

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 1, 2024

Tom Ferguson  
ArcWest Architects  
1525 Raleigh St., Suite 320  
Denver, CO 80204

**RE: R+L Carriers Maintenance Bldg  
2381 Aztec Rd NE  
Grading and Drainage Plans  
Engineer's Stamp Date: 12/29/23  
Hydrology File: G16D092**

Dear Mr. Ferguson:

PO Box 1293

Based upon the information provided in your submittal received 03/25/2024, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



December 29, 2023

Ms. Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department  
City of Albuquerque, New Mexico

RE: R+L Carriers Maintenance, 2381 Aztec Rd NE  
Grading and Drainage Plan  
Engineer's Stamp Date: No Date  
Hydrology File: G16D092

Dear Ms. Brissette:

Please find enclosed the following documents for your review and approval:

- **Drainage and Grading Plan Exhibit**
- ***Waiver of Management Onsite for the Stormwater Quality Volume (SWQV).***

In response to your review letter dated November 16, 2023, we offer the following responses, in ***bold and italics***, to the outstanding comments:

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be stand-alone construction document.

***Response: Grading and Drainage Plan has been revised to stand-alone Exhibit.***

- a. Please provide a licensed New Mexico civil engineer's stamp with signature and date

***Response: Seal and signature have been added to the Grading and Drainage Plan Exhibit.***

- b. Please use 1"=20' for the scale. (This may make two sheets).

***Response: The scale has been revised, 1"=20' scale has been used.***

- c. Please provide a Vicinity Map. Typically, this is the Zone Atlas. This can be downloaded from the City of Albuquerque's website.

***Response: The Vicinity Map has been added to the Grading and Drainage Plan Exhibit, please see sheet EX4.***

- d. Please provide the Benchmark information (location, description and elevation) for the survey contour information provided.

***Response: The Benchmark information has been added to the Grading and Drainage Plan Exhibit.***

- e. Please provide FIRM Map and flood plain note with effective date.

***Response: The FIRM Map with flood plain note and effective date has been added to the Grading and Drainage Plan Exhibit, please see sheet EX4.***



f. Please provide a legal description of the property.

**Response: The legal description of the property has been added to the Grading and Drainage Plan Exhibit.**

2. The runoff for this site sheet drains from the southeast corner of the property to the northwest corner. It does not appear that the provided Stormwater Quality Pond will drain to Aztec. Therefore, I would suggest removing the pond and filling out the attached Waiver of Management Onsite for the Stormwater Quality Volume (SWQV).

**Response: The infiltration basin has been removed. Please see attached Waiver of Management Onsite for the Stormwater Quality Volume (SWQV).**

3. Please add a note which states, "The Owner has elected to pay the Payment in Lieu for the required Stormwater Quality Volume. The Payment in Lieu Amount = 1,114 CF x \$8/CF=\$8,912.00".

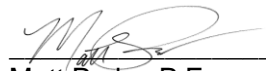
**Response: A note has been added to the Grading and Drainage Plan Exhibit.**

4. The narratives and drainage calculations look great. However, they are a little bit out of focus and hard to read. Since the projects appears to need two sheets, please fix so that they are more readable.

**Response: The narrative and calculations have been fixed so they are readable, please see sheet EX4.**

If you have any questions or need any additional information, please contact us.

Yours Truly,  
MANHARD CONSULTING, LTD.

  
\_\_\_\_\_  
Matt Parks, P.E.  
Project Manager

**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
**HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

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**GENERAL INFORMATION**

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APPLICANT: R+L Carriers, Inc. DATE: 12/28/2023

DEVELOPMENT: R+L Carriers Maintenance Building Addition

LOCATION: 2381 Aztec Rd NE,

Albuquerque, New Mexico 87107

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**STORMWATER QUALITY POND VOLUME**

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 1114 cubic feet

The provided volume is 0 cubic feet

The deficient volume is 1,114 cubic feet

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**WAIVER JUSTIFICATION**

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: \_\_\_\_\_

The site is entirely developed in existing condition  
with 100% impervious area. The site in current  
conditions discharge directly to the Aztec Road  
by the overland flow. In proposed conditions the  
the site will maintain positive drainage out of  
the site toward Aztec Road as it does today.  
The Owner is requesting to make a payment  
in lieu of water quality ponding for this project.



\_\_\_\_\_  
Professional Engineer or Architect

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## PAYMENT-IN-LIEU

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Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 8,912

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## THIS SECTION IS FOR CITY USE ONLY

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☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

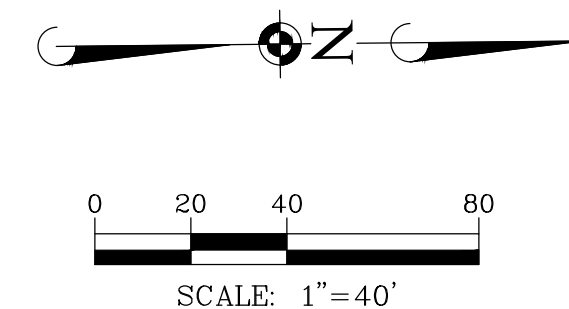
☐ Waiver is DENIED.

*Renée C. Brissette*

City of Albuquerque  
Hydrology Section

04/01/24



[illegible]

**Manhard**  
CONSULTING

100 Springer Drive, Lombard, IL 60148 PH: 630.991.6500 FX: 630.991.6595 [info@mh.com](mailto:info@mh.com)  
Bill Engle, President, Sales, Service, Business Development, Western Sales, Western Business Development, Western Sales, Western Business Development  
Construction Management • Environmental Sciences • Landscape Architecture • Planning  
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**R+L CARRIERS - ALBUQUERQUE**

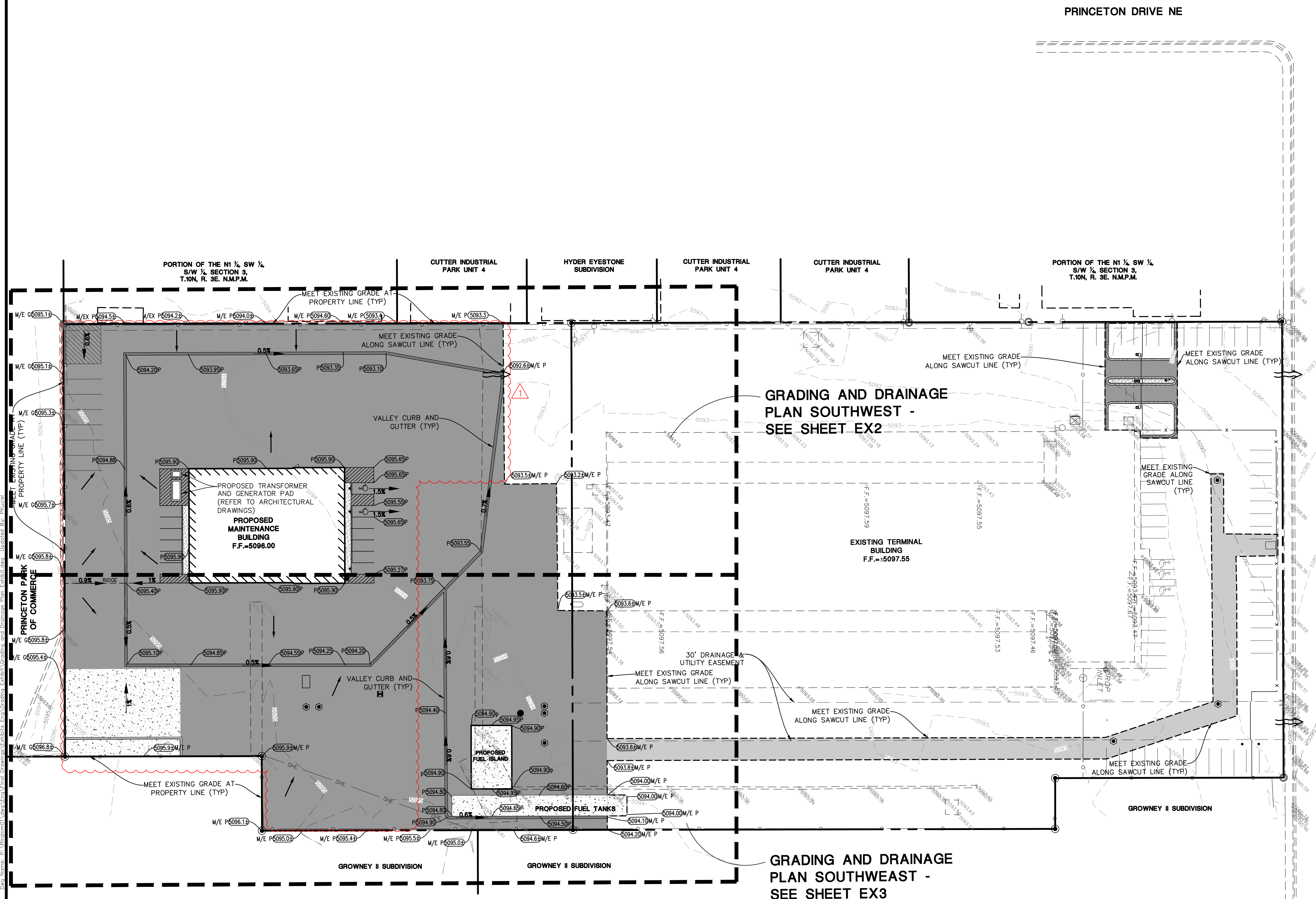
**CITY OF ALBUQUERQUE, NEW MEXICO**

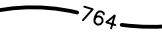
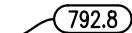





**GRADING AND DRAINAGE PLAN EXHIBIT - C**

PROJ. MGR.: MSP  
PROJ. ASSOC.: PK  
DRAWN BY: PK  
DATE: 12/29/2023  
SCALE: 1"=40'

**SHEET**  
**EX1**  
RLR.ALNM01

**FOR REVIEW**



01-00-18	
	<b><u>GRADING PLAN LEGEND</u></b>
	PROPOSED 1 FOOT CONTOURS
	PROPOSED SPOT ELEVATION
F.F.	PROPOSED FINISHED FLOOR ELEVATION
G/F	PROPOSED GRADE AT FOUNDATION
P	PROPOSED PAVEMENT ELEVATION
T/C	PROPOSED TOP OF CURB
T/W	PROPOSED TOP OF WALK
T/WALL	PROPOSED TOP OF WALL
M/E	MEET EXISTING
G	PROPOSED GROUND GRADE OR GROUND AT BASE OF RETAINING WALL
	PROPOSED DITCH OR SWALE
	PROPOSED DIRECTION OF FLOW
	OVERFLOW RELIEF SWALE
	PROPOSED RIDGE LINE
	PROPOSED DEPTH OF PONDING
①	PROPOSED SWALE LOW POINT
②	PROPOSED SWALE SUMMIT

- GRADING NOTES:**
1. PAVEMENT SLOPES THROUGH HANDICAP ACCESSIBLE PARKING AREAS SHALL BE 2.00% MAXIMUM IN ANY DIRECTION.
  2. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
  3. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
  4. THE CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
  5. THE CONTRACTOR SHALL CONTACT NM811 (505-254-7310) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
  6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO DETERMINE EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
  8. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY SURV TEK ON.
  9. THE CONTRACTOR SHALL REVIEW THE EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT THE EXISTING TOPOGRAPHY, THE CONTRACTOR SHALL, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY OF THE PROPOSED LAND SURVEYOR TO THE OWNER FOR REVIEW.
  10. TRANSITIONS FROM DERESSED CURB TO FULL HEIGHT CURB SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  11. REFER TO STORMWATER REPORT PREPARED BY MANHARD CONSULTING FOR ADDITIONAL DRAINAGE INFORMATION.
  12. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY FEE, THE PAYMENT IN LIEU AMOUNT = 1,114 CF X \$8/CF = \$9,112.00.

**BENCHMARKS:**

SOURCE BENCHMARK: CANDELARIA  
NORTH: 1497091.458'  
EAST: 1528901.06'  
ELEVATION = 5090.846

SITE BENCHMARK: 12\_H16  
NORTH: 1497171.321'  
EAST: 1529674.861'

**LEGAL DESCRIPTION:**

TRACTS 1A-1 & 1A-2 OF GROWNEY II  
SUBDIVISION, BEING A REPLAT OF TRACT 1A, AND  
BEING SITUATED WITHIN THE SOUTHWEST 1/4 OF  
THE SOUTHWEST 1/4 SECTION 3, T10N,R3E,  
N.M.P.M., AS THE SAME ARE SHOWN AND  
DESIGNATED ON THE REPLAT, FILED IN THE OFFICE  
OF THE COUNTY CLERK OF BERNALILLO COUNTY,  
NEW MEXICO, ON THE 22ND DAY OF MARCH 1995,  
IN PLAT BOOK 95C, FOLIO 102.



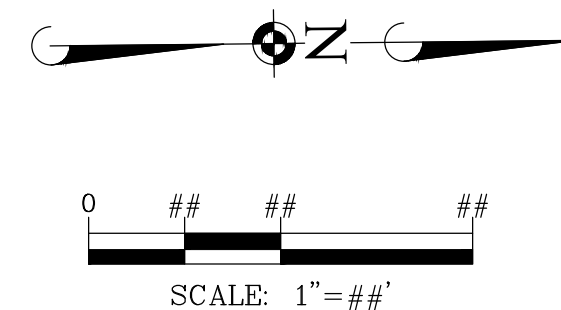


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2. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
3. MEET EXISTING GRADE AT PROPERTY LIMITS UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
5. THE CONTRACTOR SHALL CONTACT NM811 (505-254-7310) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL OBTAIN ANY NECESSARY PERMITS. ANY UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, FIELD SURVEYMENTS. ANY UTILITY INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO RE-ELECT EXIST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING THE CONSTRUCTION, THE CONTRACTOR SHALL ACCEPT RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
8. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY SURV TECON. THE CONTRACTOR SHALL CHECK THE EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. TRANSITIONS FROM DEPRESSED CURB TO FULL HEIGHT CURB SHALL BE TAPERED AT 2H:1V UNLESS OTHERWISE NOTED.
10. REFER TO STORMWATER REPORT PREPARED BY MANHARD CONSULTING FOR DRAINAGE VOLUME, FLOW, AND DETENTION.
11. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VOLUME. THE PAYMENT IN LIEU AMOUNT =  $1,114 \text{ of } X \$8/\text{CF} = \$9,120.00$ .

	<b>City of Albuquerque</b> <b>Planning Department</b> <b>Development Review Services</b> <b>HYDROLOGY SECTION</b> <b>APPROVED</b> DATE: <u>04/01/24</u> BY: <u>Louis C Brucelle</u> Hydrologist # <u>G16D092</u>
THE APPROVAL OF THESE PLANS/PERMIT IS NOT TO BE CONSIDERED AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SUBMITTED BY THE APPLICANT. THE CITY OF ALBUQUERQUE DOES NOT REPRESENT OR WARRANT THAT THE INFORMATION PROVIDED HEREON IS CORRECT, TRUE, AND FREE FROM OMISSIONS OR ERRORS OF COMPLETION. IN ALL PERMITS, SPECIFICATIONS, OR CONDITIONS CONCERNING SUCH APPROVED WORK SHALL BE CHANGED, MODIFIED, OR ALTERED WITHOUT AUTHORITY.	
APPROVAL OF GRADING & DRAINAGE PLANS(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULED ON THE DEVELOPMENT.	

[illegible]

**Manhard**  
CONSULTING

100 Springer Drive, Lombard, IL 60148    ph:630.691.9500    fx:630.691.9695    manhard.com

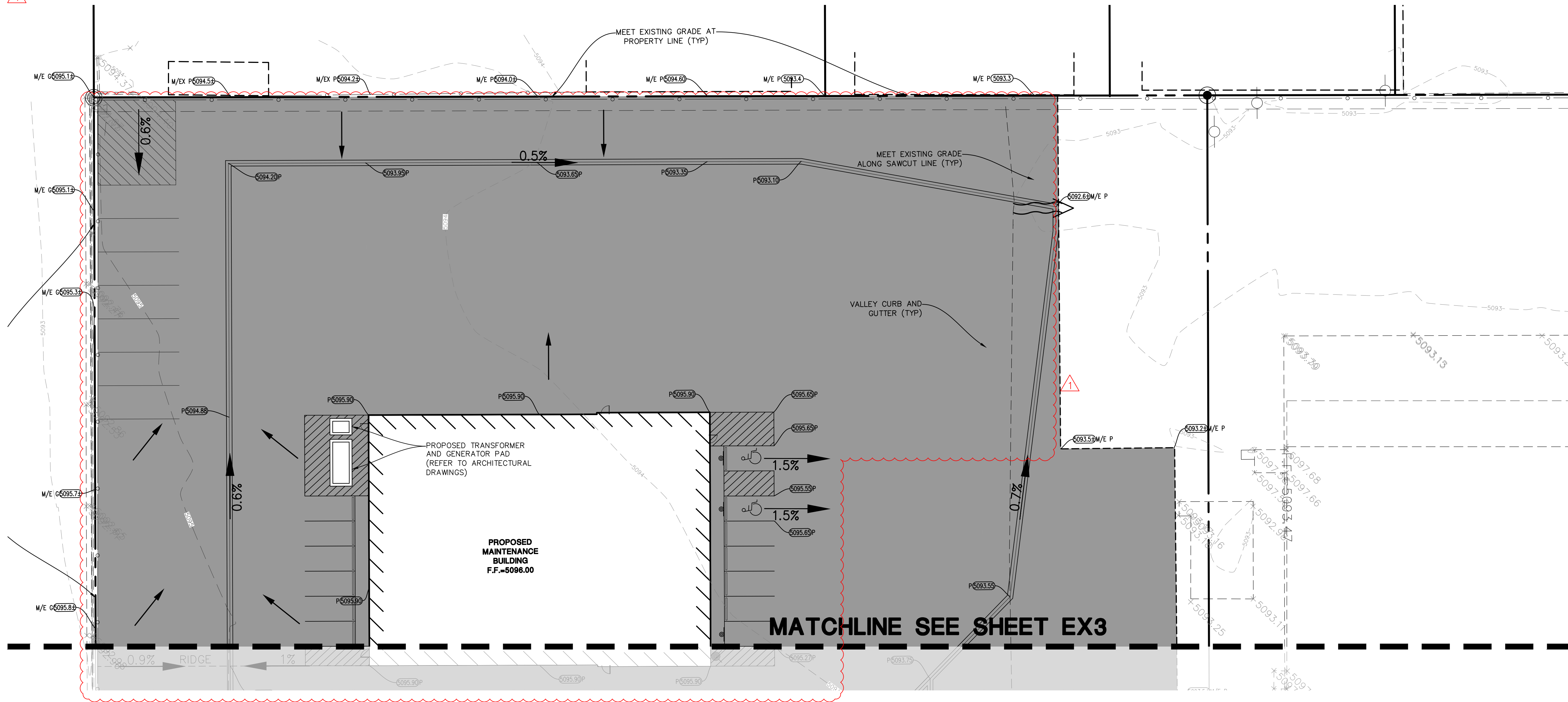
Oil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers

**R+L CARRIERS - ALBUQUERQUE**  
**CITY OF ALBUQUERQUE, NEW MEXICO**  
**GRADING AND DRAINAGE PLAN EXHIBIT - SOUTH**

PROJ. MGR.: MSP  
PROJ. ASSOC.: PK  
DRAWN BY: PK  
DATE: 12/29/2002  
SCALE: 1' = 20'

SHEET  
**EX2**  
RLR.ALNM01

**FOR REVIEW**



December 28, 2023 - 17:10 Dwg Name: P:\BIRGHN01\dwg\Eng\Final Drawings\Exhibits\Eng\Grading Exhibit\Grading and Drainage Plan Exhibit.dwg Updated By: PKuciel



**BENCHMARKS:**

SOURCE BENCHMARK: CANDELARIA  
NORTH: 1497091.458'  
EAST: 1528901.06'

ELEVATION = 5090.846

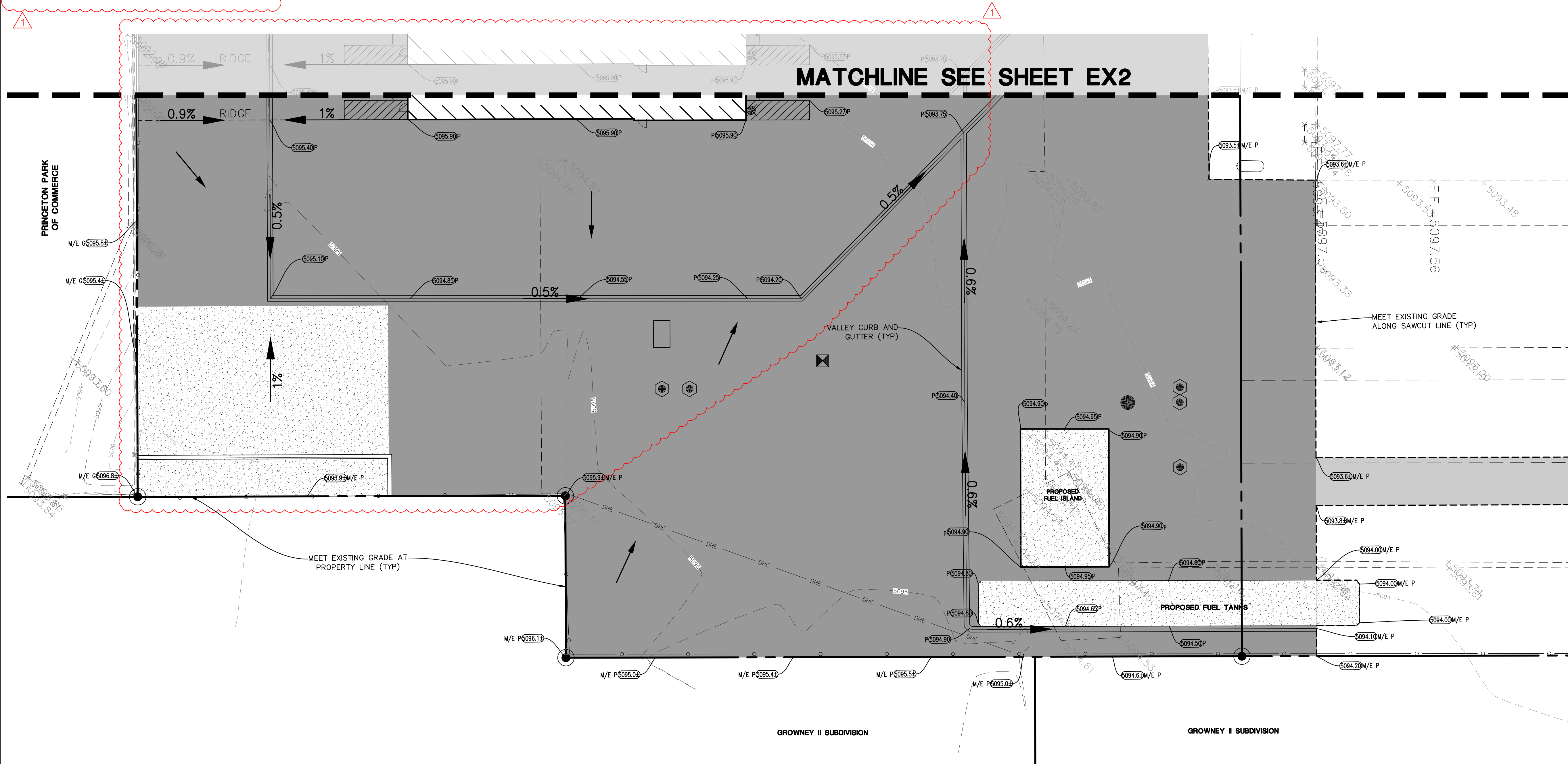
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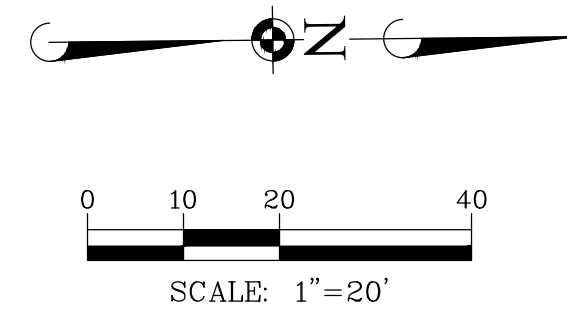
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2. ALL HANDICAP RAMPS SHALL BE CONSTRUCTED WITH A MAXIMUM CROSS SLOPE OF 2.00% OR LESS.
3. MEET EXISTING GRADE AT PROPERTY LINES UNLESS NOTED OTHERWISE.
4. CONTRACTOR SHALL REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN AND DETAILS FOR CONSTRUCTION SCHEDULING AND EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO BEGINNING GRADING OPERATIONS.
5. THE CONTRACTOR SHALL CONTACT NM811 (505-254-7310) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE UTILITIES TO BE LOCATED TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, SURVEY MEASUREMENTS. THE CONTRACTOR'S INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
8. EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY SURVEY TEKN ON. THE CONTRACTOR SHALL DOUBLE CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY OF A REDESIGNED LAND SURFACE TO THE OWNER.
9. TRANSITIONS FROM DEPRESSED CURBS TO FULL HEIGHT CURB SHALL BE TAPERED AT 2H:1V UNLESS OTHERWISE NOTED.
10. REFER TO STORMWATER REPORT PREPARED BY MANHARD CONSULTING FOR ADDITIONAL DRAINAGE INFORMATION.
11. THE OWNER HAS ELECTED TO PAY THE PAYMENT IN LIEU FOR THE REQUIRED STORMWATER QUALITY VALUE. THE PAYMENT IN LIEU AMOUNT = 1,114 OF X \$8/CF = \$8,912.00.

**MATCHLINE SEE SHEET EX2**



City of Albuquerque Planning Department Development Review Services	
<b>HYDROLOGY SECTION</b>	
<b>APPROVED</b>	
DATE:	04/01/24
BY:	<i>Reese Brinck</i>
HydroTrans #	G18D092
<small>THIS APPROVAL OF THIS PLAN AND REPORT SHALL NOT BE CONSIDERED TO PERMIT VIOLATION OF ANY CITY ORDINANCE OR STATE AND FEDERAL LAWS. THE APPROVED CITY AND/OR COUNTY ENGINEER SHALL SPECIFICALLY AUTHORIZE OR DISALLOW IN PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS. SUCH APPROVED DOCUMENTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTORIZATION.</small>	
<b>APPROVAL OF GRADING &amp; DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PUULLED ON THE DEVELOPMENT.</b>	

[illegible]

**Manhard**  
CONSULTING

700 Springer Drive, Lombard, IL 60148 ph: 630.881.4900 fx: 630.881.4945 [manhard.com](http://manhard.com)  
Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers

**R+L CARRIERS - ALBUQUERQUE**

**CITY OF ALBUQUERQUE, NEW MEXICO**

**GRADING AND DRAINAGE PLAN EXHIBIT - SOUTHEAST**

PROJ. MGR.: MSP  
PROJ. ASSOC.: PK  
DRAWN BY: PK  
DATE: 12/29/2023  
SCALE: 1' = 20'

**SHEET**  
**EX3**  
RLR.ALNM01



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**FOR REVIEW**



## 1

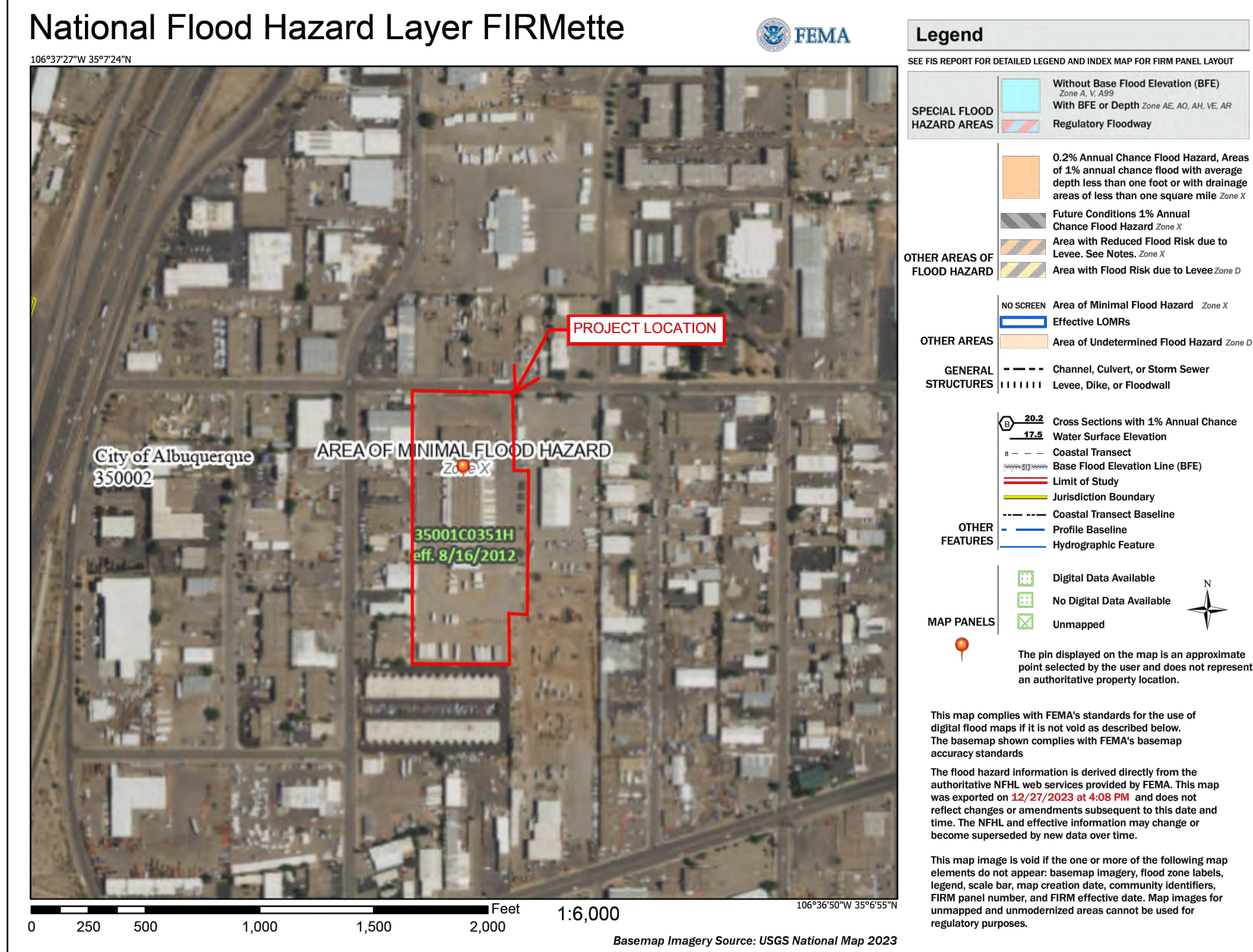
### Existing Conditions

Per the City of Albuquerque Development Process Manual (DPM), Chapter 6, PART 6-2(A), a simplified procedure based on the SCS Rational Method has been established for the determination of peak discharge flowrates and runoff volumes. This method has been used to determine the existing drainage conditions for a 100-yr, 24-hr event for the subject property, which is summarized in Table 2.1/2.2 in the "Existing vs. Proposed Conditions Analysis" below.

In proposed conditions the site will maintain positive drainage out of the site toward Aztec Road as it does today. A Fee-in-Lieu Waiver has been submitted for the required Stormwater Quality Volume for this site.

## 2

### Downstream Capacity and Impacts



	<b>City of Albuquerque Planning Department Development Review Section</b>
	<b>HYDROLOGY SECTION</b>
	<b>APPROVED</b>
DATE:	04/01/24.
BY:	<i>Loree C Brancetti</i>
HydroTrans #	G16D092
THE APPROVAL OF THESE PLANS PERMIT NOT BE USED FOR OTHER PROJECTS OR LOCATIONS WITHOUT THE PERMISSION OF THE CITY OF ALBUQUERQUE AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM CONDUCTING FIELD SURVEY, CORRECT TOPG, OR ORDER OR COMPLETION OF PLANS, SPECIFICATIONS, OR CONTRACT DOCUMENTS. ANY SUBSEQUENT CHANGES SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.	
APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PUILED ON THE DEVELOPMENT.	

[illegible]

**Manhard**  
CONSULTING

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Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers

R+L CARRIERS - ALBUQUERQUE

CITY OF ALBUQUERQUE, NEW MEXICO

## GRADING AND DRAINAGE PLAN EXHIBIT - DETAILS

PROJ. MGR.: MSP  
PROJ. ASSOC.: PK  
DRAWN BY: PK  
DATE: 12/29/2023  
SCALE: N.T.S.

SHEET

**EX4**

RLR.ALNM01

**FOR REVIEW**

