

# CITY OF ALBUQUERQUE



May 10, 2016

Peter Butterfield  
13013 Glenwood Hills Ct., NE  
Albuquerque, NM 87111

**Re: Seattle Fish Company of New Mexico**  
**2500 Comanche Rd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 5-5-16 (G16-D096)

Dear Mr. Butterfield,

The TCL submittal received 5-9-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** Seattle Fish Company of New Mexico **Building Permit #:** \_\_\_\_\_ **City Drainage #:** G16D096  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** TRACT A PLAT OF PARCEL 5-B-1, A M A F C A NORTH DIVERSION CHANNEL & TRACTS A, B & C INDIAN ACRES BUSINESS PARK CONT  
**City Address:** 2500 COMANCHE RD NE ALBUQUERQUE NM 87109

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** Seattle Fish Company of New Mexico **Contact:** Darrin Amador  
**Address:** 2500 COMANCHE RD NE ALBUQUERQUE NM 87109  
**Phone#:** (505) 888-6969 **Fax#:** \_\_\_\_\_ **E-mail:** Jerry@cambroco.com

**Architect:** Peter Butterfield, Architect **Contact:** Peter Butterfield  
**Address:** 13013 Glenwood Hills Ct. NE Albuquerque NM 87111  
**Phone#:** (505) 332-9323 **Fax#:** \_\_\_\_\_ **E-mail:** peterbutterfield@Q.com

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** 5/9/16 **By:** Peter Butterfield

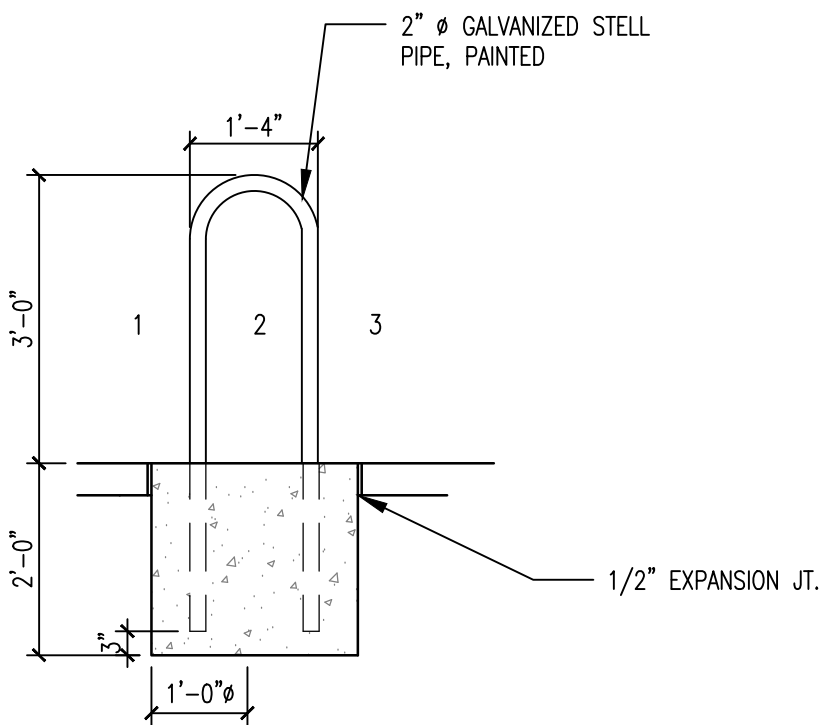
**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

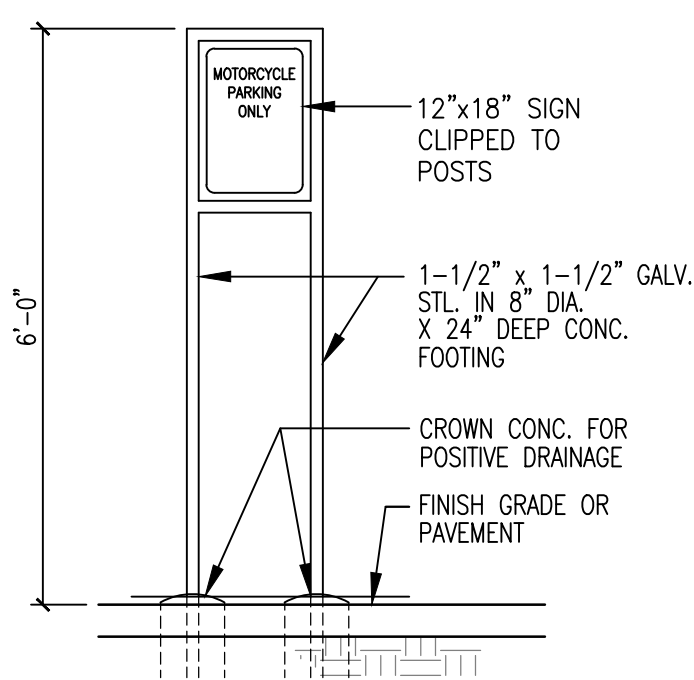
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

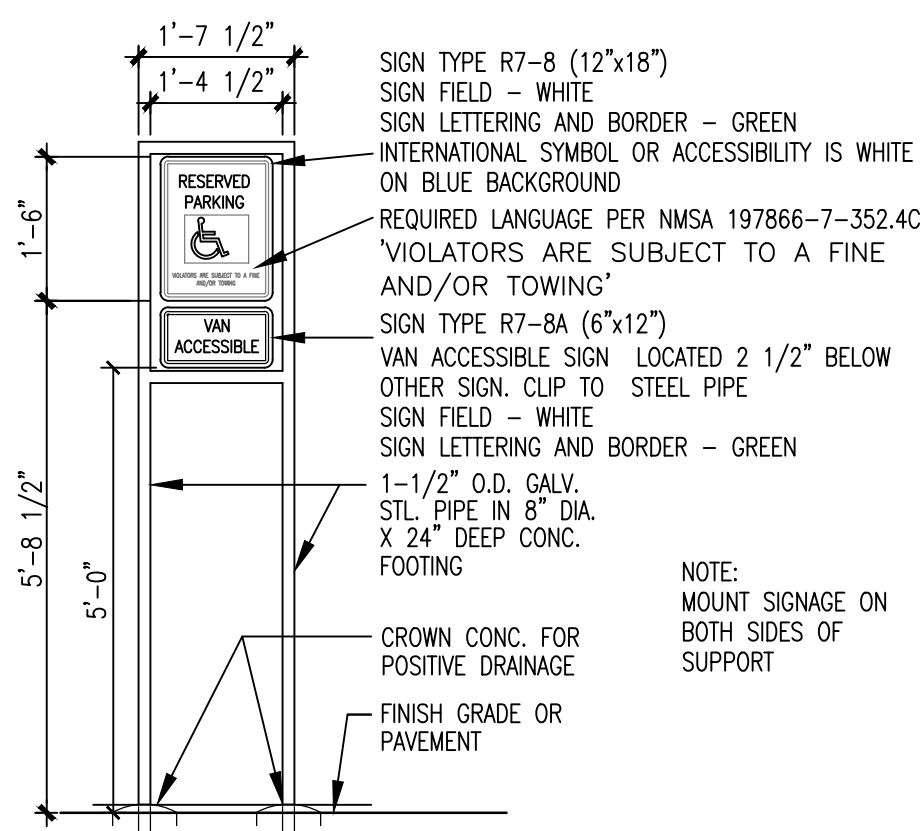




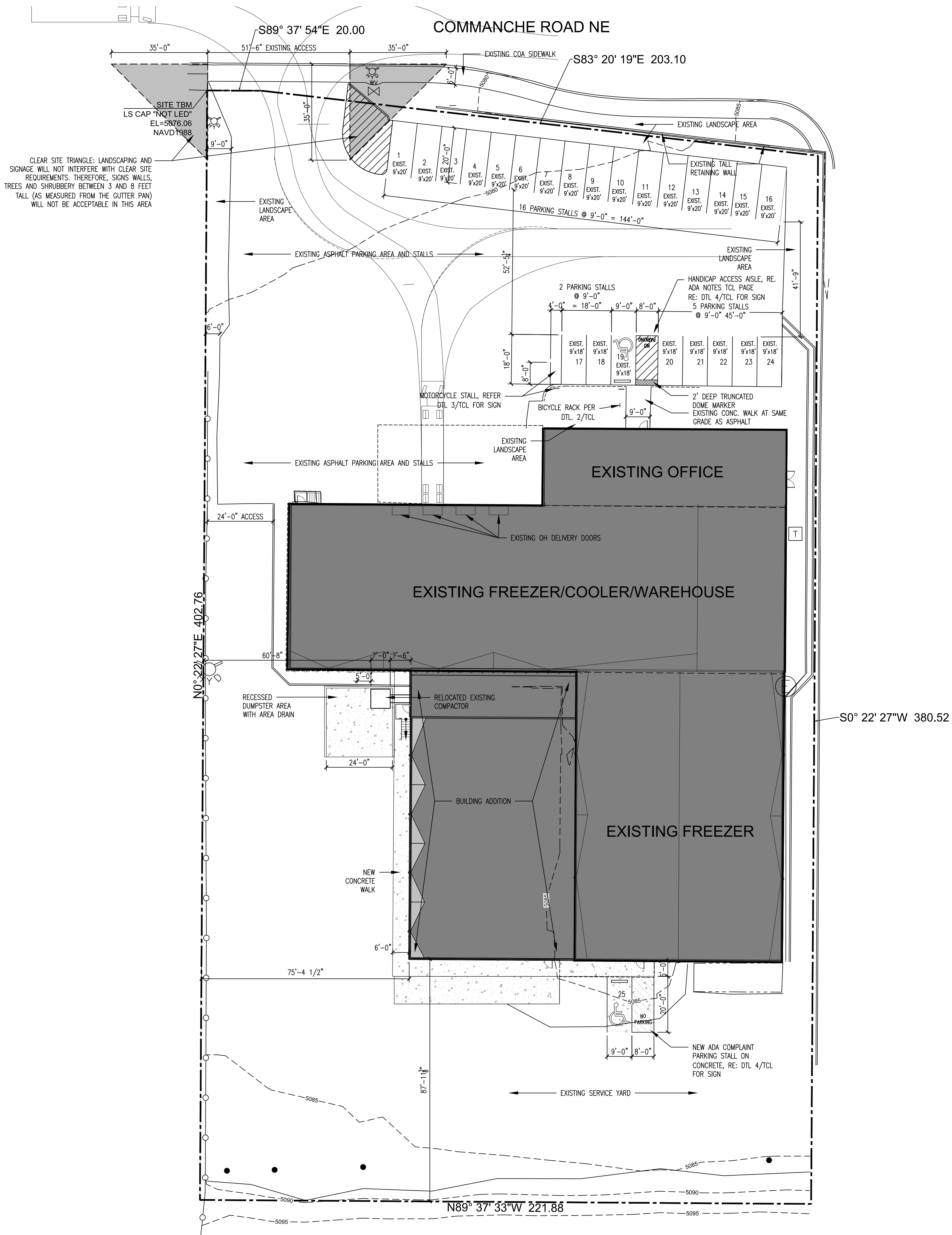
2 BICYCLE RACK  
1/2"=1'-0"



3 MOTORCYCLE SIGN ELEVATION  
1/2"=1'-0"



4 H.C. SIGN ELEVATION  
1/2"=1'-0"



SITE PLAN  
1"=20'-0"

## EXECUTIVE SUMMARY

PROJECT IS LOCATED IN ZONE GRID MAP LOCATION G16, ZONED M-1 FOR INDUSTRIAL/WHOLESALE/AND MANUFACTURING. THE PROJECT IS A 6,300 S.F. WAREHOUSE/FREEZER ADDITION TO AN EXISTING OFFICE/FREEZER WAREHOUSE BUILDING. THE ADDITION IS SEPARATED BY A 2-HOUR RATED FIRE WALL TO CREATE A 'SEPARATE' BUILDING PER IBC SECTION 706.

## ZONING DATA

DESIGNATION: M-1  
UPC: 101 606 021 123 230 926  
OWNER: SFCNM INC  
OWNER ADDRESS: 2500 COMANCHE RD NE ALBUQUERQUE NM 87109  
LEGAL DESCRIPTION: TRACT A PLAT OF PARCEL 5-B-1, A M A F C A NORTH DIVERSION CHANNEL & TRACTS A, B & C INDIAN ACRES BUSINESS PARK CONT  
TOTAL SITE ACRES: 1.9798  
EXISTING OCCUPANCY TYPE: MANUFACTURING/WAREHOUSE  
PARKING REQUIREMENTS:  
WAREHOUSE (EXISTING) = 18,714 SF  
WAREHOUSE (NEW) = 6,300 SF  
OFFICE (EXISTING) = 25,414 SF/2000 = 13 SPACES  
TOTAL PARKING REQUIRED = 2,064/200 SF = 11 SPACES  
TOTAL PARKING PROVIDED: = 24 SPACES

ADA STALLS PROVIDED: 2  
ADA STALLS REQUIRED: 2 (VAN ACCESSIBLE)  
MOTORCYCLE SPACES REQUIRED: 1  
MOTORCYCLE SPACES PROVIDED: 1  
BICYCLE SPACES REQUIRED: 2  
BICYCLE SPACES PROVIDED: 2

## ADA SITE NOTES

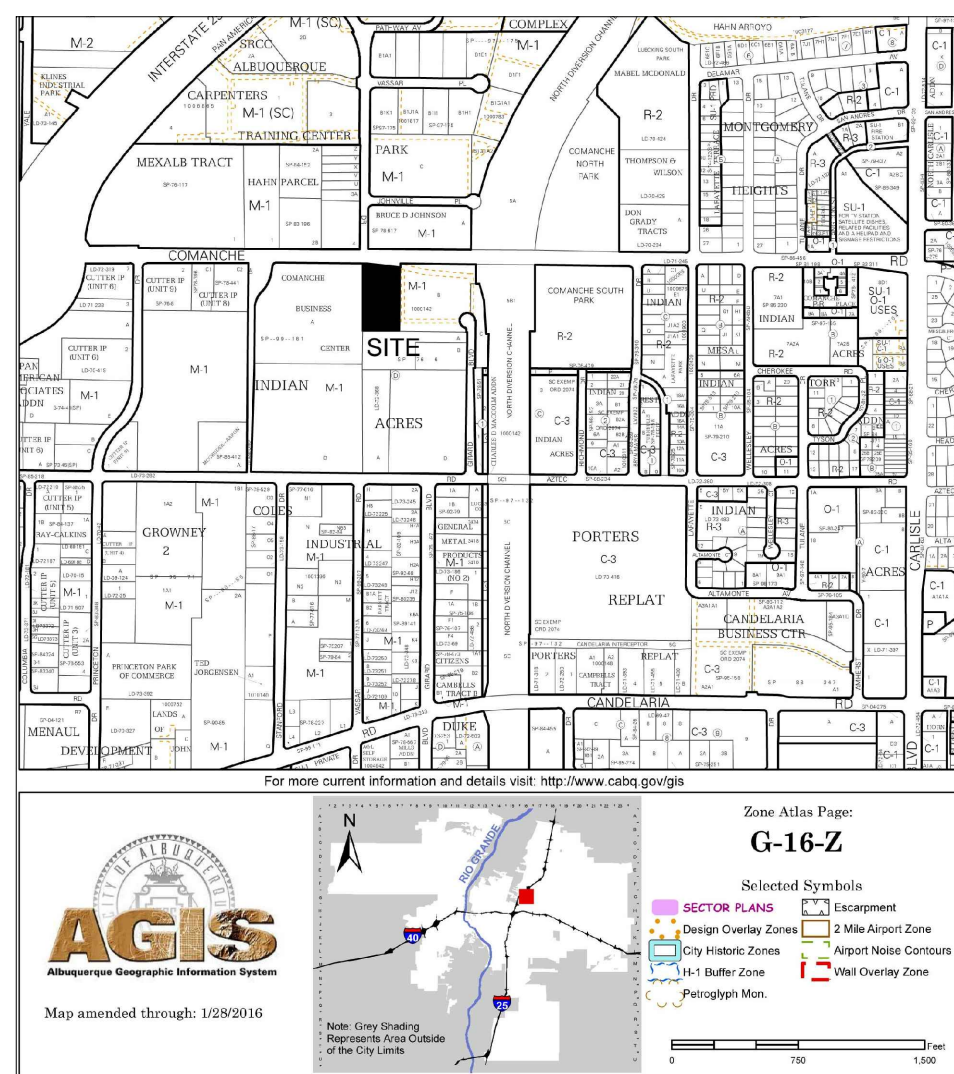
- SIGNAGE (NMBC 1110.1 AND ANSI 502.7)
  - A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE.
  - CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
  - CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
  - SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY ( NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
  - SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A)
  - SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
  - THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
  - IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
  - ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
  - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.
- PAVEMENT MARKINGS (NMBC 1110.3)
  - PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
  - PARKING SPACE LINES BE PAINTED BLUE
  - ACCESS AISLE HAS BLUE, DIAGONAL STRIPING. (66-1-4.1.B NMSA 1978)
  - ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
  - IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

## GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA

## LEGEND

N 90°00'00" E	MEASURED BEARING AND DISTANCES	OHU	OVERHEAD UTILITY LINES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD FOUND AS INDICATED	☆	ANCHOR LIGHT POST
●	FIRE HYDRANT	⊗	WATER VALVE
⊗	SET BATHEY MARKER "LS 14271"	⊗	WATER METER
⊗	COVERED AREA	⊗	SANITARY SEWER MANHOLE
●	POLE	⊗	GAS VALVE
		⊗	UTILITY PEDESTAL



Seattle Fish Company of New Mexico  
2500 Comanche Rd NE  
Albuquerque, NM 87107

SHEET NO.

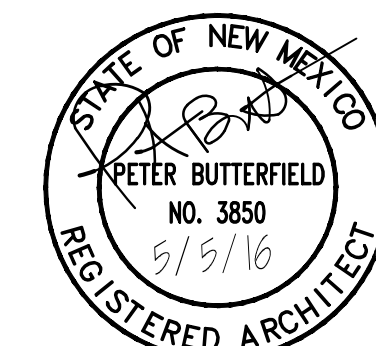
5/5/16

DRAWING NAME

REVISIONS

△  
△

peter butterfield  
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albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901



TCL