

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

June 18, 2015

Michael Ryan, R.A.
Edi Regenerating Architecture
142 Truman St NE
Albuquerque, NM 87108

Re: LaCumbre Patio Addition, 3313 Girard Blvd NE
Certificate of Occupancy – Transportation Development
Architect's Stamp dated 04-01-15 (G16D103)
Certification dated 06-12-15

Dear Mr. Ryan,

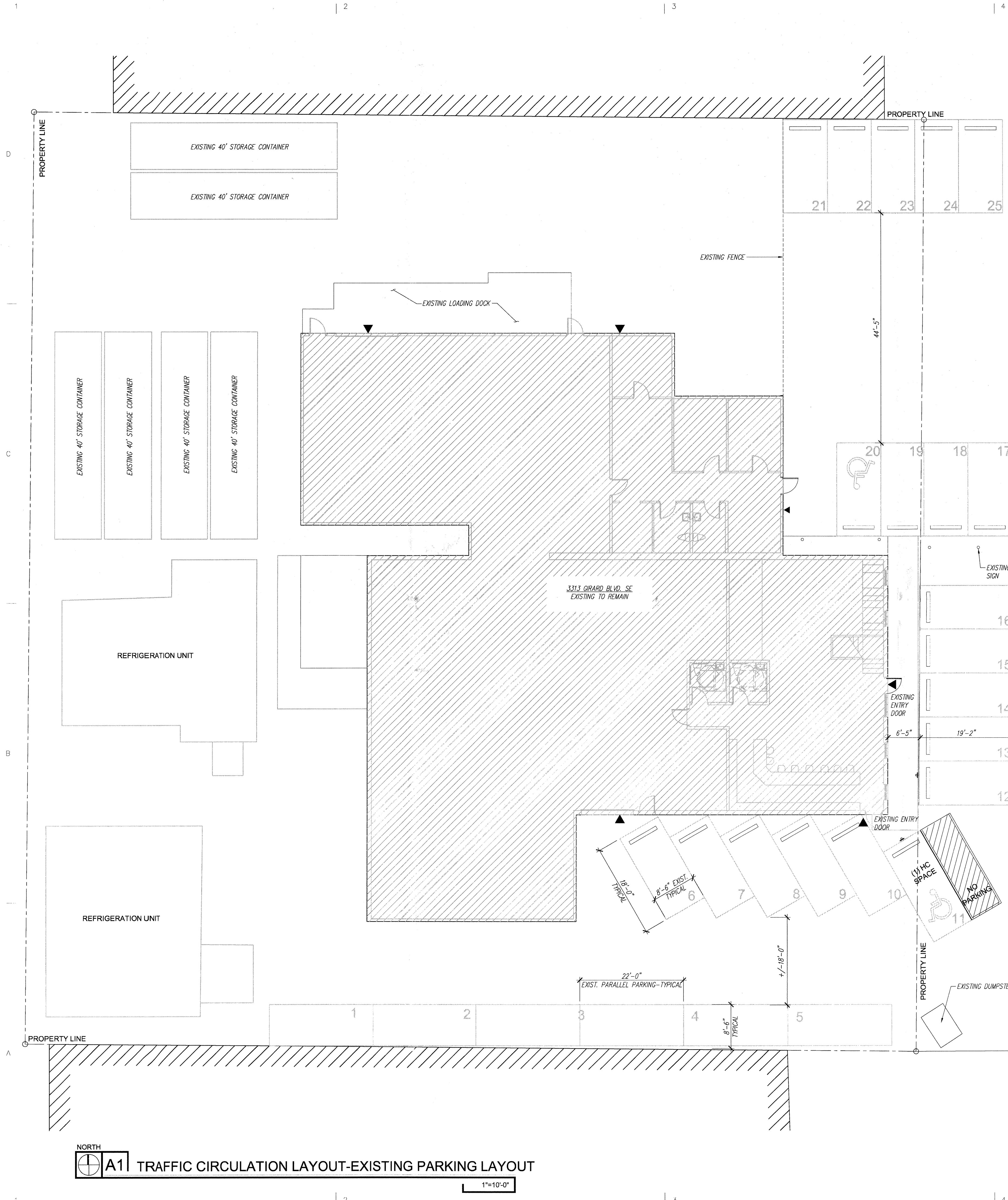
Based upon the information provided in your submittal received 06-16-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



DRAWING TO INDICATE EXISTING PARKING ONLY - SEE AS002 FOR NEW PARKING AND STREET INFORMATION

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

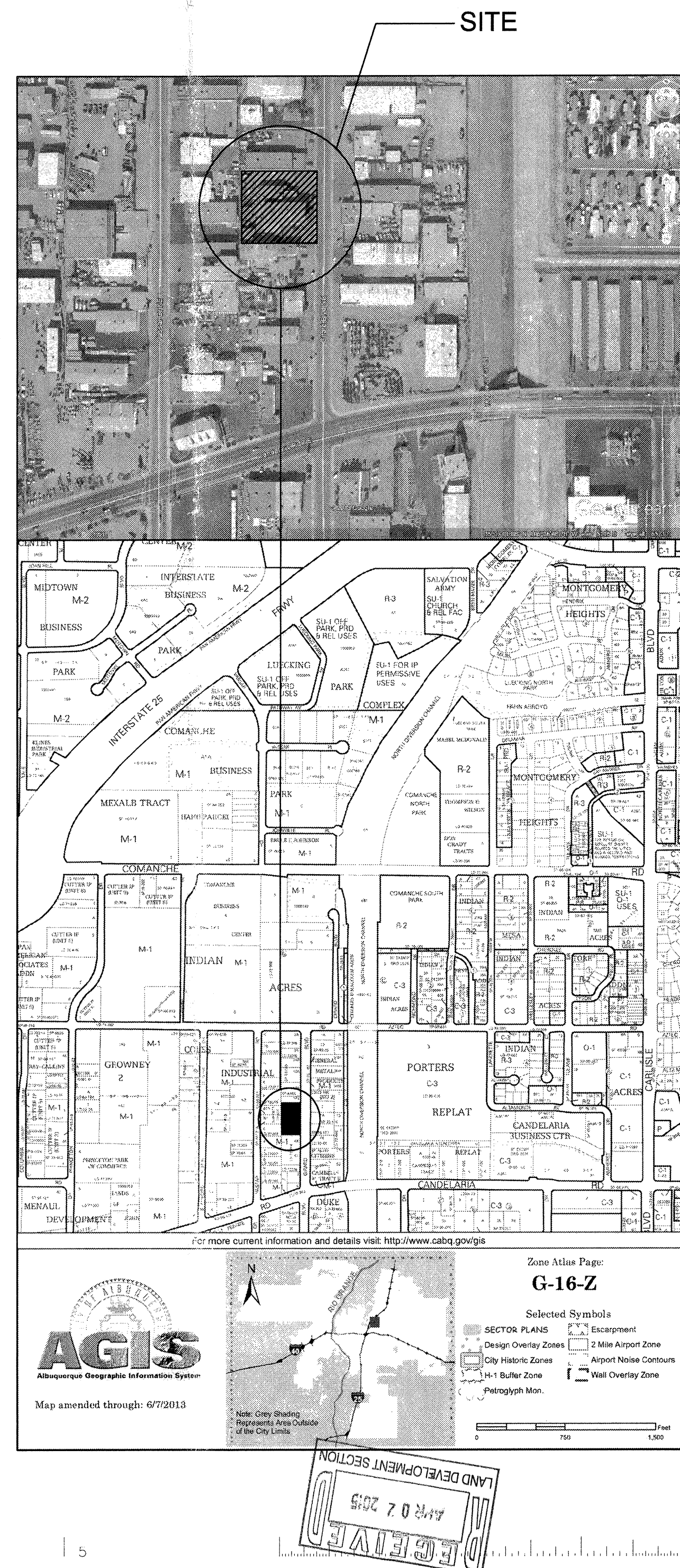
TRAFFIC CIRCULATION LAYOUT APPROVED
Signed: [Signature] Date: 4/24/15

SITE INFORMATION

ADDRESS:
3313 GIRARD BLVD. NE. ALBUQUERQUE, NM 87107

LOT SIZE:
30,960 SF = .711 ACRES

LEGAL DESCRIPTION:
LOT NUMBER: K5A
BLOCK NUMBER: 0000
SUBDIVISION: COLES INDUSTRIAL NUMBER 2
UNIFORM PROPERTY CODE: 101606022705030403



edi
142 Truman St. NE
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ph 505.242.2851
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regenerating architecture

La Cumbre-Patio Addition
3313 Girard Blvd. NE,
ALBUQUERQUE, NEW MEXICO 87106

STATE OF NEW MEXICO
MICHAEL RYAN
NO. A037
4/15
REGISTERED ARCHITECT

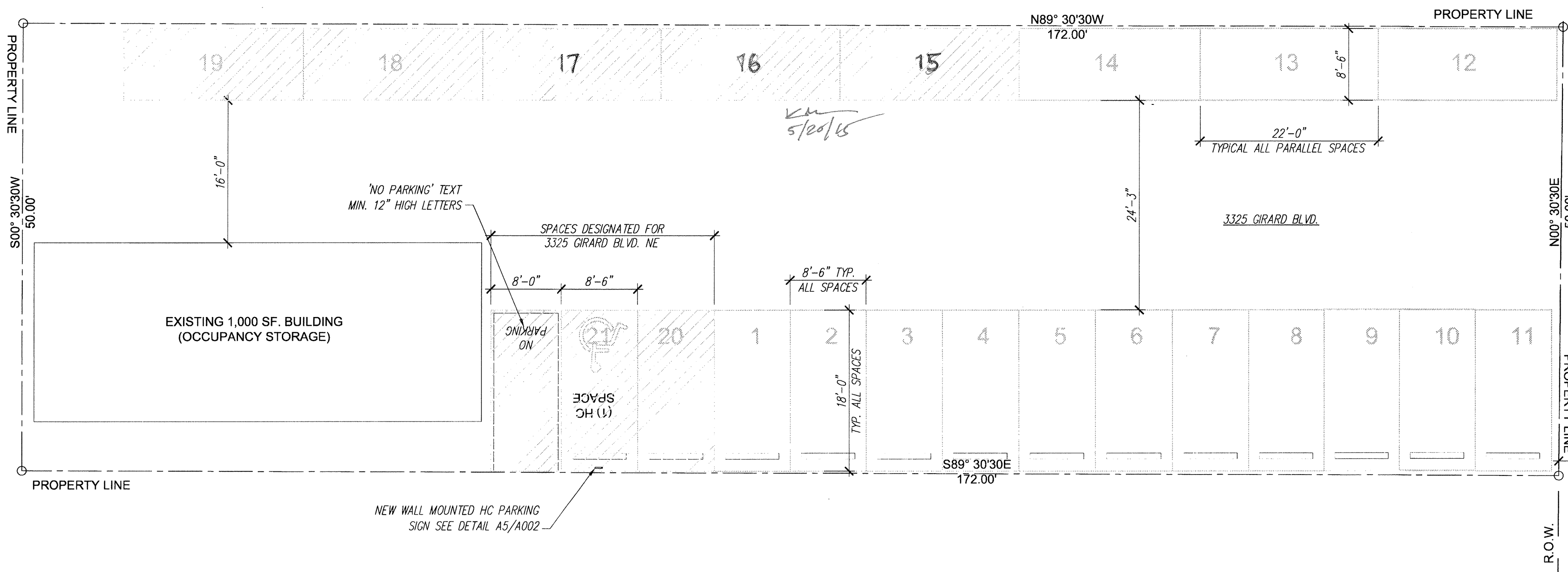
ISSUE:
CITY SUBMITTAL
DRAWN BY: EDI
CHECKED BY: EDI
DATE: 10/13/2014

REVISIONS
03-6-2015
BUILDING DEPT.
04-01-2015
OWNER CHANGES

TRAFFIC CIRCULATION LAYOUT EXISTING
14001
AS001



A1 VICINITY MAP



A1 SITE PLAN-SHARED PARKING AT 3325 GIRARD NE

PARKING CALCULATIONS

PARKING REQUIREMENTS FOR 3325 GIRARD:

S1- STORAGE- 1 PER 2,000 (1,000 SF./2,000= .5)
TOTAL SPACES PROVIDED:

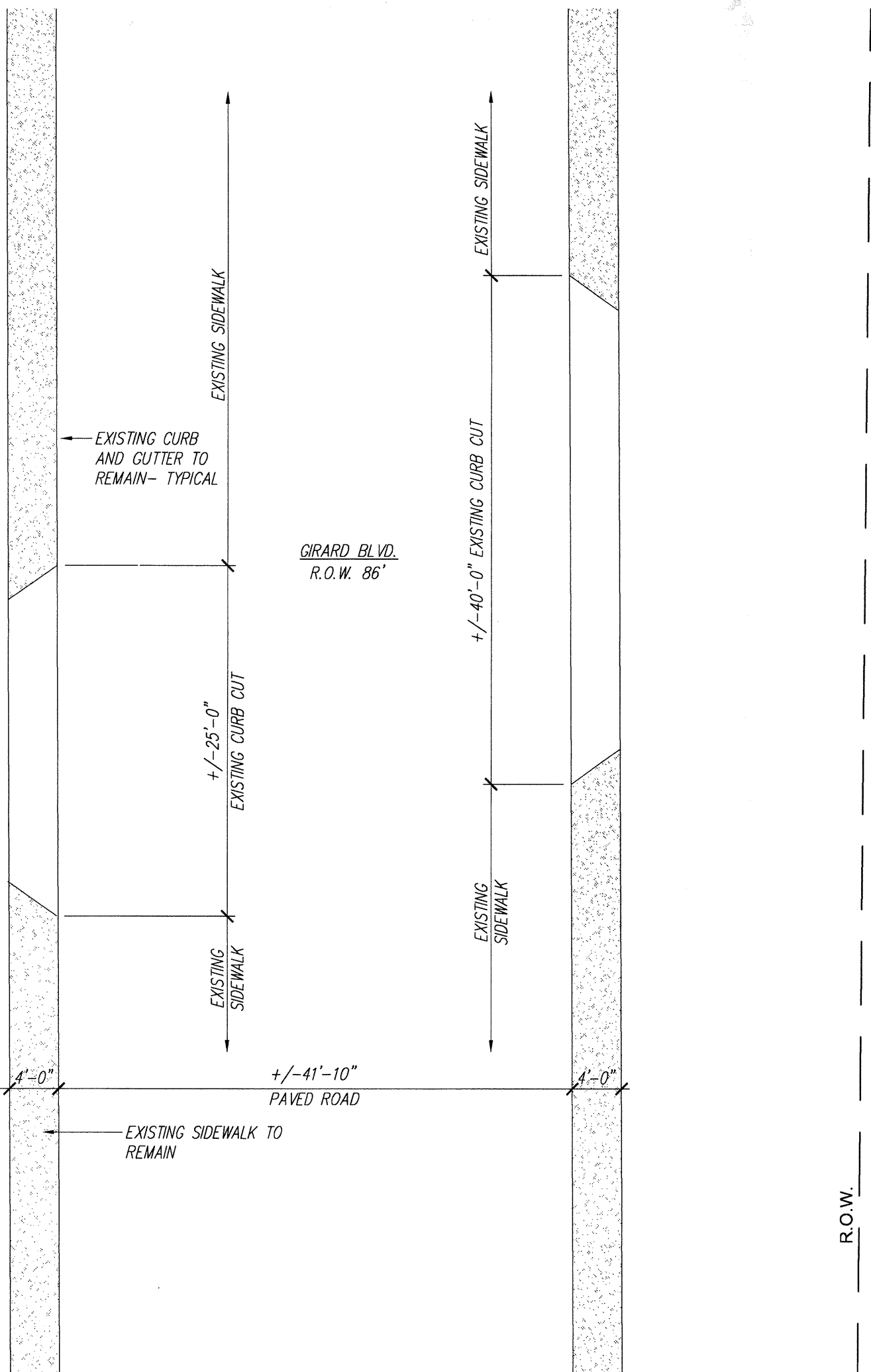
1 HC SPACE+ 1 TYPICAL SPACE REQUIRED
21 SPACES PROVIDED

ADDITIONAL SPACES:

19 SPACES AVAILABLE FOR SHARING

LEGAL DESCRIPTION

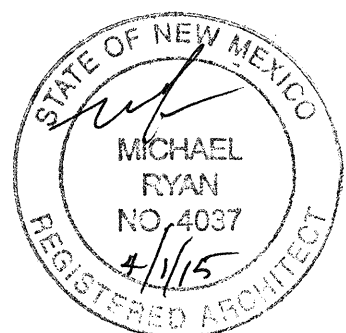
A TRACT OF LAND AS SHOWN AND DESIGNATED ON THE PLAT ENTITLED 'LAND OF BENNIE RAE' FILED IN THE OFFICE OF THE COUNTY CLERK OF A BERNALILLO COUNTY, NEW MEXICO, PM JUNE 22, 1972, IN BOOK B6 FOLIO 175 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED AND BEING ON THE WESTERLY RIGH OF WAY LINE OF GIRARD BLVD. NE. THENCE, N89 DEGREES 38' 35" WEST, A DISTANCE OF 171.39' LEAVING SAID RIGHT OF WAY TO THE NORTH WEST CORNER OF THE TRACT HERIN DESCRIBED; THENCE S00 DEGREES, 21'25"W A DISTANCE OF 50' TO THE SOUTHWEST CORNER OF THE TRACT HERIN DESCRIBED; THENCE S89 DEGREES, 38'36" E, A DISTANCE OF 171.20 FEET TO THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED AND BEING THE WESTERLY RIGHT OF WAY LINE OF GIRARD BLVD. NE; THENCE N00 DEGREES, 34'18"E, A DISTANCE OF 50' ALONG THE RIGHT OF WAY GIRARD BLVD NE AND BEING THE SAME PLACE AS THE BEGINNING. SAID TRACT CONTAINS .1966 ACRES MORE OR LESS



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La Cumbre-Patio Addition
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ALBUQUERQUE, NEW MEXICO 87106



ISSUE:

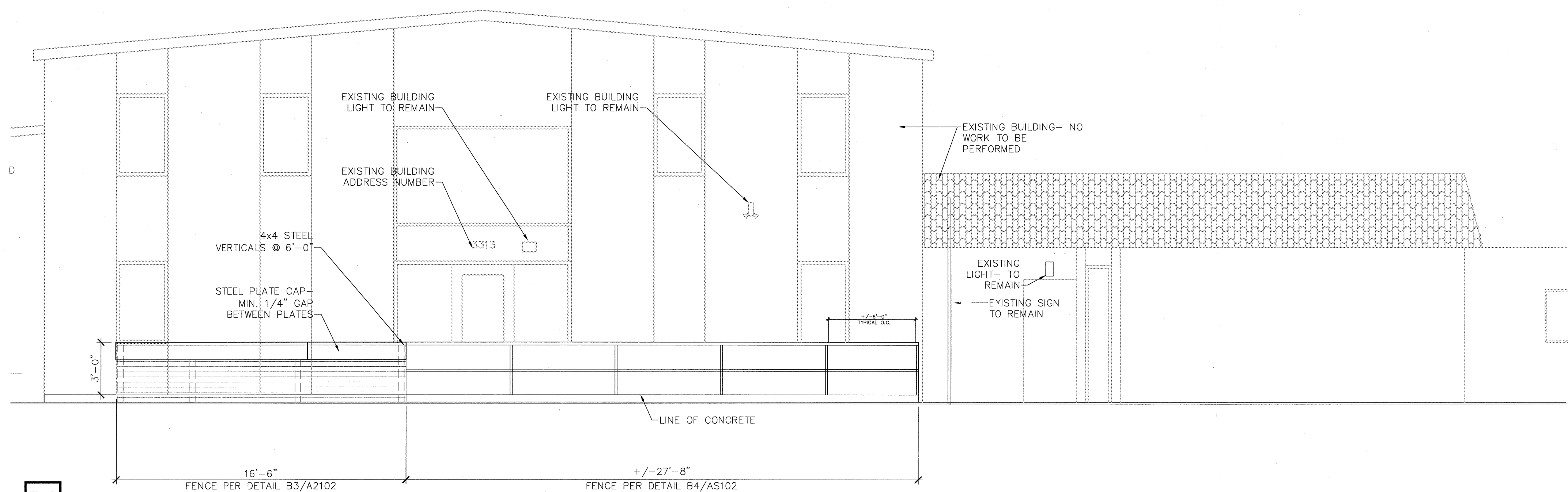
CITY SUBMITTAL

DRAWN BY: EDI
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DATE: 10/13/2014

REVISIONS

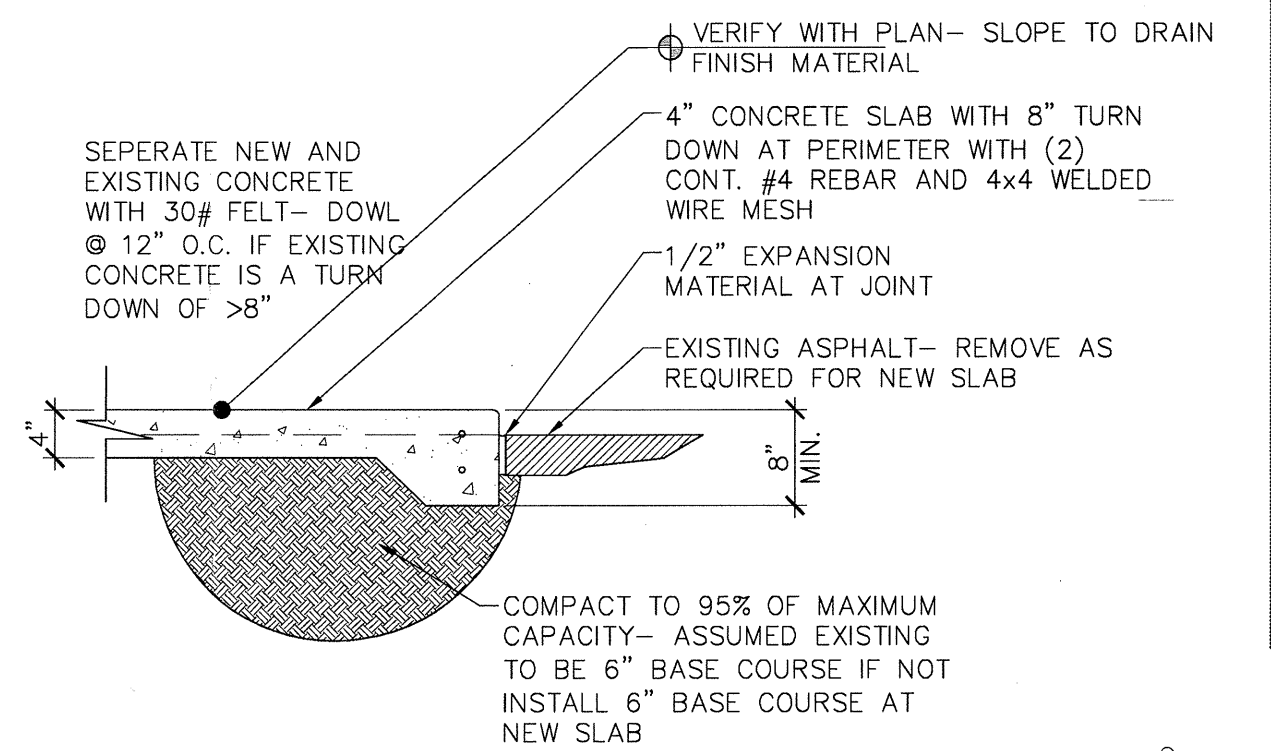
SHARED
PARKING
DIAGRAM

14001
AS003



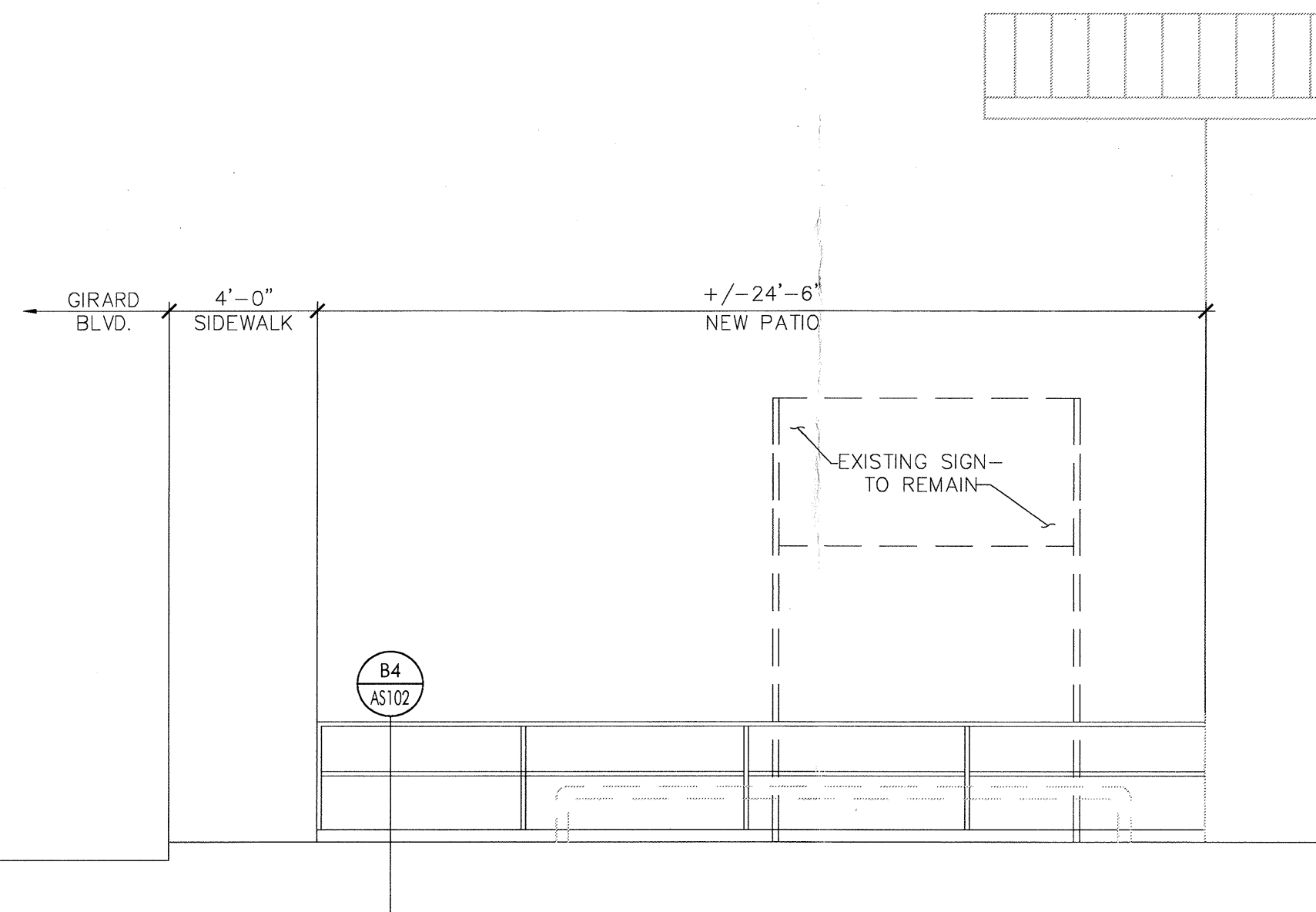
D1 WEST ELEVATION

SCALE: 1/4" = 1'-0"



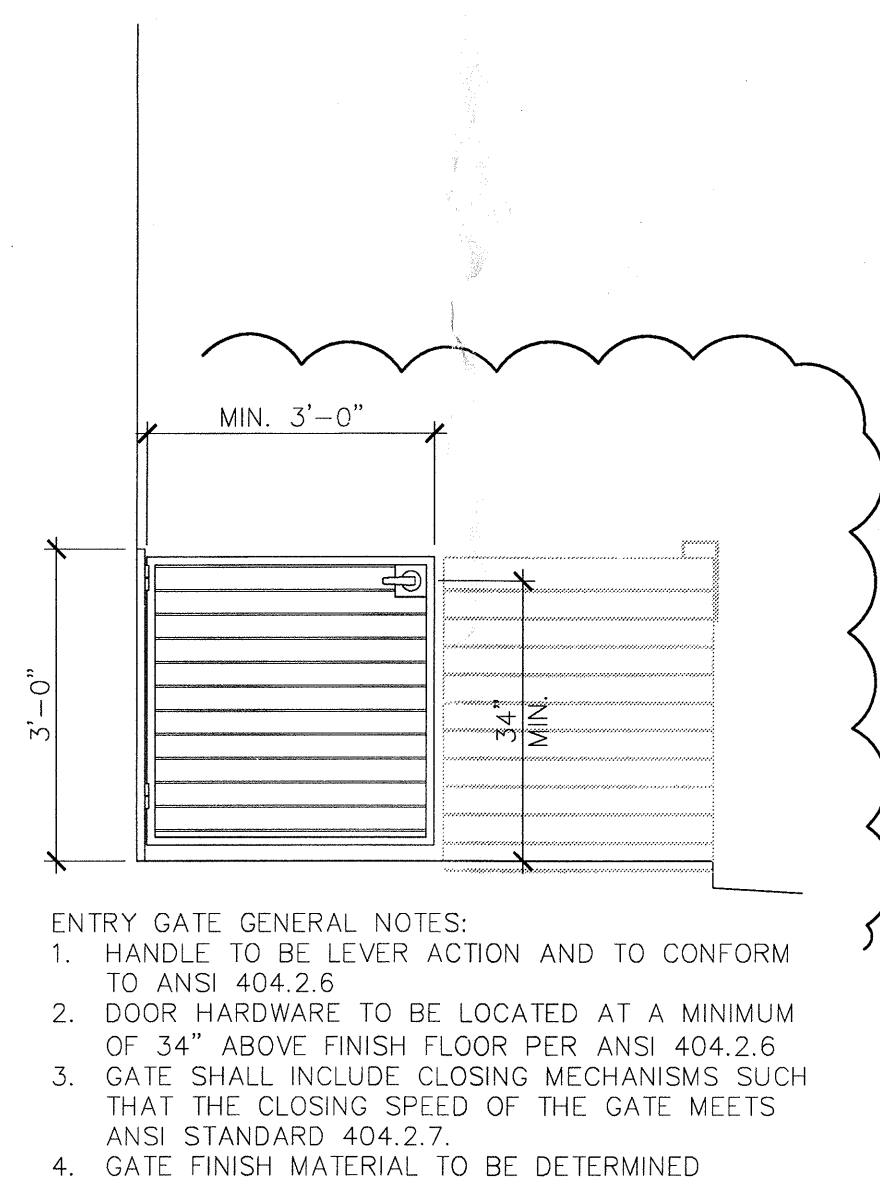
C4 TURN DOWN SLAB DETAIL

SCALE: 3/4" = 1'-0"



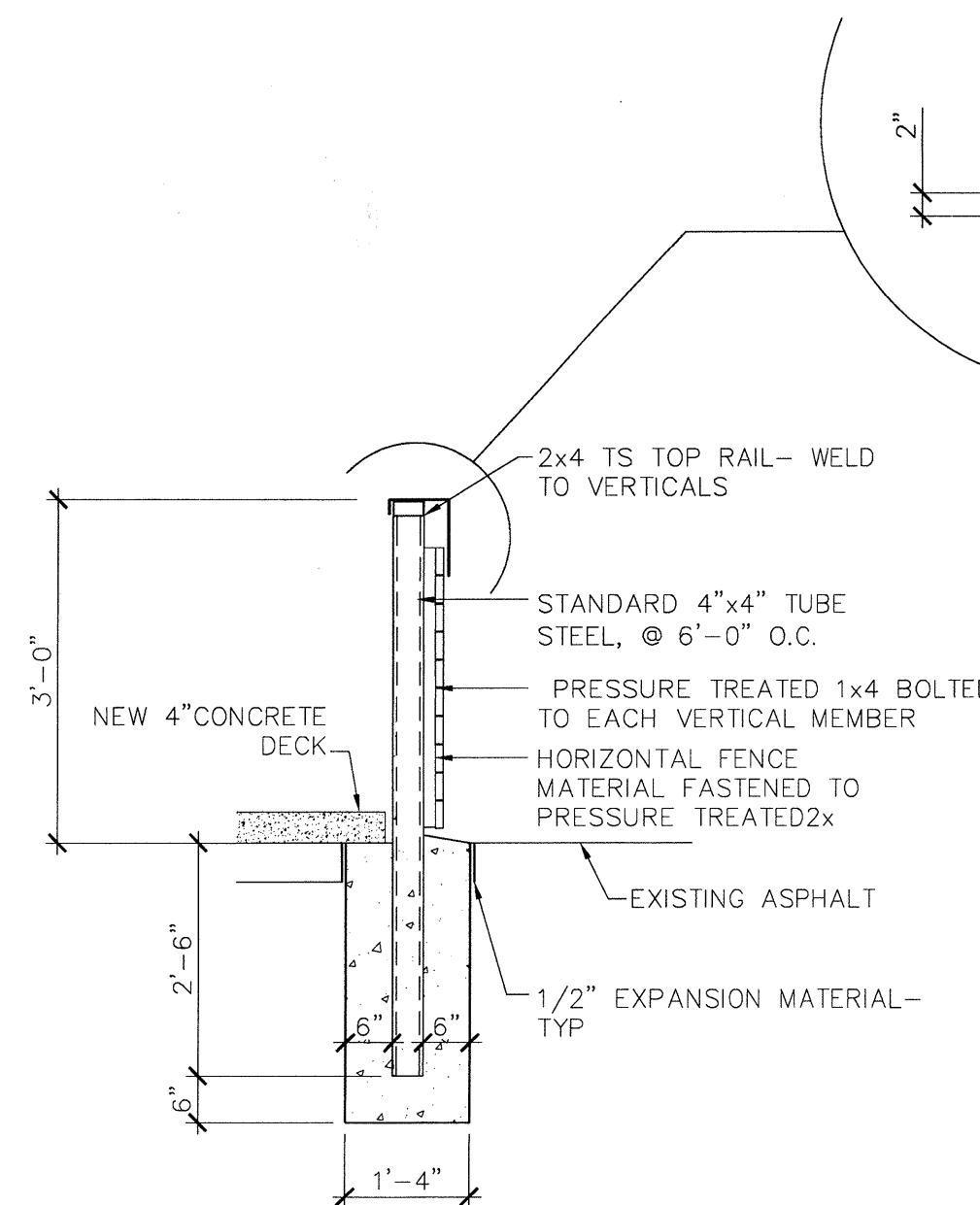
B1 NORTH ELEVATION

SCALE: 1/4" = 1'-0"



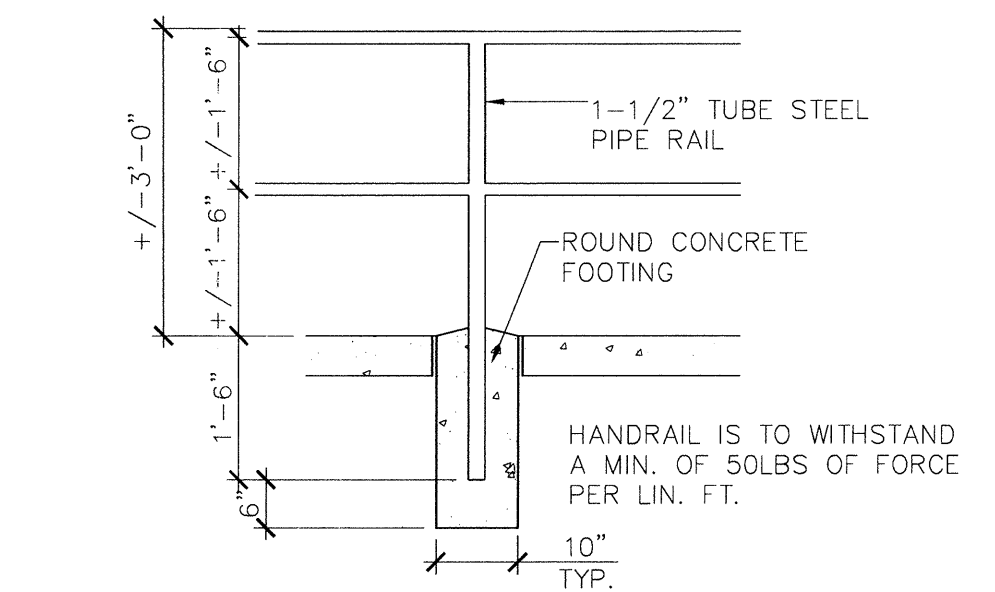
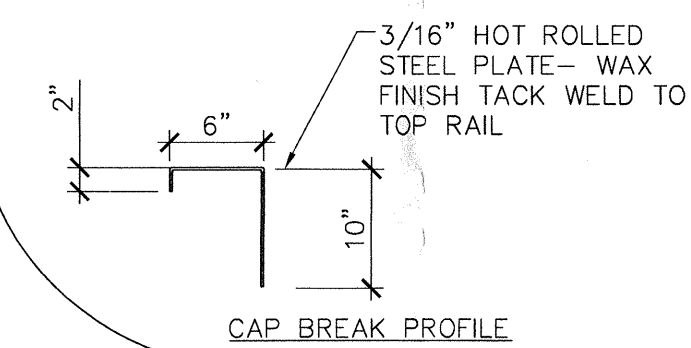
B2 GATE DETAILS AND NOTES

SCALE: 1/2" = 1'-0"



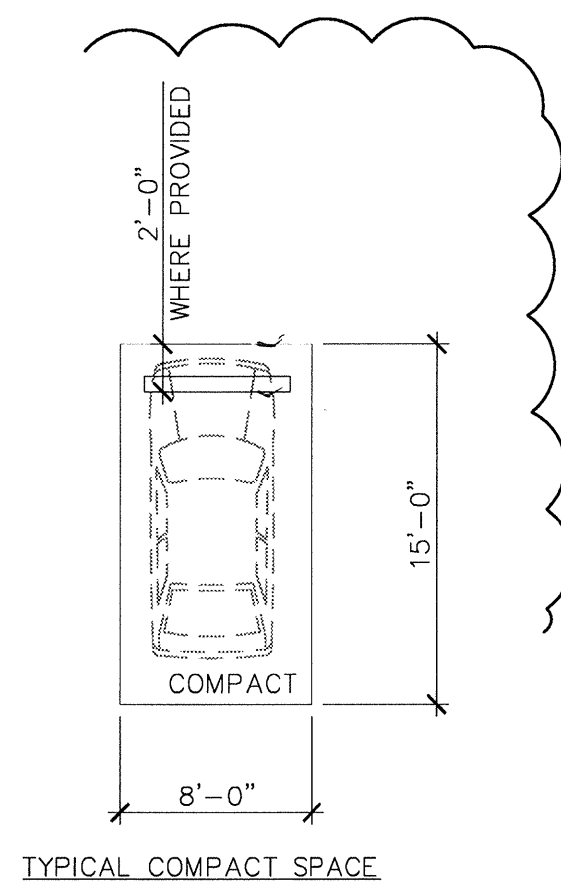
B3 FENCE DETAIL

SCALE: 1/2" = 1'-0"

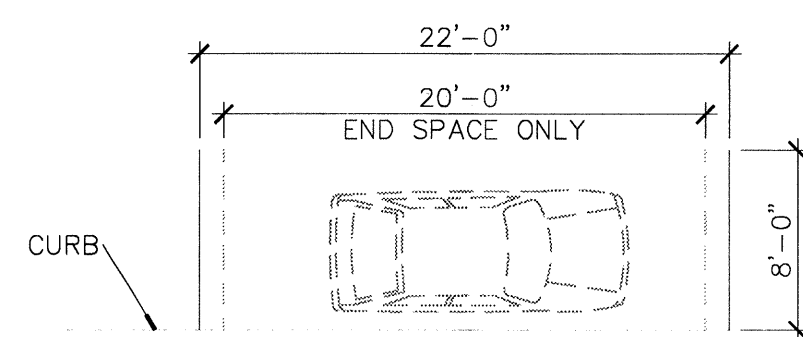


B4 TUBE STEEL PIPE FENCE DETAIL

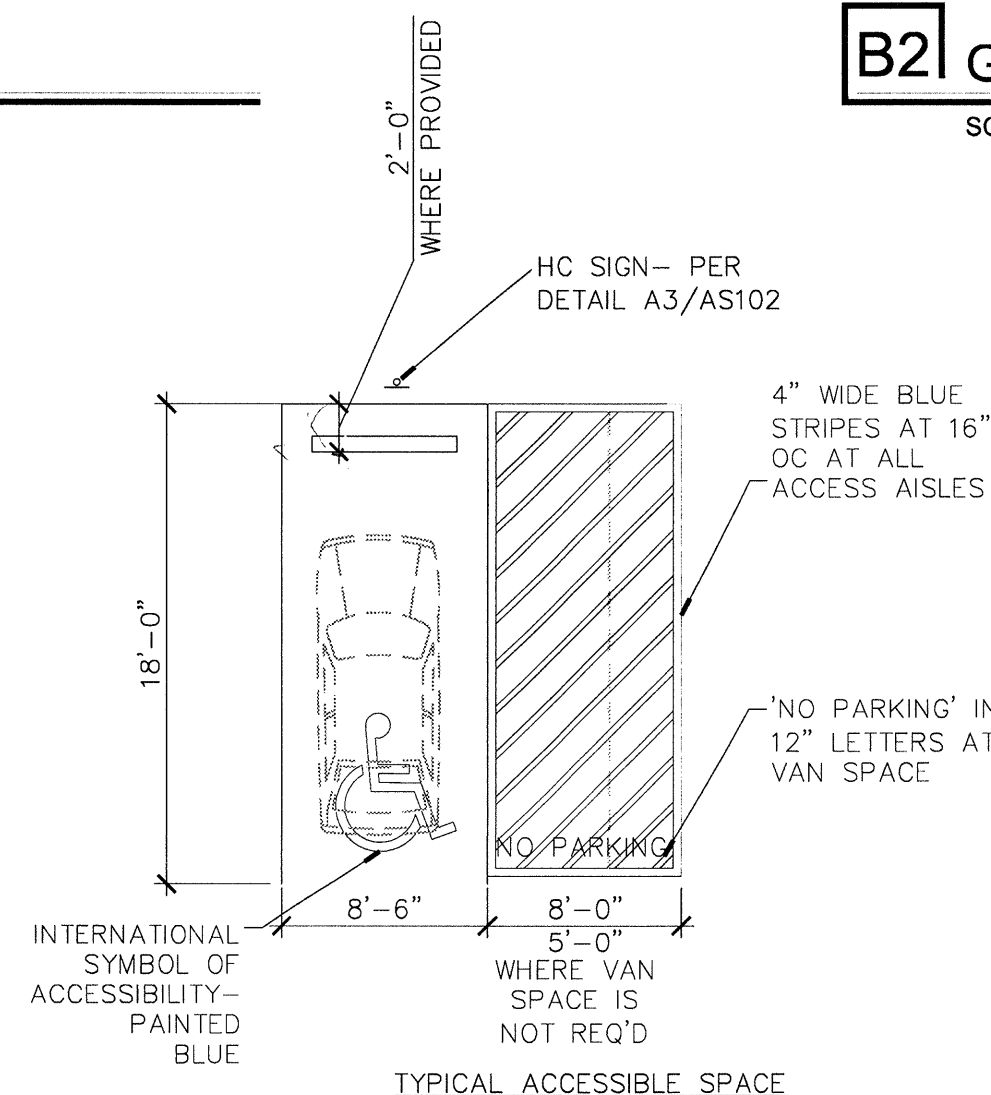
SCALE: 1/2" = 1'-0"



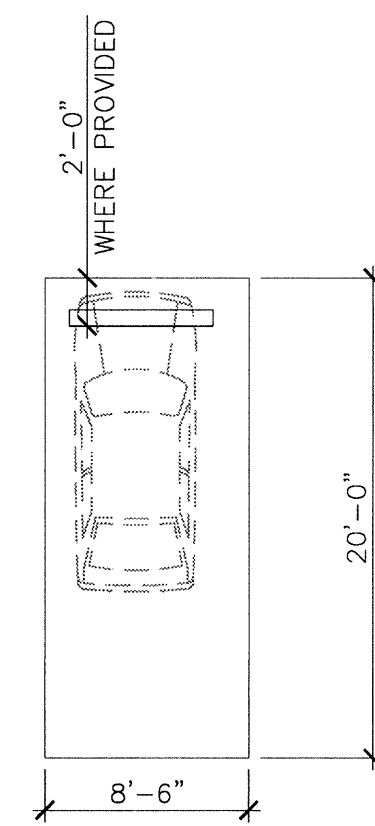
TYPICAL COMPACT SPACE



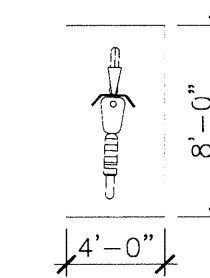
TYPICAL PARALLEL SPACE



TYPICAL ACCESSIBLE SPACE



TYPICAL SPACE



MOTORCYCLE SPACE

A1 TYPICAL PARKING STALL DIMENSIONS

SCALE: 1/8" = 1'-0"