CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director

Mayor Timothy M. Keller

June 23, 2020

Scott McGee, PE
Scott M. McGee PE, LLC
9700 Tanoan Dr. NE
Albuquerque, NM 87111

Re: 3301 Candelaria Rd NE
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading and Drainage Plan Stamp Date: 711/15/19
Certification dated: 6/12/20
Drainage File: H19D040

Dear Mr. McGee,

Based on the Certification received 6/16/20 and inspection conducted 6/23/20, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 3301 CANDELARIA NE Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT B PORTER'S REPLAT

City Address: 3301 CANDELARIA RD NE

Applicant: SMM PE Contact: SCOTT McGEE

Address: 9700 TANOAN DR NE

Phone#: 263-2905 Fax#: _____ E-mail: scottmmcgee@gmail.com

Other Contact: TREVESTON ELLIOTT ARCHITECT Contact: TREV ELLIOTT

Address: 811 12TH ST NW

Phone#: 259-4617 Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes X No

DEPARTMENT _____ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

X ENGINEER/ARCHITECT CERTIFICATION
___ PAD CERTIFICATION
___ CONCEPTUAL G & D PLAN
X GRADING PLAN
___ DRAINAGE REPORT
___ DRAINAGE MASTER PLAN
___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
___ ELEVATION CERTIFICATE
___ CLOMR/LOMR
___ TRAFFIC CIRCULATION LAYOUT (TCL)
___ TRAFFIC IMPACT STUDY (TIS)
___ STREET LIGHT LAYOUT
___ OTHER (SPECIFY) _____
___ PRE-DESIGN MEETING?

RECEIVED
NOV 19 2019
LAND DEVELOPMENT SECTION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

___ BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
___ PRELIMINARY PLAT APPROVAL
___ SITE PLAN FOR SUB'D APPROVAL
___ SITE PLAN FOR BLDG. PERMIT APPROVAL
___ FINAL PLAT APPROVAL
___ SIA/ RELEASE OF FINANCIAL GUARANTEE
___ FOUNDATION PERMIT APPROVAL
___ GRADING PERMIT APPROVAL
___ SO-19 APPROVAL
___ PAVING PERMIT APPROVAL
___ GRADING/ PAD CERTIFICATION
___ WORK ORDER APPROVAL
___ CLOMR/LOMR
___ FLOODPLAIN DEVELOPMENT PERMIT
___ OTHER (SPECIFY) _____

DATE SUBMITTED: 11-19-19 6-16-2020 By: Scott McGee

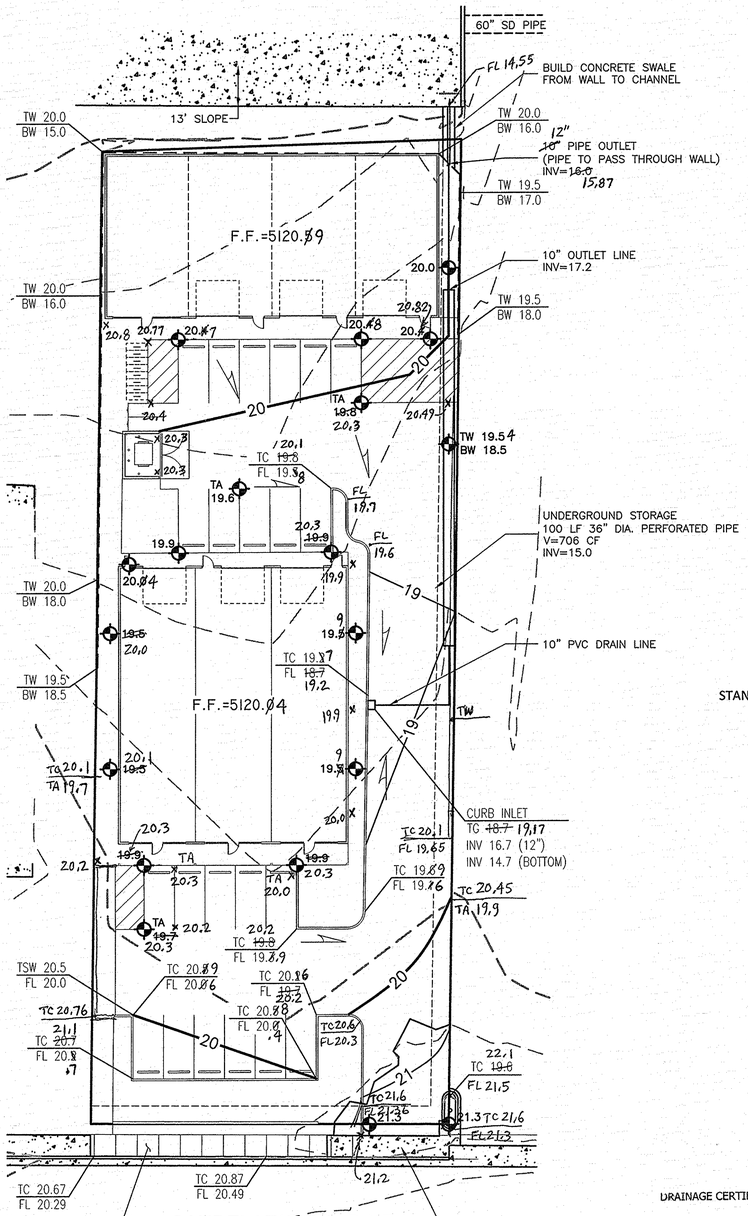
COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

GRADING & DRAINAGE PLAN

3301 CANDELARIA ROAD NE
ALBUQUERQUE, NM 87107

NOVEMBER 15, 2019



Private Drainage Facilities within City Right-of-Way
Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** [or (505) 260-1990] for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.
8. Contractor must contact Augie Armijo at 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

STREET MAINTENANCE INSPECTOR
APPROVAL_____

ADDRESS: 3285 Candelaria Road NE, Albuquerque, NM

LEGAL DESCRIPTION: LOT B PORTER'S REPLAT

SITE AREA: 27,448 SF (0.63 acre)

BENCHMARK: City of Albuquerque Station '6-G17' being a brass cap with ELEV= 5139.195 (NAVD 1988)

SURVEYOR: CSI - Cartesian Surveys Inc. dated May 2019

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0351H (8/16/12), this site is identified as being within Zone 'X' which is an area of minimal flood hazard.

OFFSITE FLOW: Offsite flow does not enter this site.

EXISTING CONDITIONS: The site is an undeveloped commercial site that slopes down to the north at 2%. Runoff discharges to the concrete lined channel running along the north side of the lot.

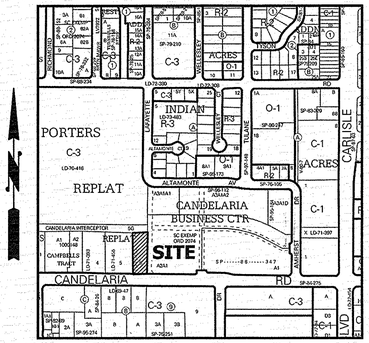
PROPOSED IMPROVEMENTS: Two metal buildings (approximately 4,500 and 5,000 SF) are proposed along with paved parking and access drives and several xeric landscape areas. Landscaped areas will be depressed to retain the rain that falls on them.

DRAINAGE APPROACH: The site drainage pattern will follow historic conditions with the incorporation of onsite retention storage for the first flush volume.

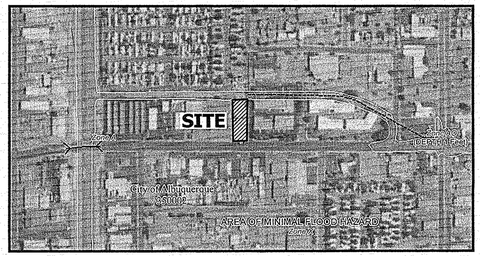
Existing land treatment: 50% B 50% C Precipitation Zone: 2
Q= [(.5)(2.28)+(0.5)(3.14)](0.63)= 1.7 CFS

Proposed land treatment: 10% C and 90% D
Q= [(0.1)(3.14)+(0.9)(4.70)](0.63)= 2.9 CFS

1ST FLUSH V= (0.34/12)(24,650) = 698 CF
The proposed retention storage area will provide V= 706 CF (706 > 698 OK)
Manning's Q_{10}= (1.49/.011)(.545)(.35)(.12) = 3.1 CFS @ 1.5% slope

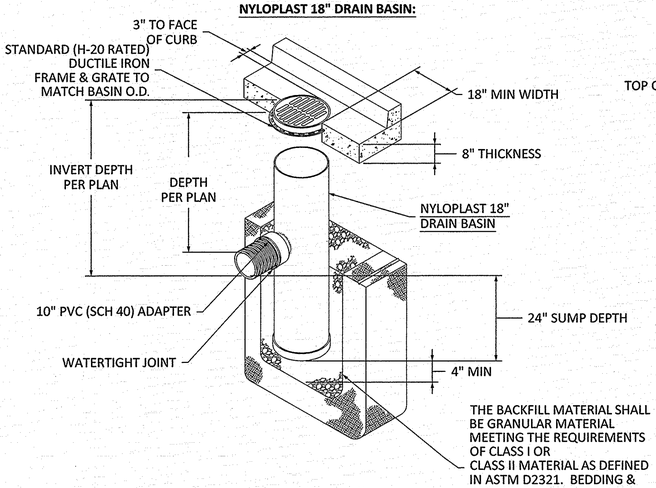


VICINITY MAP G-16-Z



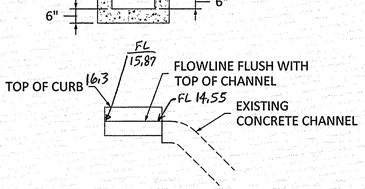
FIRM LIMITS

NYLOPLAST 18" DRAIN BASIN:



CURB INLET DETAIL
NTS

THE BACKFILL MATERIAL SHALL BE GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I OR CLASS II MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.



CONCRETE SWALE
NTS

Legend

— — — —	EXISTING CONTOUR
20	NEW CONTOUR – MAJOR
21	NEW CONTOUR – MINOR
19.9	SPOT ELEVATION
F.F.=5120.0	FINISH FLOOR
TW 20.0 / BW 16.0	TOP OF WALL / BOTTOM OF WALL
TSW 20.5 / FL 20.0	TOP OF SIDEWALK / FLOWLINE
TC 20.87 / FL 20.49	TOP OF CURB / FLOWLINE
TG 19.0 / INV 17.0	TOP OF GROUT / INVERT ELEVATION
	FLOW DIRECTION

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 20 ft.

DRAINAGE CERTIFICATION

I, SCOTT M MCGEE, NMPE 10519, OF THE FIRM SCOTT M MCGEE PE, LLC, HEREBY CERTIFY THAT THIS SITE HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/15/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL PLAN WAS OBTAINED BYWILL PLOTNER JR, NMPS 14271, OF CSI-CARTESIAN SURVEYS INC. I ALSO CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE ON 6/12/20 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION SHOWN HEREON IS NOT NECESSARILY COMPLETE AND IS ONLY INTENDED TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING/ DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT ACCURACY VERIFICATION BEFORE USING IT FOR ANY PURPOSE.

Scott M McGee 6-12-2020
SCOTT M MCGEE, NMPE 10519

SCOTT M. McGEE NEW MEXICO 10519 REGISTERED PROFESSIONAL ENGINEER

SCOTT M. McGEE NEW MEXICO 10519 REGISTERED PROFESSIONAL ENGINEER 11/13/19

Scott M McGee PE
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Albuquerque, NM 87111
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scottmmcgee@gmail.com