

CITY OF ALBUQUERQUE



December 11, 2019

Jozy Tosta
Jozy Tosta Construction
3301 Candelaria Road NE
Albuquerque, NM

Re: Project Name
3301 Candelaria Road NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 08-21-2019 (G16D097)

Dear Mr. Tosta,

The TCL submittal received 12-11-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File

CODE DATA
2015 International Building Code
2015 Uniform Plumbing Code
2015 Uniform Mechanical Code
2017 National Electrical Code
2009 International Energy Conservation Code
2015 International FIRE Code

City of Albuquerque
Location: 3301 Candelaria Rd. NE
Albuquerque, New Mexico 87107

Zoning: NR-C

Zoning Atlas Page: G-16

Setbacks: 5' Front

Height: 35' Max

Parking: 3.5/1,000 GSF Office @1,000 = 3.5
NA Warehouse @2,600 = 10.4
4/1,000 GSF General Retail

Total Spaces required = 14
Total Spaces provided = 22

Bld. Area: Building #1 = 4,986 sq.ft.
Building #2 = 4,278 sq.ft.
Total = 10,180 sq.ft.

Expected Occupancy: Building #1
Suite A- M Mercantile Area @ 470GSF/60 = 8
Storage Area @ 1,192GSF/300 = 4
Suite B-M Mercantile Area @ 470GSF/60 = 8
Storage Area @ 1,192GSF/300 = 4
Suite C- M Mercantile Area @ 470GSF/60 = 8
Storage Area @ 1,192GSF/300 = 4

Total Occ. = 36

Building #2
Suite D- B @ 1,000 GSF/100 = 10
S-1 @ 3,278 GSF/500 = 7

Total Occ = 17

Construction Type: Type Vb

Separation: NA

Seismic: C

Sprinkler: Non-Sprinkled

Construct new Buildings.

TREVESTON ELLIOTT
ARCHITECT

811 12TH ST. NW
ALBUQUERQUE, NEW MEXICO
87102
C 505 259 4617
treveston@treveston.com
www.treveston.com

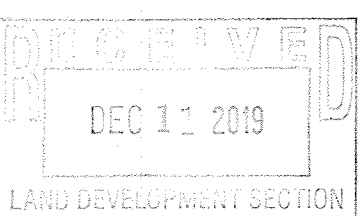
3301 Candelaria Road NE
ALBUQUERQUE, NEW MEXICO 87107



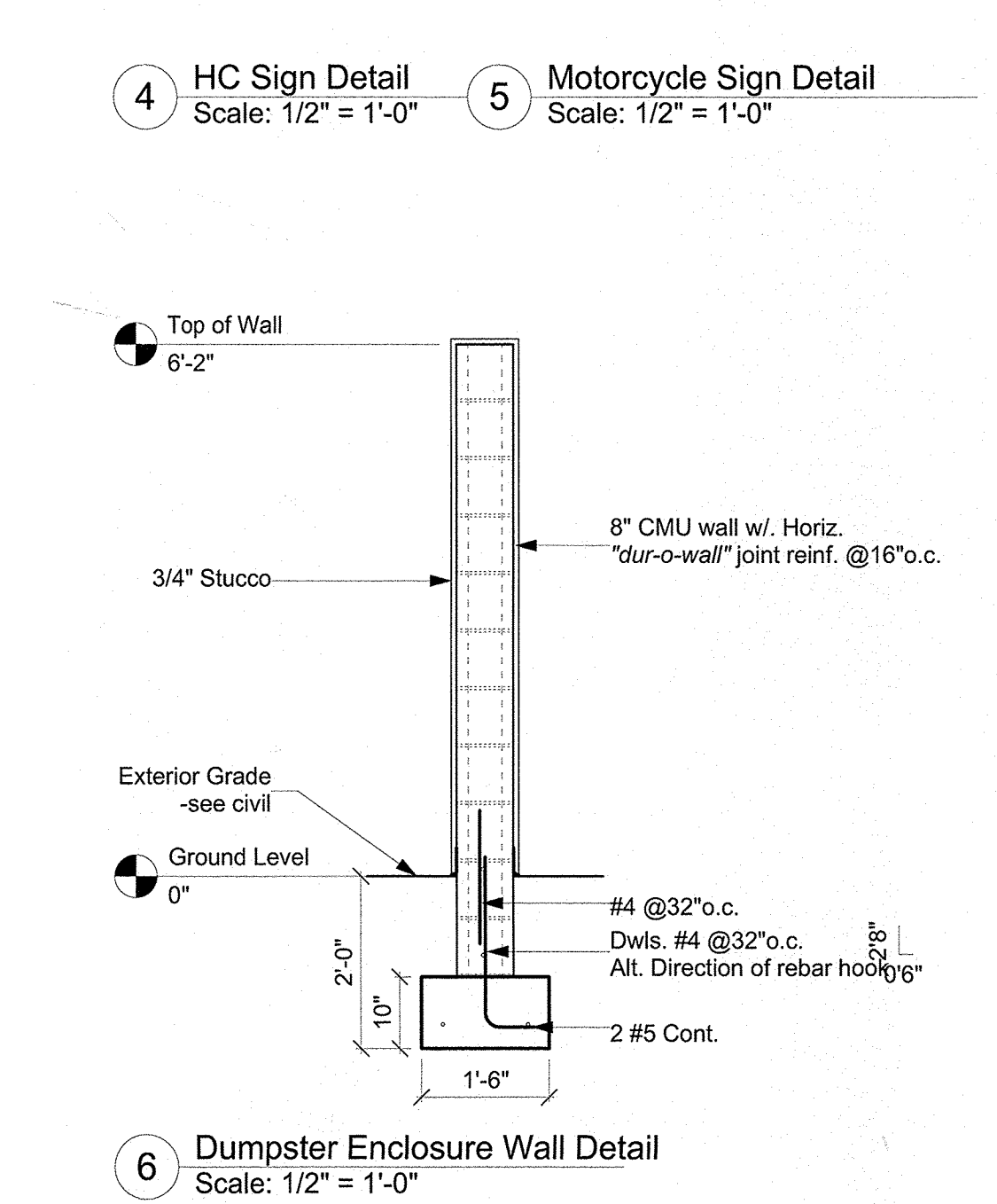
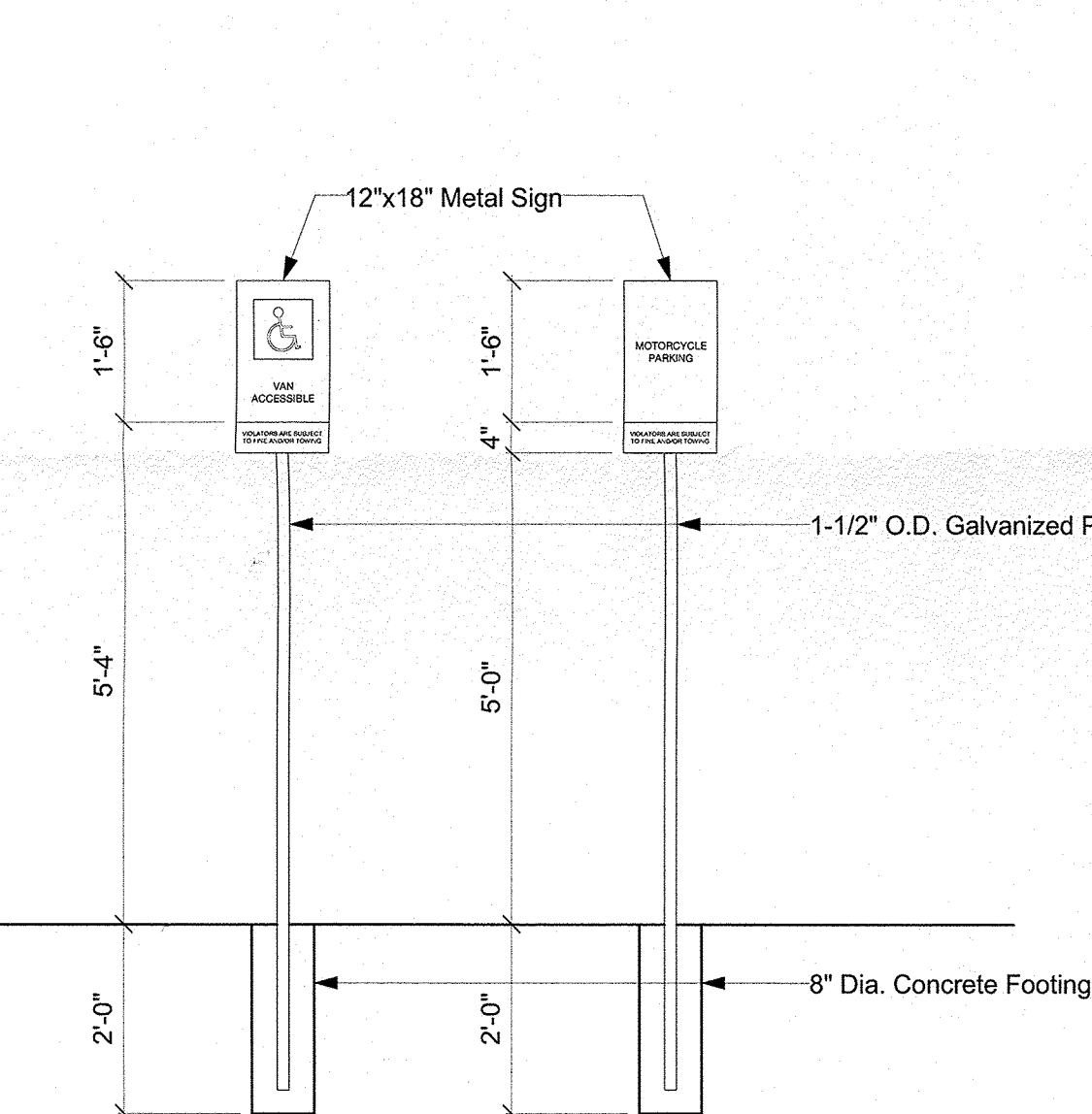
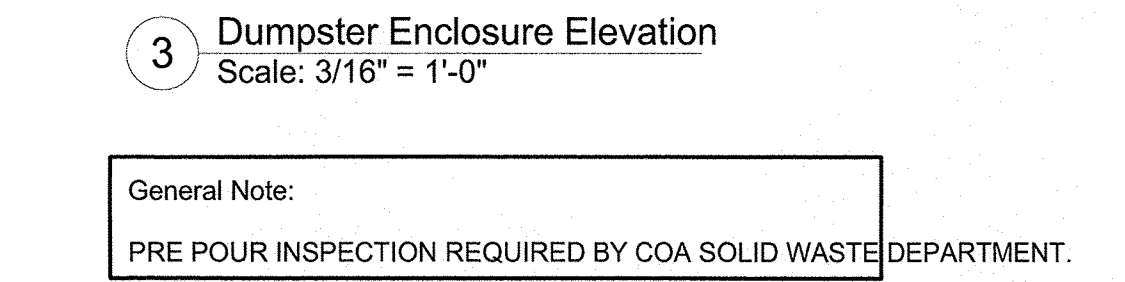
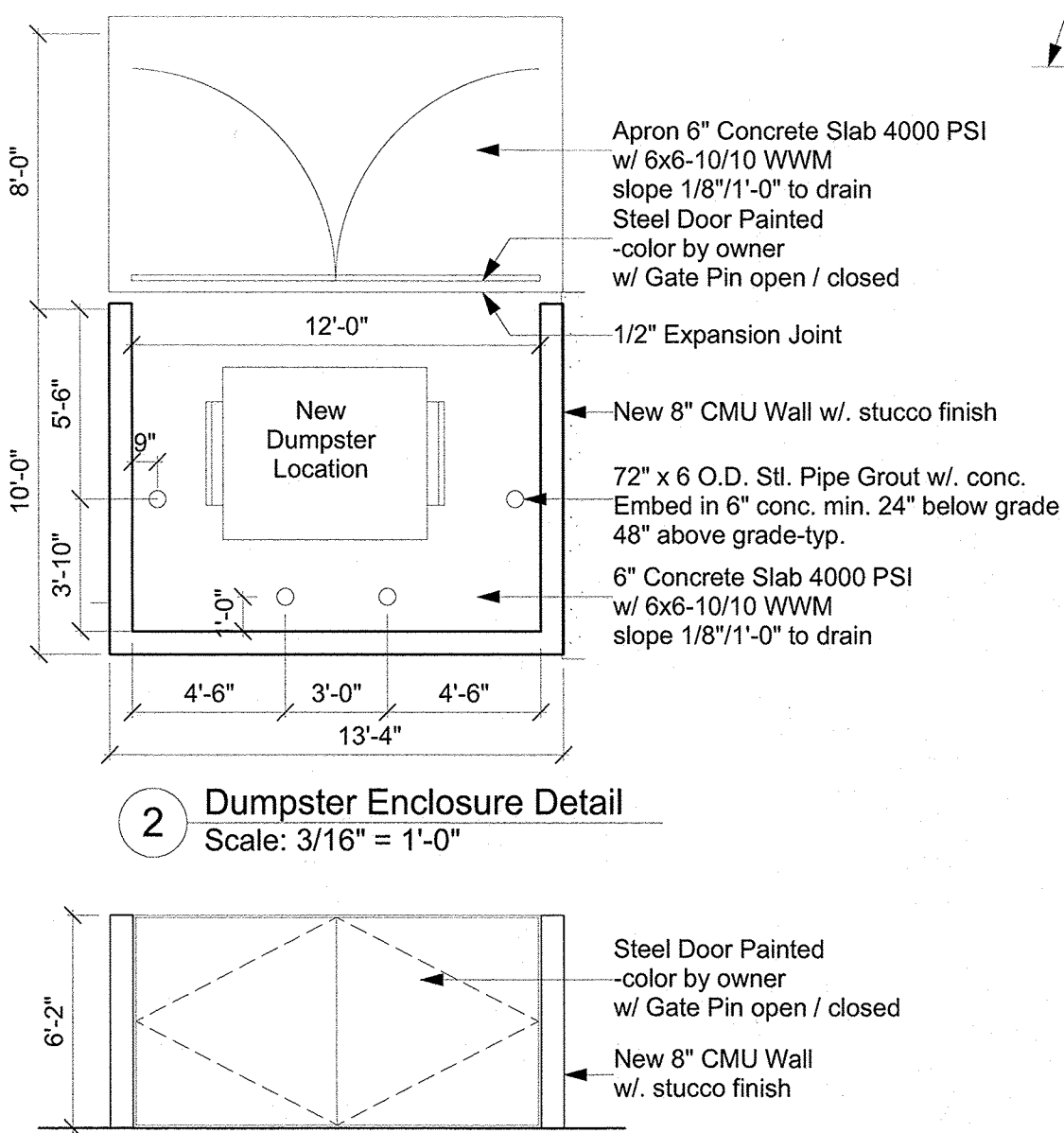
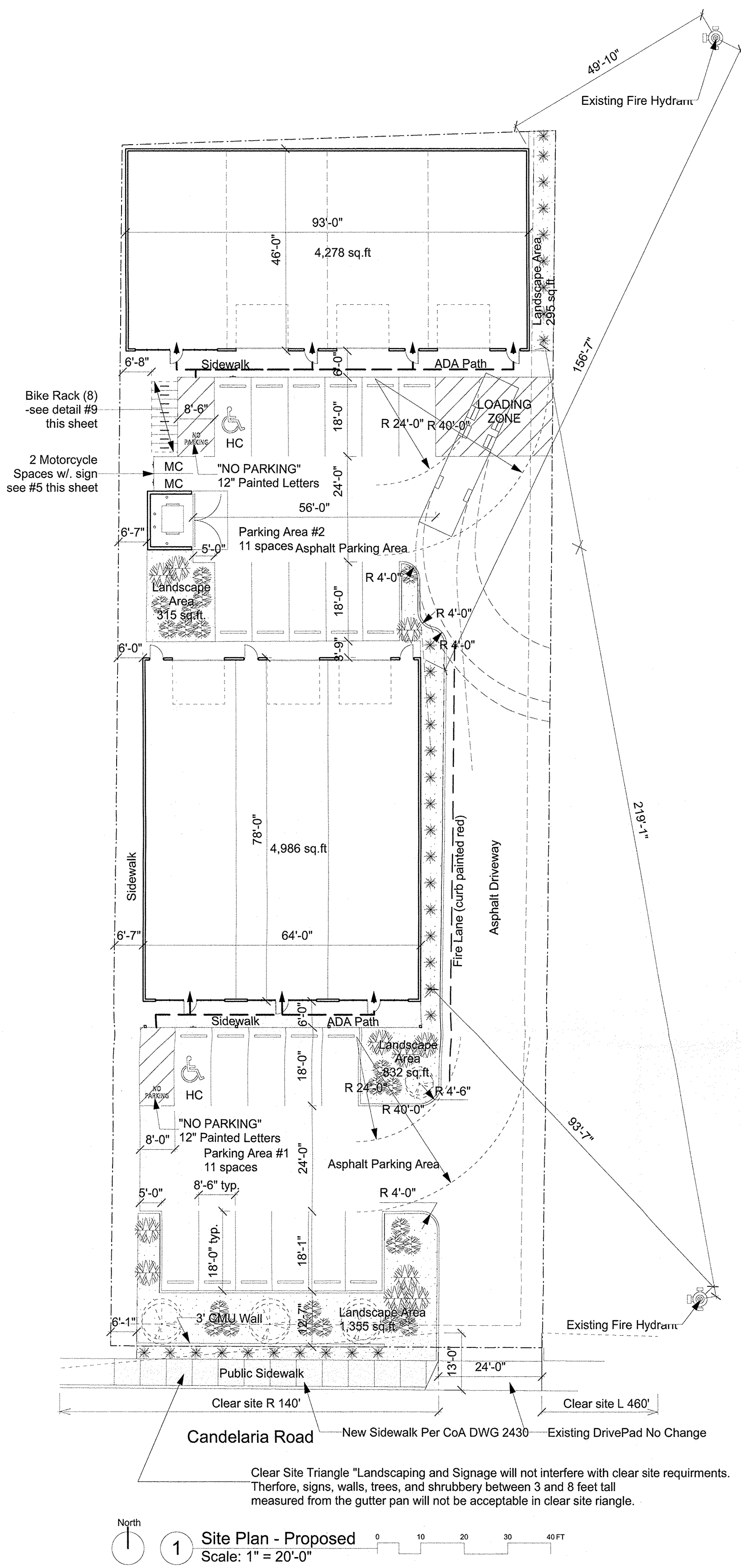
December 11, 2019

Date: December 11, 2019

Sheet: Traffic Circulation Layout



TCL



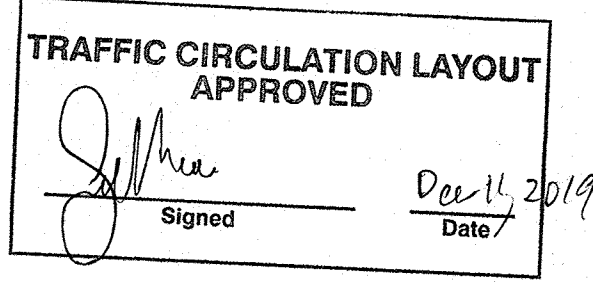
Plant Material

- Chitalpa mature 15' spread 20' hgt.
- Desert Willow mature 15' spread 20' hgt.
- Fountain Grass (x23) mature 2' spread 3' hgt.
- Apache Plume (x20) mature 4' spread 3' hgt.
- Russian Sage (x17) mature 4' spread 4' hgt.

Landscape Requirements

Site Area 2.44 Acres	27,444 sq.ft.
Building #1 Footprint	4,986 sq.ft.
Building #2 Footprint	4,278 sq.ft.
Total Buildings	9,264 sq.ft.
Landscape Area:	18,180 sq.ft.
Required Landscape %	.15 sq.ft.
Landscape Area Required:	2,727 sq.ft.
Landscape Area Provided:	2,797 sq.ft.
Parking Lot Area	12,097 sq.ft.
Sidewalk Area	3,000 sq.ft.

Irrigation System
Irrigation system standards outlined in the Water Conservation
Landscape and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system is existing and shall be tested by the contractor and repaired if required.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

