

DRAINAGE CALCULATIONS

I. REFERENCES:

- SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO IN COOPERATION WITH METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
- FLOODWAY, FLOOD BOUNDARY AND FLOODWAY MAP, CITY OF ALBUQUERQUE, NEW MEXICO, PANEL 23 OF 50.
- ZONE ATLAS PAGE G-16-Z.

II. GENERAL INFORMATION:

- SITE LIES IN ZONE TWO(2) (SEE REF. A, PAGE A-1)
- 100 YEAR, 6 HOUR RAINFALL CRITERIA
- TIME OF CONCENTRATION, T_c ; $T_c = 0.2$ hr (12 MINUTES).

III. IMPERVIOUSNESS:

TREATMENT TYPE	TYPES OF SURFACES	EXISTING SQ. FT.	ACRES	PROPOSED SQ. FT.	ACRES
A	UNDEVELOPED	0	0.0000	0	0.0000
B	LANDSCAPING	1,558	0.0358	1,558	0.0358
C	COMPACTED/VACANT	15,574	0.3575	14,074	0.3231
D	IMPERVIOUS	5,405	0.1241	6,905	0.1585
	TOTAL AREA (TA)	22,537	0.5174	22,537	0.5174

IV. PEAK DISCHARGE 100 YEAR (REF. A, TABLE A-9):

TREATMENT TYPE	TYPES OF SURFACES	EXISTING CFS/AC	Qp(100)	PROPOSED CFS/AC	Qp(100)
A	UNDEVELOPED	1.59	0.00	1.59	0.00
B	LANDSCAPING	2.28	0.08	2.28	0.08
C	COMPACTED/VACANT	3.14	1.12	3.14	1.01
D	IMPERVIOUS	4.70	0.58	4.70	0.75
	PEAK DISCHARGE FROM SITE	1.79	CFS	1.84	CFS

V. PEAK DISCHARGE 10 YEAR (REF. A, TABLE A-9):

TREATMENT TYPE	TYPES OF SURFACES	EXISTING CFS/AC	Qp(10)	PROPOSED CFS/AC	Qp(10)
A	UNDEVELOPED	0.38	0.00	0.38	0.00
B	LANDSCAPING	0.95	0.03	0.95	0.03
C	COMPACTED/VACANT	1.71	0.61	1.71	0.55
D	IMPERVIOUS	3.14	0.39	3.14	0.50
	PEAK DISCHARGE FROM SITE	1.03	CFS	1.08	CFS

VI. WEIGHTED "E" 100 YEAR, 6 HR. (REF. A, TABLE A-8):

TREATMENT TYPE	TYPES OF SURFACES	EXISTING E	EXA/TA	PROPOSED E	EXA/TA
A	UNDEVELOPED	0.53	0.00	0.53	0.00
B	LANDSCAPING	0.78	0.05	0.78	0.05
C	COMPACTED/VACANT	1.13	0.78	1.13	0.71
D	IMPERVIOUS	2.12	0.51	2.12	0.65
	WEIGHTED "E" FACTOR	1.34	IN	1.41	IN

VI. VOLUME 100 YEAR, V(360) (REF. A, TABLE A-8):

EXISTING	PROPOSED
1.34 x 0.7154/12	1.41 x 0.7154/12
0.06 AC. FT.	0.06 AC. FT.
2,523 CU. FT.	2,646 CU. FT.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF TO LEAVE THE SITE AND ENTERING ADJACENT PROPERTY.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

NOTE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
- Two working days prior to any excavation, contractor must contact line locating services at (505) 260-1990 for locating existing utilities.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to arterial street use.

GENERAL NOTES:

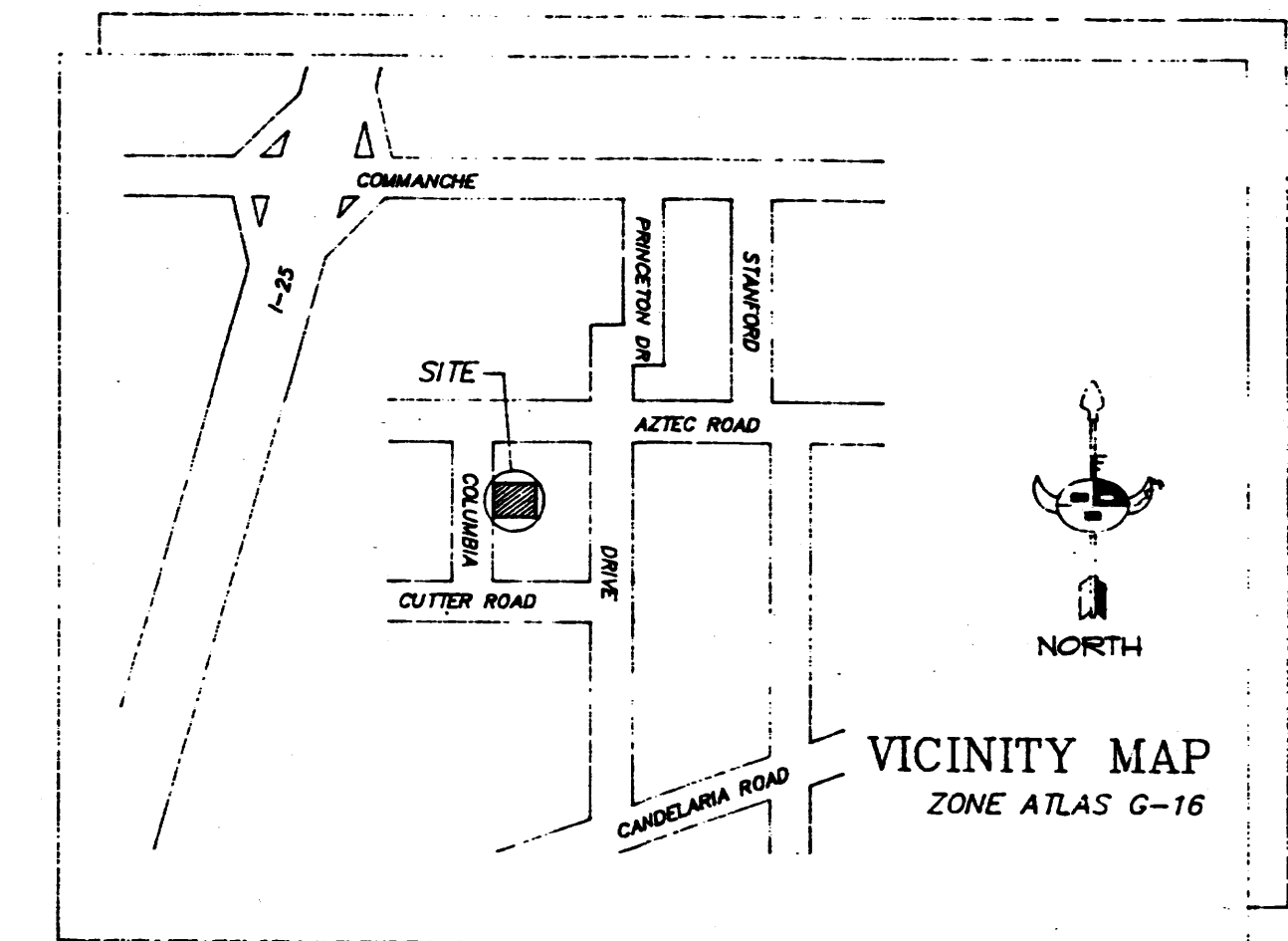
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

LEGAL DESCRIPTION:

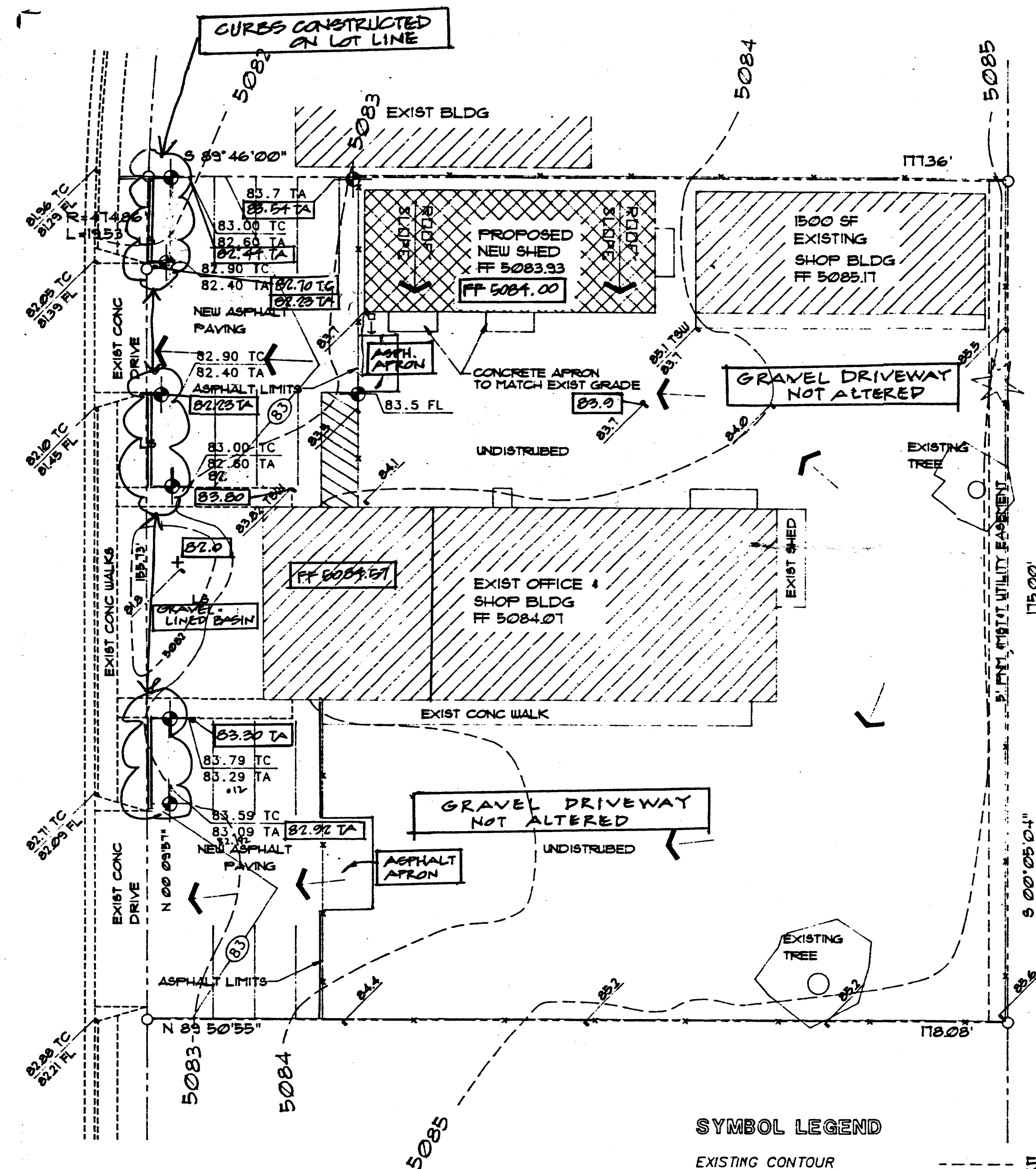
Lot Z, Unit 5,
Cutter Industrial Park, Albuquerque,
Bernalillo County, New Mexico

BENCH-MARK INFORMATION

TEMPORARY BENCH-MARK BEING THE TOP OF EXISTING FINISHED FLOOR ELEVATION BEARS ELEVATION 5083.33 REFERENCE TO CITY BENCH-MARK 8A-H16, BEARING ELEVATION 5088.32(19SL)



3360 COLUMBIA NE

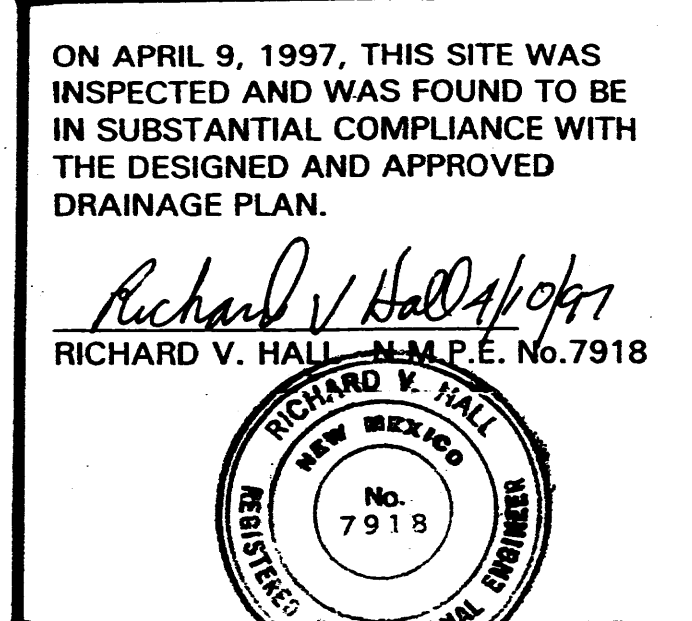


SYMBOL LEGEND

EXISTING CONTOUR	5102
EXISTING CONTOUR	66.50 TC
DESIGNED SPOT ELEVATION	45
PROPERTY LINE	
EASEMENT LINE	
FLOW DIRECTION	
EXISTING SPOT ELEVATION	
EXISTING CHAINLINK FENCE	
PROPOSED DOWNSPOUT	

ABBREVIATION LEGEND

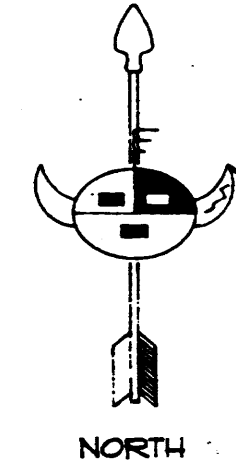
TOP OF CURB - TC
TOP OF ASPHALT - TA
FLOWLINE - FL
TOP OF CONC. PAD - TCP
TOP OF SIDEWALK - TSW
AS BUILT CONDITIONS & SPOT ELEVATIONS SHOWN IN BOXES



GRADING & DRAINAGE PLAN

SCALE: 1"=20.0'

0' 5' 10' 20' 40'



ACCESSIBLE ROUTE
THE ACCESSIBLE ROUTE IS A PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES WITHIN A SITE, BUILDING OR FACILITY THAT IS USABLE BY PERSONS WITH PHYSICAL DISABILITIES. IN THIS FACILITY THE ACCESSIBLE ROUTE CONSISTS OF WALKING SURFACES WITH A SLOPE NOT STEEPER THAN 1:20, RAMPS WITH A SLOPE NOT STEEPER THAN 1:12, HC PARKING SPACES AND ACCESS AISLES WITH A SLOPE NOT GREATER THAN 1:48 IN ANY DIRECTION AND CLEAR FLOOR SPACE FOR ACCESSIBLE ELEMENTS. CROSS SLOPES SHALL NOT EXCEED 1:48.

Sheet Title

GRADING AND DRAINAGE PLAN

Drawn By: H Hood
Checked By:

HOOD & COMPANY
DEVELOPMENT CONSULTANTS - GENERAL CONTRACTING

3360 COLUMBIA ST. NE
ALBUQUERQUE, NEW MEXICO

Project Name

PROPOSED AUTO SHED
FOR AERO PAINT & BODY
3360 COLUMBIA ST. NE
ALBUQUERQUE, NEW MEXICO

SHEET NO.

2

DRAINAGE CALCULATIONS

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IMPERVIOUSNESS:		EXISTING		PROPOSED	
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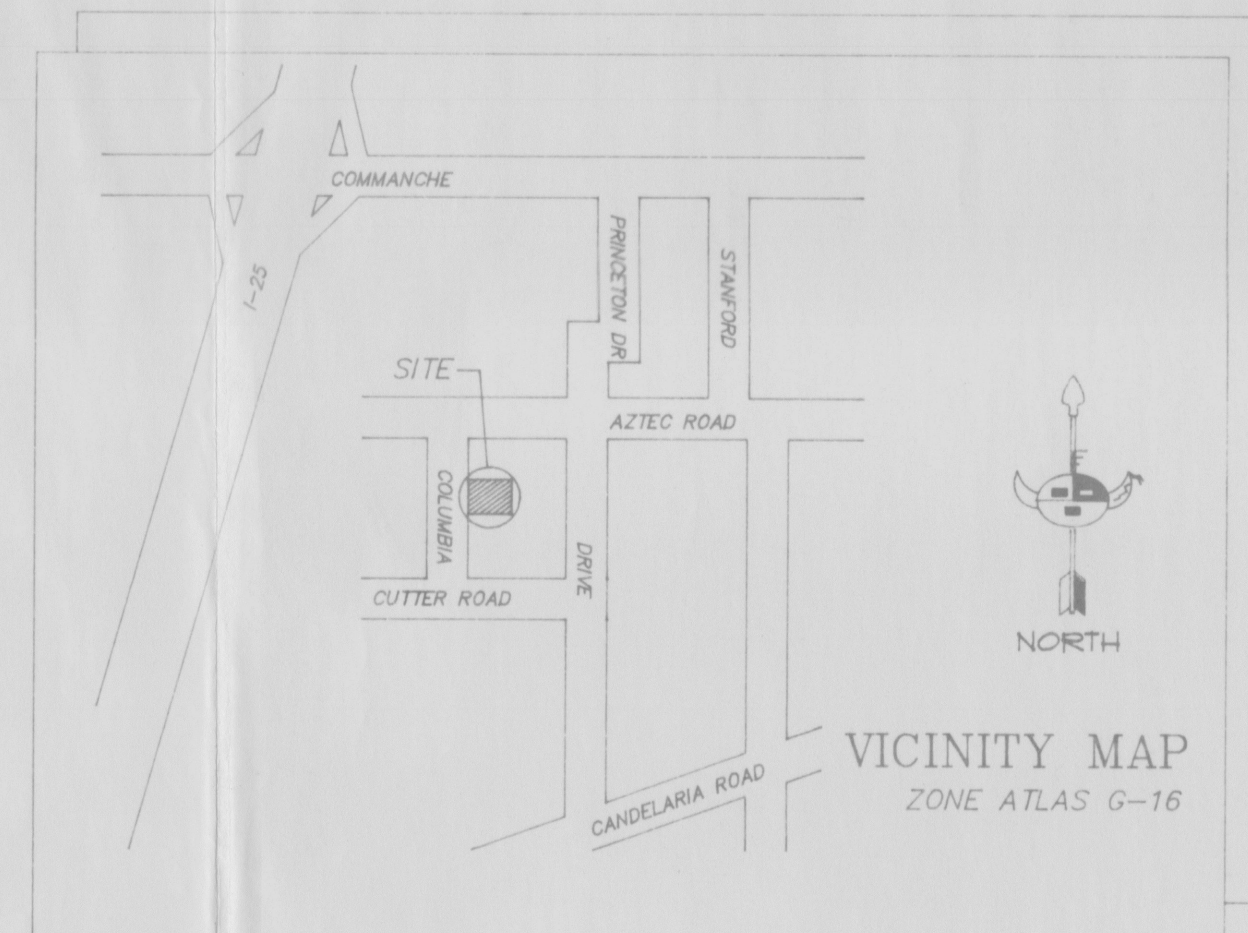
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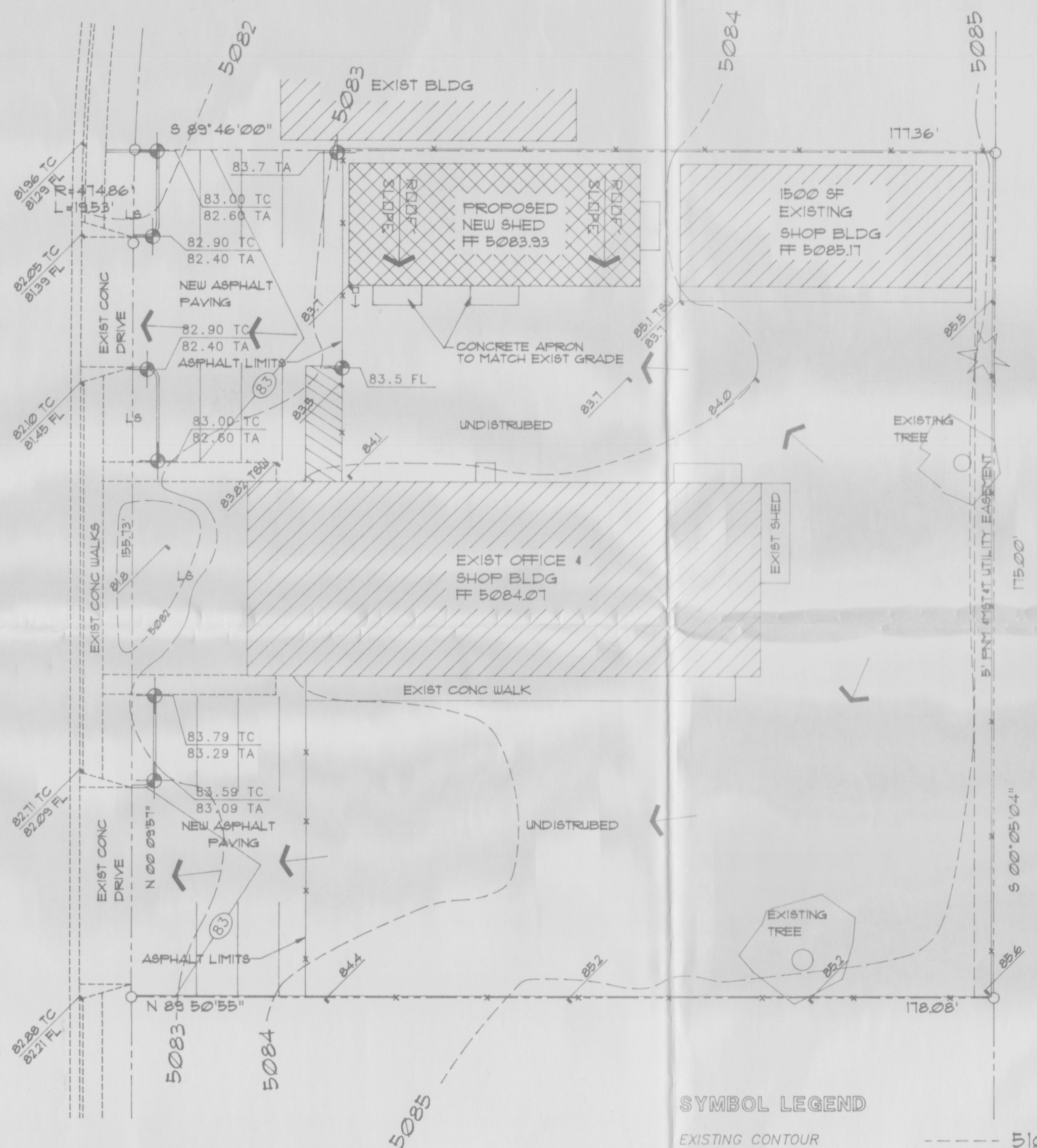
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BENCH-MARK INFORMATION

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3360 COLUMBIA NE

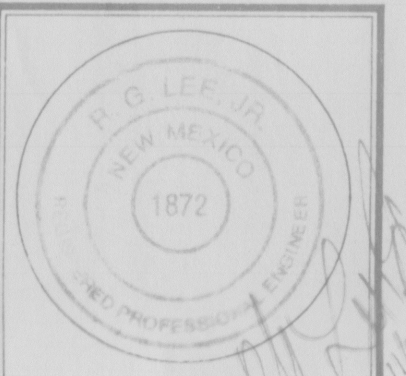
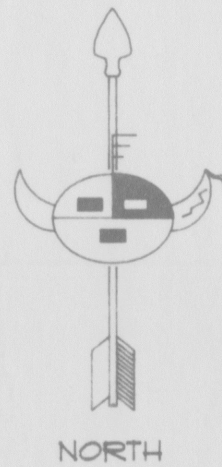


ABBREVIATION LEGEND

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FLOWLINE - FL
TOP OF CONC. PAD - TOP
TOP OF SIDEWALK - TSW

SYMBOL LEGEND

EXISTING CONTOUR
EXISTING CONTOUR
DESIGNED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
EXISTING CHAINLINK FENCE
PROPOSED DOWNSPOUT



JOB NO:	9620
DATE:	12 NOVEMBER 1996
REVISIONS	

Sheet Title
GRADING AND DRAINAGE PLAN
Drawn By: H Hood
Checked By:

HOOD & COMPANY
DEVELOPMENT CONSULTANTS - GENERAL CONTRACTING
3360 COLUMBIA ST. NE
ALBUQUERQUE, NM 87109-5377

Project Name
**PROPOSED AUTO SHED
for AERO PART & BODY**
3360 COLUMBIA ST. NE
ALBUQUERQUE, NEW MEXICO

SHEET NO.
2

RECEIVED
DEC - 2 1996
HYDROLOGY DIVISION

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