

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services

June 8, 2015

Doug Heller, R.A.
Mullen Heller Architecture, P.C.
924 Park Ave. SW
Albuquerque, NM 87102

**Re: IL Vicino Canteen Brewhouse Kitchen Expansion
2381 Aztec Rd NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 6-5-15 (G16-D089)**

Dear Mr. Heller,

The TCL submittal received 6-8-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Canteen Brewhouse Kitchen Expansion

ZONE MAP/DRG. FILE #: G-16-Z

DRB #: N/A

EPC#: N/A

WORK ORDER#: N/A

LEGAL DESCRIPTION: Portion of Tract A, Lands of Aaron Mcgruder

CITY ADDRESS: 2381 Aztec Road NE. Albuquerque, New Mexico 87107

ENGINEERING FIRM:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

OWNER: IL Vicino Canteen Brewhouse

ADDRESS: 2381 Aztec Road NE.

CITY, STATE: Albuquerque, NM.

CONTACT: Tom White

PHONE: 505-881-2737

ZIP CODE: 87107

ARCHITECT: Mullen Heller Architecture P.C

ADDRESS: 924 Park Avenue SW, Suite B

CITY, STATE: Albuquerque, NM

CONTACT: Doug Heller

PHONE: 505-268-4144

ZIP CODE: 87107

SURVEYOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR:

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

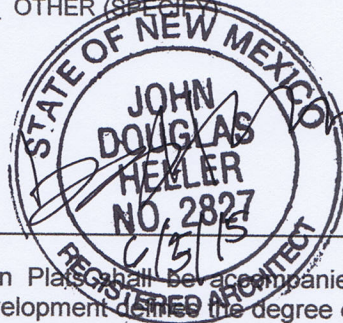
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: June 5, 2015

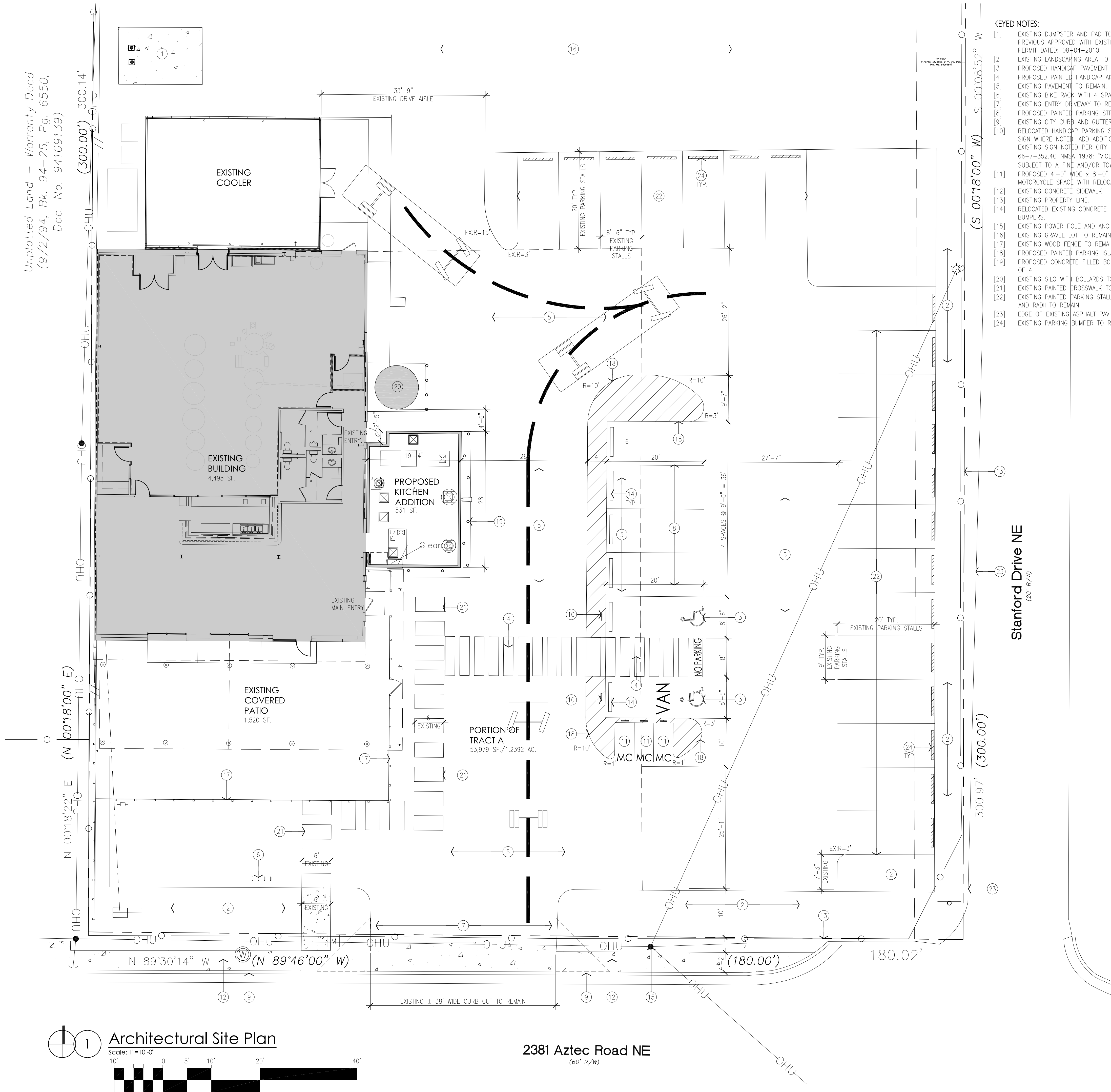
BY: Doug Heller



Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

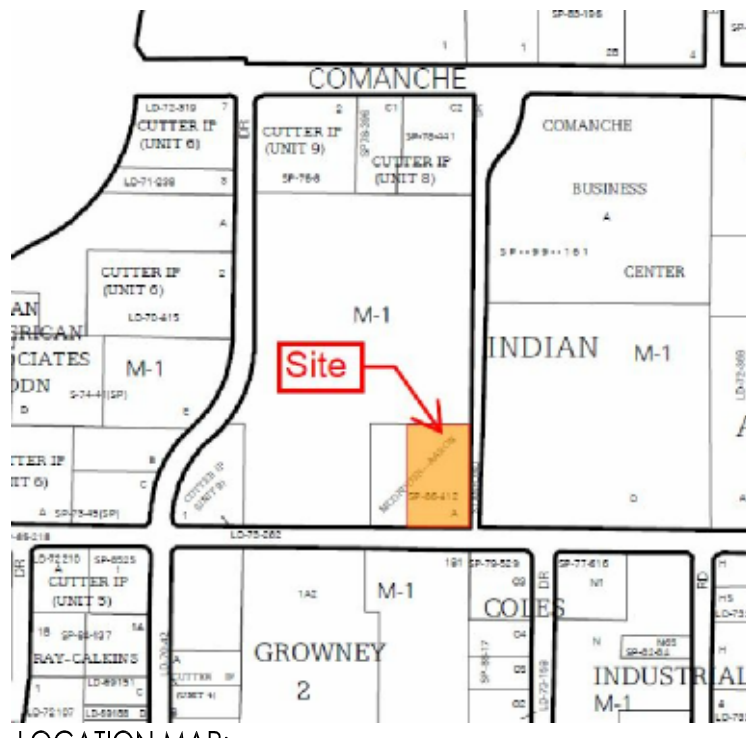
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Unplatted Land – Warranty Deed
(9/2/94, Bk. 94-25, Pg. 6550,
Doc. No. 94109139)

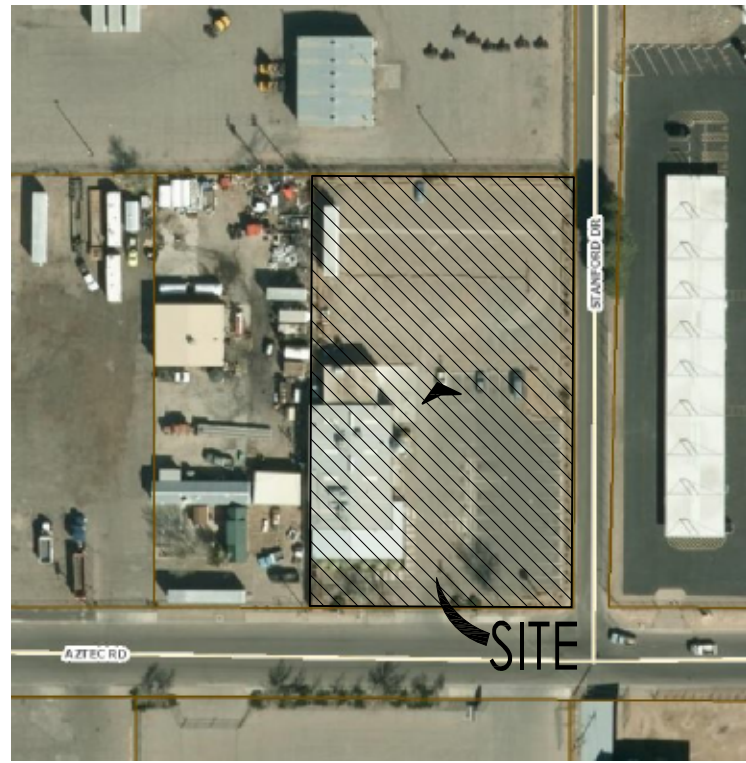


KEYED NOTES:

- [1] EXISTING DUMPSTER AND PAD TO REMAIN AS PREVIOUS APPROVED WITH EXISTING BUILDING PERMIT DATED: 08-04-2010.
- [2] EXISTING LANDSCAPING AREA TO REMAIN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED PAINTED HANDICAP AISLE.
- [5] EXISTING PAVEMENT TO REMAIN.
- [6] EXISTING BIKE RACK WITH 4 SPACES.
- [7] EXISTING ENTRY DRIVEWAY TO REMAIN.
- [8] PROPOSED PAINTED PARKING STRIPING.
- [9] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [10] RELOCATED HANDICAP PARKING SIGN. "VAN" SIGN WHERE NOTED. ADD ADDITIONAL SIGN TO EXISTING SIGN NOTED PER CITY ORDINANCE 66-7-352.4C NMSA 1978: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- [11] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACE WITH RELOCATED SIGNAGE OF 4.
- [12] EXISTING CONCRETE SIDEWALK.
- [13] EXISTING PROPERTY LINE.
- [14] RELOCATED EXISTING CONCRETE PARKING BUMPERS.
- [15] EXISTING POWER POLE AND ANCHOR.
- [16] EXISTING GRAVEL LOT TO REMAIN.
- [17] EXISTING WOOD FENCE TO REMAIN.
- [18] PROPOSED PAINTED PARKING ISLAND.
- [19] PROPOSED CONCRETE FILLED BOLLARDS, TYP. OF 4.
- [20] EXISTING SILO WITH BOLLARDS TO REMAIN.
- [21] EXISTING PAINTED CROSSWALK TO REMAIN.
- [22] EXISTING PAINTED PARKING STALLS, ISLANDS AND RADII TO REMAIN.
- [23] EDGE OF EXISTING ASPHALT PAVING.
- [24] EXISTING PARKING BUMPER TO REMAIN.



LOCATION MAP:



VICINITY MAP:

SITE DEVELOPMENT DATA:

CONT

BUILDING SETBACKS:

FRONT: 10'-0"
SIDE: 5'-0"
REAR: 5'-0"

SETBACKS PER: ALBUQUERQUE COMPREHENSIVE ZONING CODE: G-2 WHICH REFERENCES Q-1 REQUIREMENTS (14-16-2-15) (E).

BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT: 36'-0"

STRUCTURE HEIGHT SHALL CONFORM TO THE CITY OF ALBUQUERQUE COMPREHENSIVE ZONING CODE: M-1 14-16-2-20.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:

PORTION OF TRACT A
LANDS OF AARON MCGRUDER
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

EXISTING BUILDING ADDRESS:

2381 AZTEC ROAD, NE,
ALBUQUERQUE, NEW MEXICO 87107

LAND AREA:

1.24 ACRES (54,014 SQ. FT.) OVERALL PROPERTY

CURRENT ZONING:

M-1

ZONE ATLAS PAGE:

G-16-Z

BUILDING AREAS:

EXISTING BUILDINGS	6,015 SF.
PROPOSED KITCHEN ADDITION	531 SF.
TOTAL BUILDING AREA:	6,546 SF.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR-SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL FENCES SHALL BE UNDER SEPARATE PERMIT.

PARKING CALCULATIONS:

NOTE: CALCULATIONS BASED ON EXISTING BUILDING PERMIT DATED: 08-04-2010

EXISTING DEVELOPMENT:

EXISTING PARKING REQUIRED:	20 SPACES
EXISTING PARKING PROVIDED:	30 SPACES

NEW KITCHEN ADDITION:

531 SF./200 =	3 SPACES
	TOTAL REQUIRED

TOTAL PARKING SPACES REQUIRED: = 23 SPACES

TOTAL PARKING SPACES PROVIDED: = 26 SPACES WITH REVISED PARKING ISLAND

24 REGULAR SPACES
2 HANDICAP PARKING SPACES

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED	= 1 SPACES
TOTAL DISABLED SPACES PROVIDED	= 2 SPACES

MOTORCYCLE REQUIREMENTS:

TOTAL MOTORCYCLE SPACES REQUIRED	= 1 SPACE
TOTAL MOTORCYCLE SPACES PROVIDED	= 3 SPACE

COMMERCIAL BICYCLE REQUIREMENTS:

1 BICYCLE SPACE FOR EACH 20 PARKING SPACES = 23 PARKING SPACES/20 = 1 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 1 SPACE

TOTAL BICYCLE SPACES PROVIDED: = 4 SPACES

****EXISTING BIKE RACK TO REMAIN****



2 Existing Site Conditions

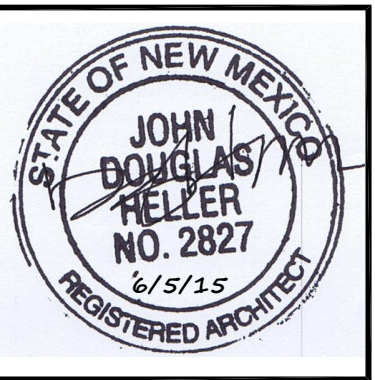
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revision
by
date



Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]



project file	15-04
job number	mws
drawn by	Douglas Heller, AIA
project manager	5/11/15
date	

project file
Canteen Brewhouse Kitchen Expansion
2381 Aztec Road, NE
Albuquerque, New Mexico 87107
sheet file
Architectural Site Plan

sheet-
A001