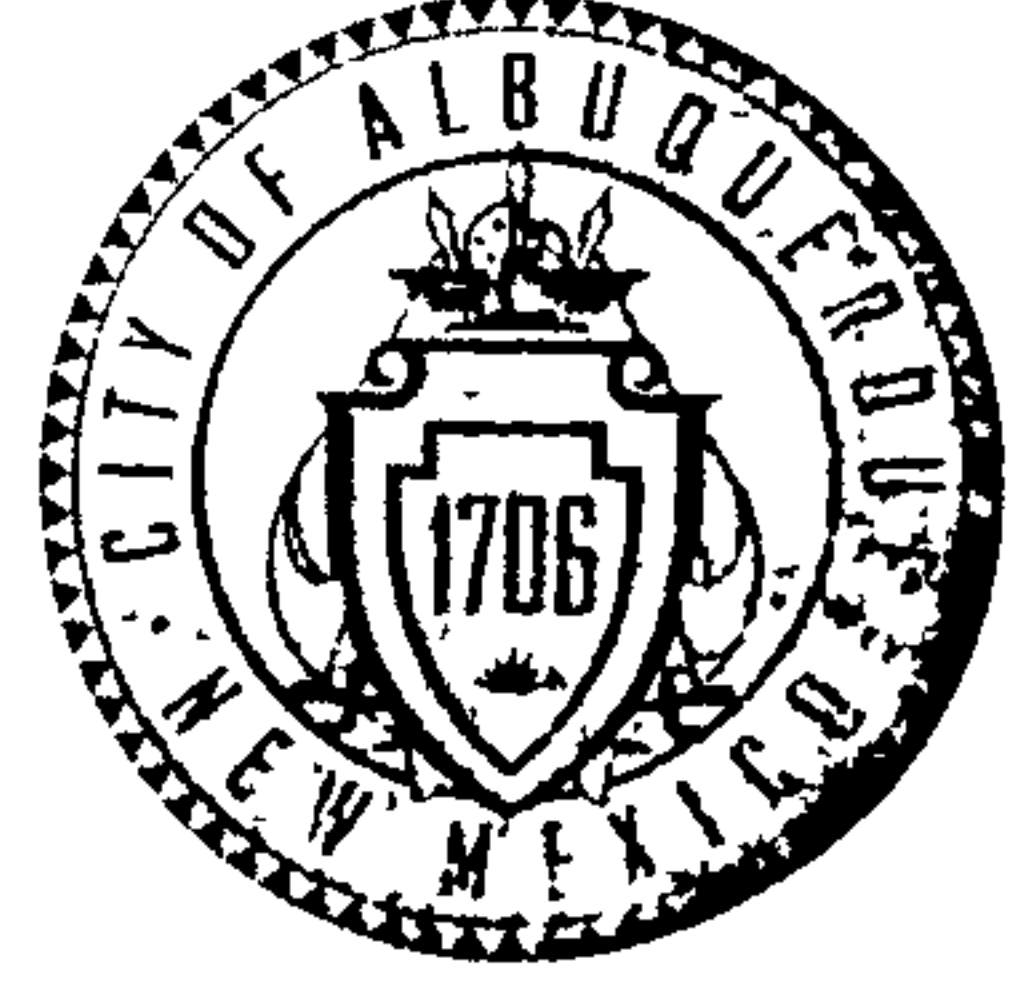
GRADING, PAVING,
& S.O. 19 ENGINEER'S
CERTIFICATION APPROVAL

DATE SUBMITTED: 01-05-10 BY: GEORGE T. RODRIGUEZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



November 17, 2008

Levi J. Valdez, P.E.
George T. Rodriguez-Consulting
12800 San Juan NE
Albuquerque, NM 87123

Re: JLM Auto Sales Conceptual Grading and Drainage Plan
Engineer's Stamp dated 10-30-08 (G15/D102)

Dear Mr. Valdez,

Based upon the information provided in your submittal received 11-5-08, the above referenced plan is approved for Site Plan for Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

NM 87103

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file