



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 27, 2002

Tucker Green, PE  
Per Se Engineering  
809 Valencia NE  
Albuquerque, NM 87108

**Re: Wells Fargo Parking Addition Grading and Drainage Plan**

**Montgomery and Carlisle**

**Engineer's Stamp dated 9-11-02 (G16/D108)**

Dear Mr. Green,

Based upon the information provided in your submittal dated 9-12-02, the above referenced plan is approved for Site Development Plan for Building Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

10/21/05  
SA-19 approved  
as per B. Bingham

C: file

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: ATMs & ADDITIONAL PARKING for  
WELLS FARGO BANK AT MONTGOMERY & CARLISLE

ZONE MAP/DRG. FILE: G16/ D108

DRB #: \_\_\_\_\_ EPC#: 02EPC-00640 (G-16)

WORK ORDER # \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 7 & 8, BLOCK 10, MONTGOMERY HEIGHTS ADDITION \_\_\_\_\_

CITY ADDRESS: NONE YET, JUST WEST OF BANK @ SW CORNER OF MONTGOMERY & CARLISLE \_\_\_\_\_

ENGINEERING FIRM: Per Se Engineering \_\_\_\_\_  
ADDRESS: 809 Valencia NE \_\_\_\_\_  
CITY, STATE: Albuquerque, NM \_\_\_\_\_

CONTACT: Tucker Green \_\_\_\_\_  
PHONE: 232-9394 \_\_\_\_\_  
ZIP CODE: 87108 \_\_\_\_\_

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Van H. Gilbert, Architect \_\_\_\_\_  
ADDRESS: 2428 Baylor Drive SE \_\_\_\_\_  
CITY, STATE: Albuquerque NM \_\_\_\_\_

CONTACT: Dick Dawson \_\_\_\_\_  
PHONE: 247-9955 \_\_\_\_\_  
ZIP CODE: 87106 \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ APPROVAL
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT
- ☐ SECTOR PLAN APPROVAL
- ☒ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

Note: There is an approved CONCEPTUAL grading & drainage plan on file.

Note: 3 copies submitted: 1 for drainage, 1 for SO 19, 1 for Traffic Circulation Layout

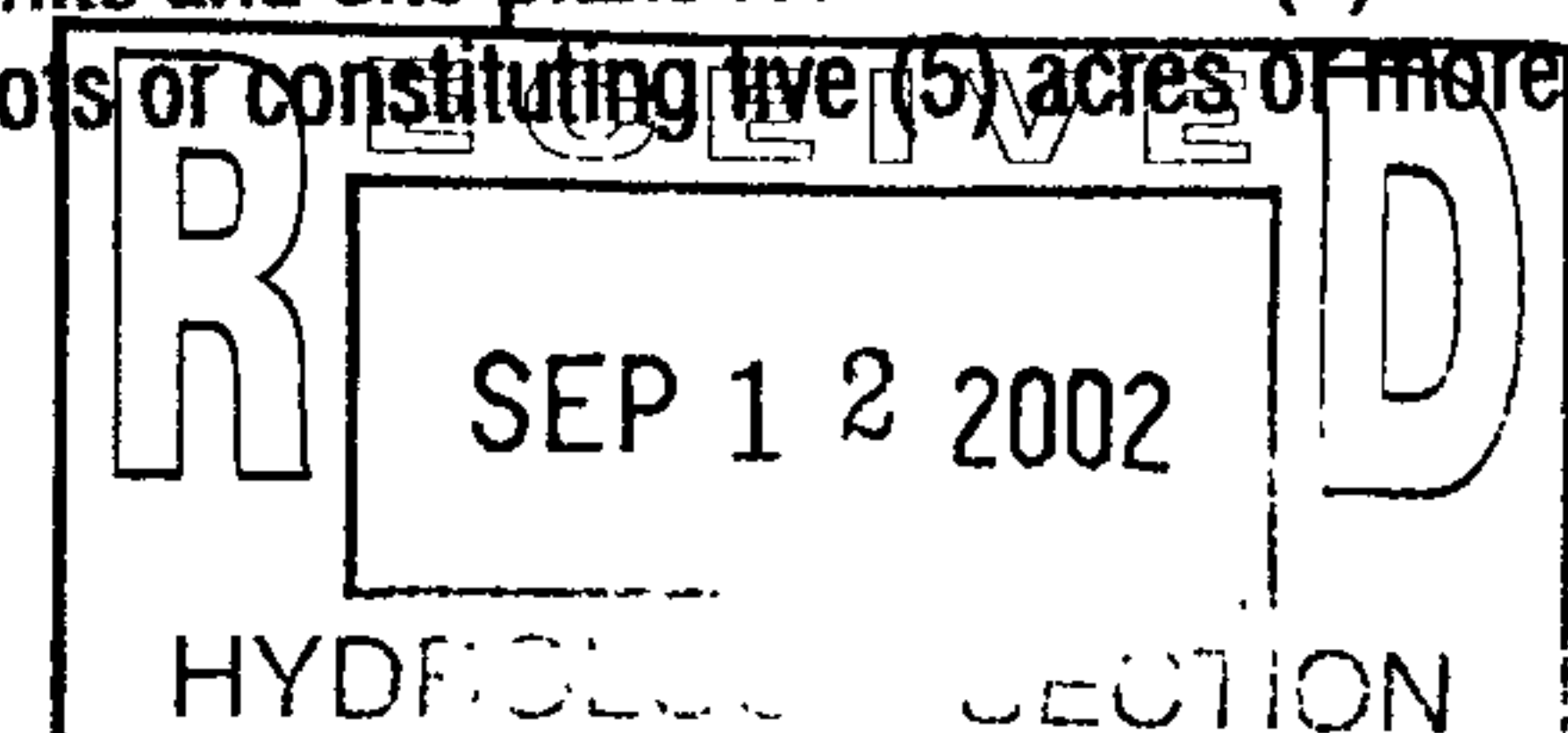
WAS A PRE-DESIGN CONFERENCE ATTENDED? ☒ YES ☐ NO ☐ COPY PROVIDED  
(Informal w/ Brad Bingham)

DATE SUBMITTED: 9-12-2002 BY: Tucker Green

Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

COA-DrainInfo-WFCarMo2.lwp





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department  
Transportation Development Services Section***

October 4 2002

Tucker Green, Reg. Professional Engineer  
Per Se Engineering  
809 Valencia N.E.  
Albuquerque, NM 87108

Re: Submittal for Building Permit Approval for  
Wells Fargo Bank Drive Up and Additional Parking - [G16/D108]  
XXXX Montgomery Blvd. N.E.,  
Engineer's Stamp dated 09/11/02.

Dear Mr. Green:

The location referenced above, dated September 12, 2002, is not required for TCL review for this type of development. Any commercial building construction sized under 500 square feet is not reviewed by this office. When submitted at building permits the plan will not be routed to my bin.

There will need to be a review for a curb cut permit for the new drivepad on Montgomery. The drivepad will need to be per the Development Process Manual, Chapter 23. The DPM mentions that a maximum number of drives are permitted per 100, 200, or 300' lengths of frontage. Please determine if this drivepad can be allowed. When the permit is needed please present a drawing, to scale, showing the entire lot with all drivepads and parking layout shown accurately and to scale, to this office. The parking does not need to be dimensioned, but dimension the new and existing drivepad widths.

Please bring the markup returned to you with the package when presenting the new plan for approval for a curb cut permit, at this office.

Sincerely,

Mike Zamora, Commercial Plan Checker  
Development and Building Services  
Public Works Department

c: Hydrology file  
Mike Zamora

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: ATMs & ADDITIONAL PARKING for  
WELLS FARGO BANK AT MONTGOMERY & CARLISLE

ZONE MAP/DRG. FILE: G16/ D108

DRB #: \_\_\_\_\_ EPC#: 02EPC-00640 (G-16)

WORK ORDER # \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 7 & 8, BLOCK 10, MONTGOMERY HEIGHTS ADDITION \_\_\_\_\_

CITY ADDRESS: NONE YET, JUST WEST OF BANK @ SW CORNER OF MONTGOMERY & CARLISLE \_\_\_\_\_

ENGINEERING FIRM: Per Se Engineering \_\_\_\_\_

ADDRESS: 809 Valencia NE \_\_\_\_\_

CITY, STATE: Albuquerque, NM \_\_\_\_\_

CONTACT: Tucker Green \_\_\_\_\_

PHONE: 232-9394 \_\_\_\_\_

ZIP CODE: 87108 \_\_\_\_\_

OWNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

ARCHITECT: Van H. Gilbert, Architect \_\_\_\_\_

ADDRESS: 2428 Baylor Drive SE \_\_\_\_\_

CITY, STATE: Albuquerque NM \_\_\_\_\_

CONTACT: Dick Dawson \_\_\_\_\_

PHONE: 247-9955 \_\_\_\_\_

ZIP CODE: 87106 \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- 10/1  
10/1
- ☒ DRAINAGE REPORT
  - ☒ DRAINAGE PLAN
  - ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
  - ☒ GRADING PLAN
  - ☐ APPROVAL
  - ☐ EROSION CONTROL PLAN
  - ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
  - ☐ CLOMR/LOMR
  - ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
  - ☐ ENGINEERS CERTIFICATION (TCL)
  - ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
  - ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
  - ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- 10/1
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
  - ☐ PRELIMINARY PLAT APPROVAL
  - ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
  - ☒ S. DEV. PLAN FOR BLDG. PERMIT
  - ☒ SECTOR PLAN APPROVAL
  - ☒ FINAL PLAT APPROVAL
  - ☐ FOUNDATION PERMIT APPROVAL
  - ☒ BUILDING PERMIT APPROVAL
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  - ☐ GRADING PERMIT APPROVAL
  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY)

Note: There is an approved CONCEPTUAL grading & drainage plan on file.

Note: 3 copies submitted: 1 for drainage, 1 for SO 19, 1 for Traffic Circulation Layout

WAS A PRE-DESIGN CONFERENCE ATTENDED? ☒ YES ☐ NO ☐ COPY PROVIDED  
(Informal w/ Brad Bingham)

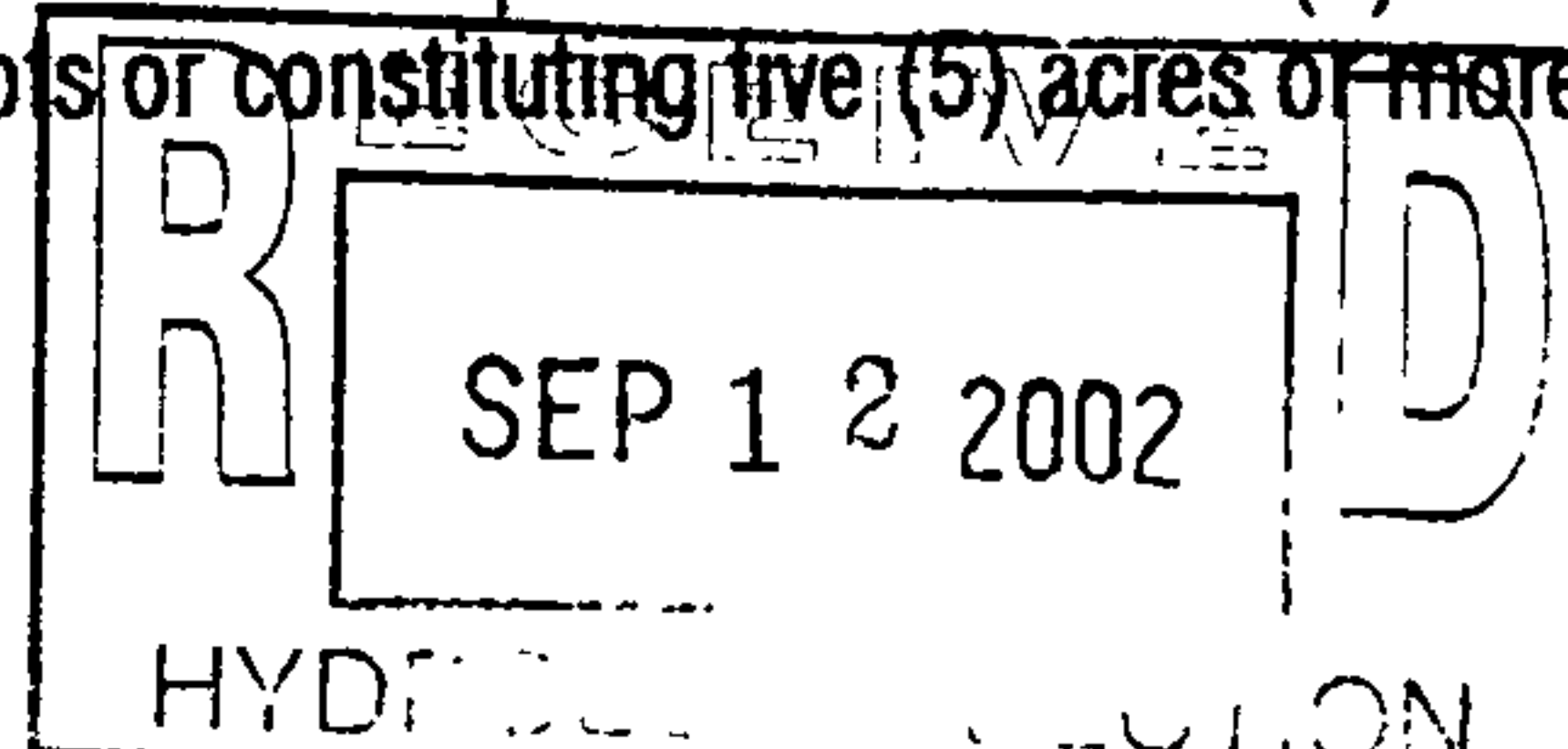
DATE SUBMITTED: 9-12-2002

BY: Tucker Green

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

10/9/02  
sent letter & Mark-up (w/ TCL Needed, No Bldg.)  
(Driveways are issue & COA-DrainInfo-WFCarMo2.lwp  
permit needed for those) - 10/9/02





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 24, 2002

Tucker Green, PE  
Per Se Engineering  
809 Valencia NE  
Albuquerque, NM 87108

**Re: Wells Fargo Parking Addition Conceptual Grading and Drainage Plan  
Montgomery and Carlisle  
Engineer's Stamp dated 6-3-02 (G16/D108)**

Dear Mr. Green,

Based upon the information provided in your submittal dated 6-3-02, the above referenced plan is approved for Site Development Plan for Building Permit and Site Development Plan for Subdivision action by the DRB. A comprehensive plan will be required for Paving Permit.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, PWD  
Development and Building Services

C: file

# DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: ATMs & ADDITIONAL PARKING for  
WELLS FARGO BANK AT MONTGOMERY & CARLISLE

ZONE MAP/DRG. FILE: G16/j08

DRB #: \_\_\_\_\_ EPC#: 02EPC-00640 (G-16)

WORK ORDER # \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 7 & 8, BLOCK 10, MONTGOMERY HEIGHTS ADDITION \_\_\_\_\_

CITY ADDRESS: NONE YET, JUST WEST OF BANK @ SW CORNER OF MONTGOMERY & CARLISLE \_\_\_\_\_

ENGINEERING FIRM: Per Se Engineering \_\_\_\_\_  
ADDRESS: 809 Valencia NE \_\_\_\_\_  
CITY, STATE: Albuquerque, NM \_\_\_\_\_

CONTACT: Tucker Green \_\_\_\_\_  
PHONE: 232-9394 \_\_\_\_\_  
ZIP CODE: 87108 \_\_\_\_\_

OWNER: \_\_\_\_\_  
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CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
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CITY, STATE: Albuquerque NM \_\_\_\_\_

CONTACT: Dick Dawson \_\_\_\_\_  
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ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
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## CHECK TYPE OF SUBMITTAL:

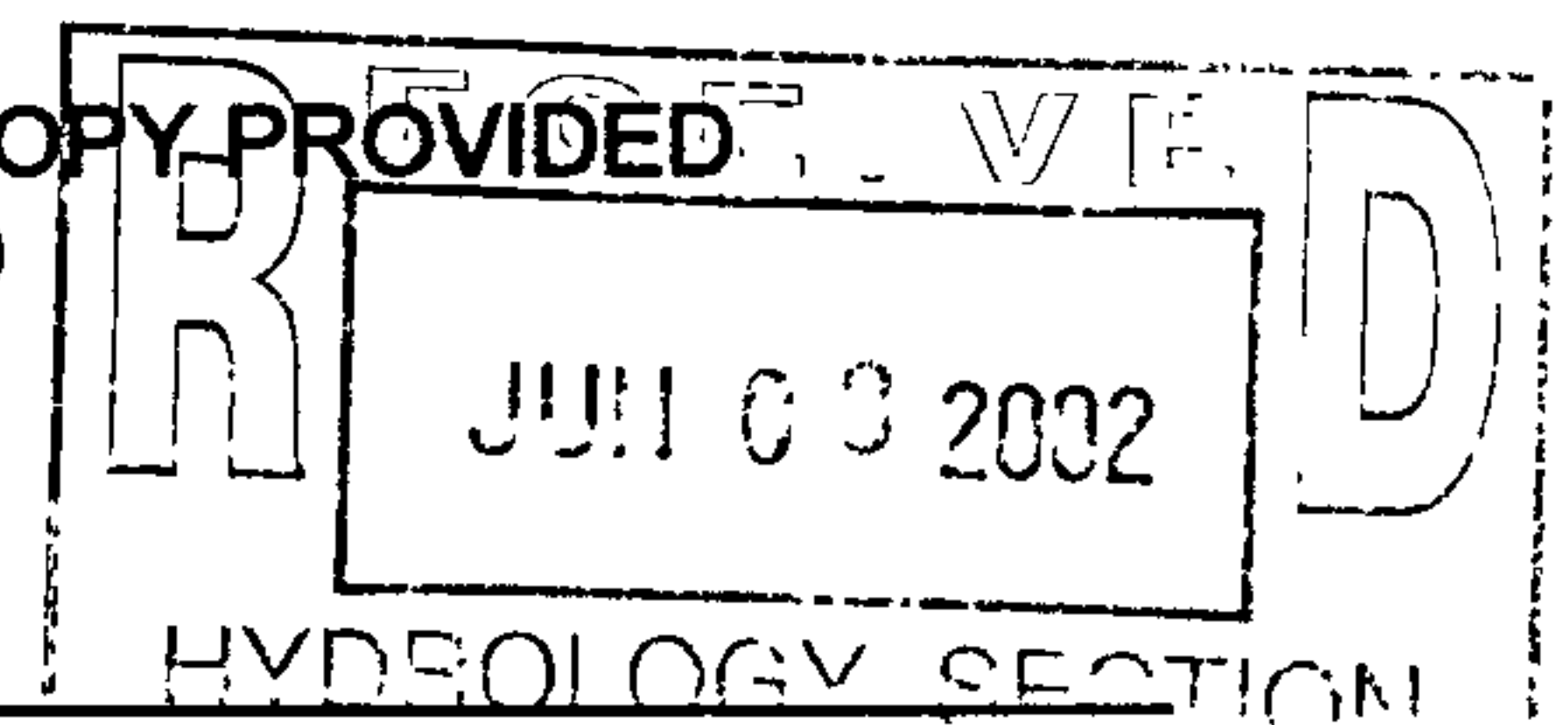
- ☐ DRAINAGE REPORT
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- ☐ GRADING PLAN
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ OTHER

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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ \* OTHER (SPECIFY)

\* (Per EPC comments, an approved CONCEPTUAL grading & drainage plan is required for Site Plan sign-off by the City Engineer)

WAS A PRE-DESIGN CONFERENCE ATTENDED? ☒ YES ☐ NO ☐ COPY PROVIDED  
(Informal w/ Brad Bingham)



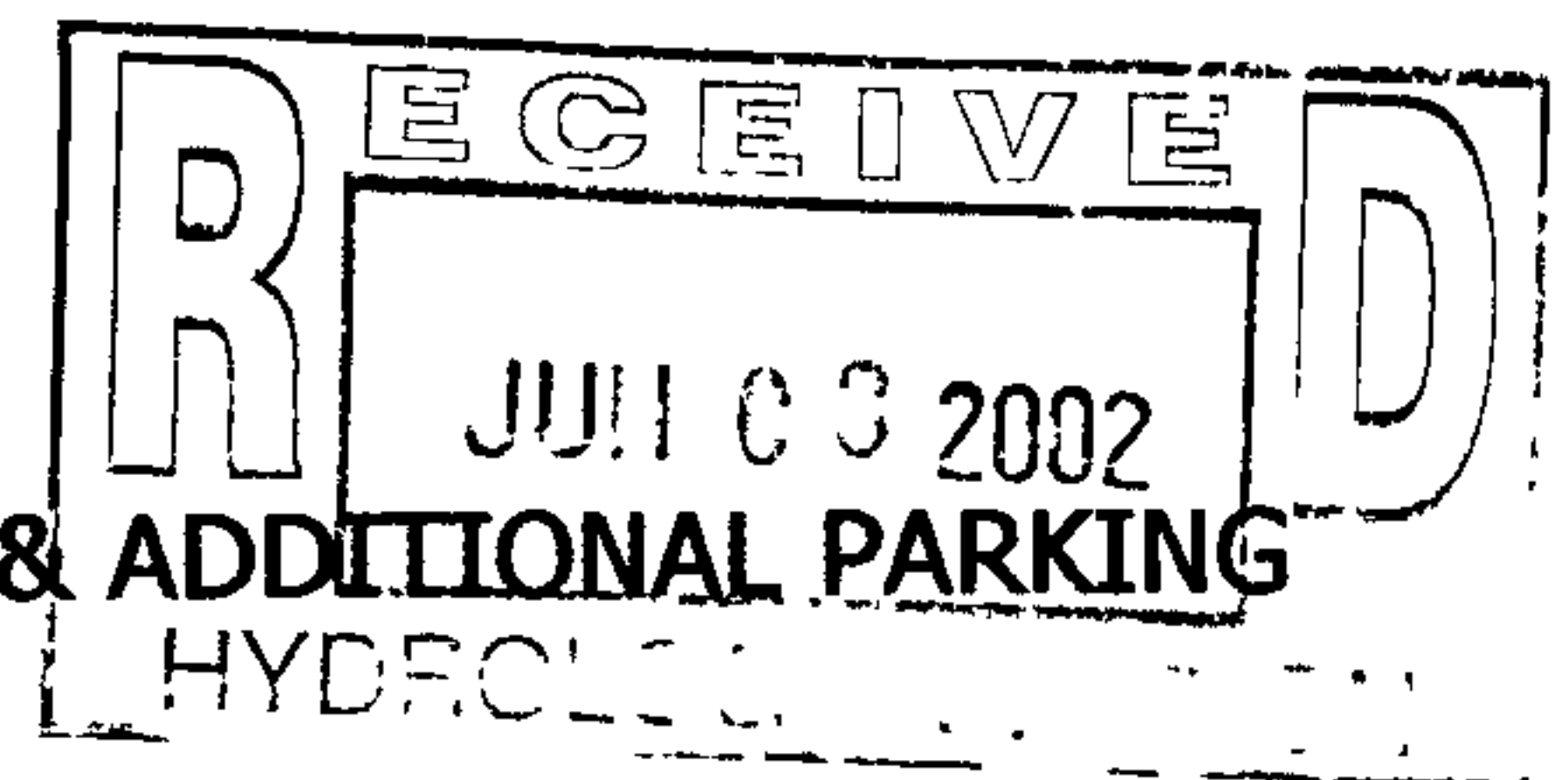
DATE SUBMITTED: 6-3-2002

BY: Tucker Green

Requests for approvals of Site Development Plans and/or Subdivision Flats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CONCEPTUAL DRAINAGE REPORT  
for  
WELLS FARGO BANK at MONTGOMERY & CARLISLE - ATMs & ADDITIONAL PARKING



**LEGAL DESCRIPTION & PROJECT LOCATION:** Lots 7 and 8, Block 10, Montgomery Heights Addition, Albuquerque, Bernalillo County, New Mexico. Located just west of the existing Wells Fargo bank on SW corner of Montgomery & Carlisle NE. Albuquerque Zoning Map G-16.

**FLOOD ZONE INFORMATION:** Per FEMA Community Panel 35001C0 138 (Sept 1996) there is a shallow 100 year zone in Montgomery adjacent to the site (Zone AO, depth 1 foot). The flood zone ends slightly west of the site, at the low point in Montgomery, as water empties into a concrete "feeder" channel along the north side of the street. This channel quickly drains into AMAFCA's North Diversion Channel, located a few hundred feet west of the site.

**INTRODUCTION:** This is a conceptual drainage report: the project submitted for building permit approval may differ slightly based on the owner's preferences or the City's review of this submittal. In particular, the City may request changes in the layout adjacent to the street in conjunction with City plans to improve the intersection of Montgomery & Carlisle.

**EXISTING CONDITIONS.** The site contains slightly less than 1/2 an acre on 2 undeveloped lots. On the east it is separated from the existing bank site by a concrete retaining wall, much of which will be removed to provide cross-site access. The site is separated from existing residences to the south and west by CMU privacy walls. None of the adjacent lots contributes runoff to the project site.

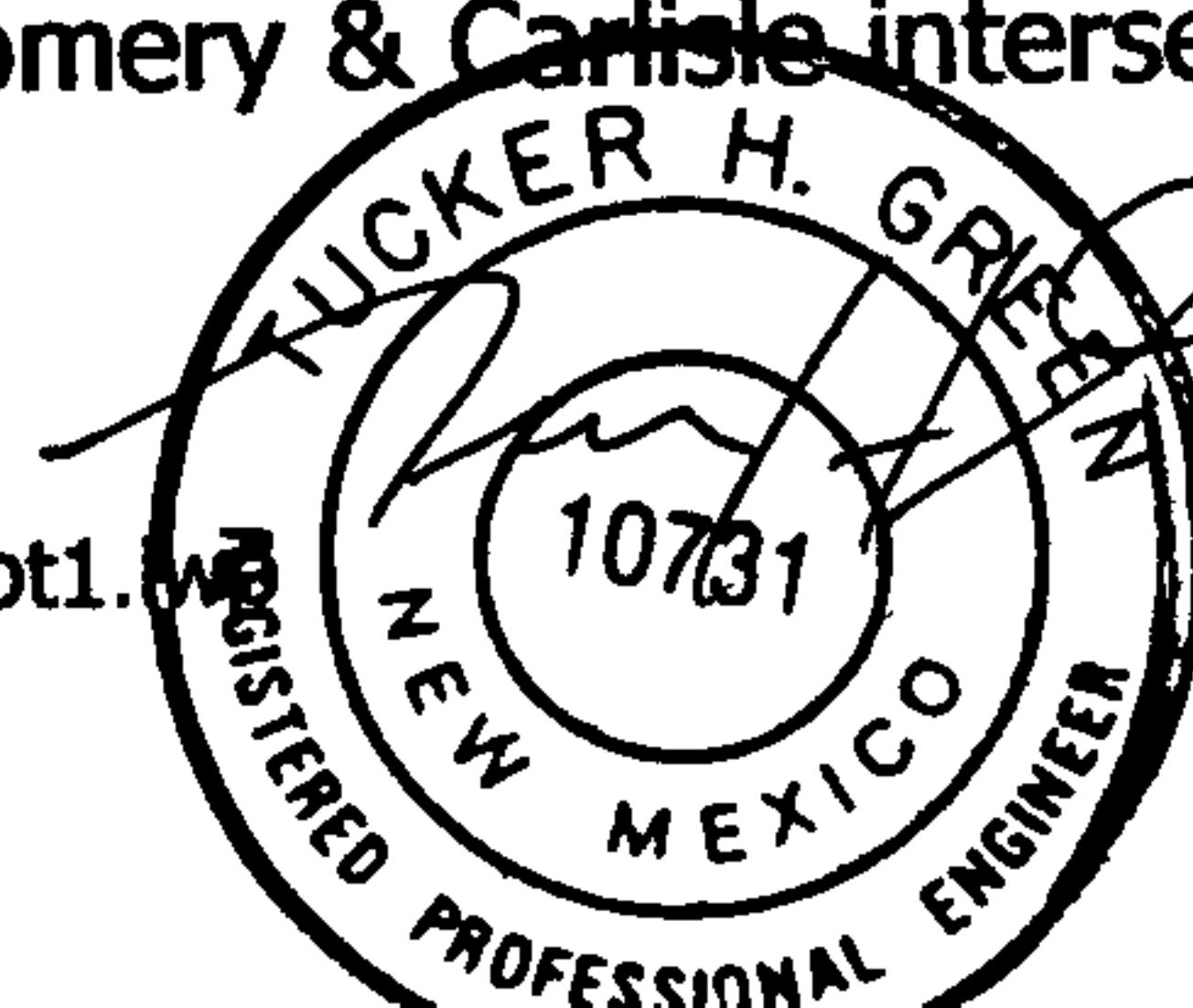
Detailed surveying has not yet been done for the site (and nearby parts of the existing bank site) but will be. Several photos indicating existing conditions are included with this report.

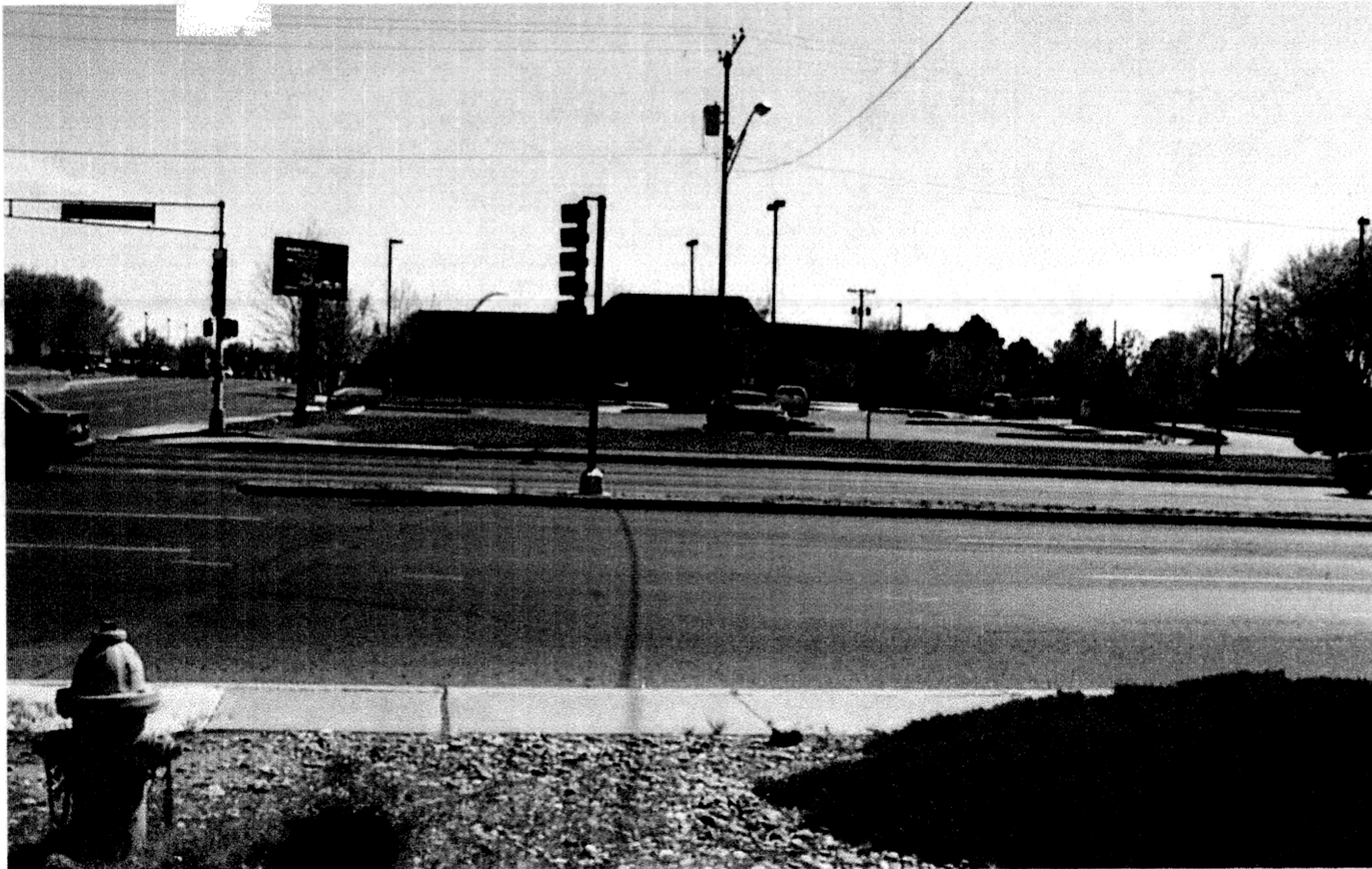
**PROPOSED CONDITIONS:** Two currently undeveloped lots adjacent to the existing bank will be developed for additional parking and for drive up ATMs (Automatic Teller Machines). There will be no habitable structures. Paving in the new lot will tie to paving in the old lot. Legal details regarding access between this project and the existing bank - whether by replatting or easements - will be decided later in the development process.

Per preliminary discussion with Brad Bingham of COA public Works/ Hydrology, free discharge to Montgomery Blvd. will be allowed. The lot will be graded, and retaining walls provided, as necessary to direct runoff to Montgomery. Some fill will be required. At this point it is not clear whether existing privacy walls on the south and west will be replaced. If the walls are on the adjacent developed residential sites it is possible that they will remain and be supplemented by retaining structures located on the project site. Or the bank may reach some agreement with adjacent owners. The site may accept minor runoff from the bank and pass it to the street.

Even though free discharge is to be allowed, the owners anticipate routing most site runoff through minor ponding in landscape areas and then to the street, probably via a sidewalk culvert. How and to what extent the ponding happens will depend on City requirements (grades & how much R.O.W. used) as to improving the Montgomery & Carlisle intersection.

END OF REPORT TEXT





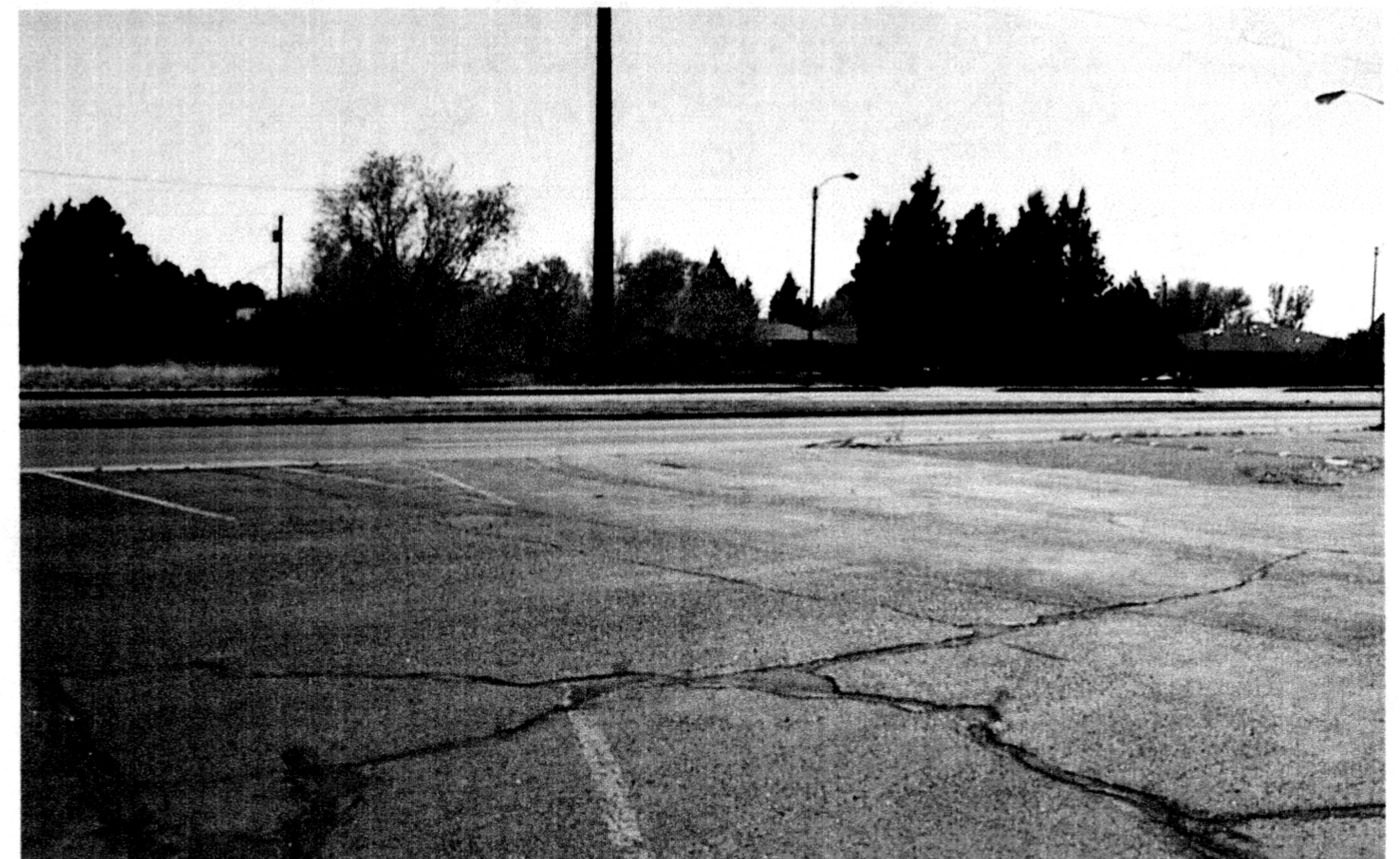
Looking south at existing Wells Fargo bank. Montgomery in foreground, Carlisle at left.



Project site to right (west) of existing bank



Project site to right (west) of existing bank



Looking S at west end of project site



West of project site. "Feeder" channel to AMAFCA's North Diversion Channel starts at yellow banner, center right



1st lot west of project, looking east along S side of Montgomery. Project site beyond tree. Note RR ties and yellow paint at median - they are in the next photo too.



Looking north to start of "feeder" channel: note RR ties & yellow paint at median opening. Cf. previous photo.



The large power pole on the right is on the project site. Note lack of sidewalk just west of site.



West side of site, looking south.



Center of site



East side of site



At the bank just east of site. Note how embankment maintains slope while varying base width.



Looking SW. Note site light at right.



Lookinh NW. Site light at right is same as at right in previous photo. Note utility pole & guy wires.



Looking W. Same utility pole & guy wires.



Looking W at site and back yard of lot adjacent south.



Looking W.



Looking west and a little north.



Looking north and a little west.



Looking S.



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 10, 1994

Bob Crossno  
Randy Holt & Associates  
7911 Mountain Rd. NE  
Albuquerque, NM 87110

RE: ENGINEER CERTIFICATION FOR PHASE I & PHASING PLAN FOR UNITED  
NEW MEXICO BANK @ CARLISLE & MONTGOMERY (G16-D108) ENGINEER  
CERTIFICATION STATEMENT DATED 4/28/94.

Dear Mr. Crossno:

Based on the information provided on your April 28, 1994 resubmittal, the  
above referenced site is approved for Phase I Engineer Certification and  
Phasing.

Please be advised that once work is completed on Phase II work, Engineer  
Certification is required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/d1/WPHYD/8138

c: Andrew Garcia

File



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 16, 1994

Bob Crossno  
randy Holt & Associates  
7911 Mountain Rd. NE  
Albuquerque, NM 87110

RE: ENGINEER CERTIFICATION FOR PHASE II FOR UNITED NEW MEXICO BANK  
@ CARLISLE & MONTGOMERY (G16-D108) CERTIFICATION STATEMENT  
DATED 11/8/94.

Dear Mr. Crossno:

Based on the information provided on your November 10, 1994 submittal,  
Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/d1/WPHYD/8138

c: Andrew Garcia  
File

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: UNITED N.M. BANK ZONE ATLAS/DRNG. FILE #: G-16-7/1108  
DRB #: G16-D108 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: LOTS 9, 10 & 11 AND TRACT A OF BLOCK 10, MONTGOMERY HTS  
CITY ADDRESS: 4411 CARUSLE BLVD N.E.  
ENGINEERING FIRM: RANDY HOLT & ASSOC CONTACT: BOB CROSSNO  
ADDRESS: 7911 MOUNTAIN RD N.E. PHONE: 265-5823  
OWNER: UNITED N.M. BANK - NORTHWEST CONTACT: RON TILLEY  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ARCHITECT: GARRETT SMITH CONTACT: GARRETT SMITH  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
SURVEYOR: ALBUQUERQUE SURVEY CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: JAYNES CORP CONTACT: KRISHNA REDDY  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☒ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
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☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: Nov. 9, 1994  
BY: ROBERT W. CROSSNO

NOV 10 1994

# CITY OF ALBUQUERQUE

## PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

JAYNES CORP., INC.

44

**CONTRACTOR**

**LICENSE**

5A98

**ADDRESS**

2906 BROADWAY BD. N.E.

ALBUQUERQUE, NM 87107

345-8591

4411 CARLISLE BD NE

**STREET**

CONTRACT

**PERMIT AND DETOUR PLAN COMMENTS**

ON HENDRIX REPLACING C/C, SW WITH 24' OF DP, 67' SW & CC ON CARLISLE, 55' SW HENDRIX, BARR. CARLISLE 2/21-2/25 @ \$45.38 X 4 DAYS = 181.52

APPROVAL G. GOMEZ, SO-19

**START DATE** **COMPLETION DATE** **PERMIT EXPIRES**

2/15/94 3/15/94 2/25/94

**INSURANCE EXPIRES**

1/1/95

**BOND EXPIRES**

12/31/94

**ZONE A/LAS**

**PERMIT NUMBER**

**PROJECT NUMBER**

**PERMIT ISSUE DATE**

2/15/94

**BARRICADED BY**

BLUE STAKE

**PAYING BY**

EXCAVATION 443008-5810000

SIDEWALK 443012-5810000

DRIVEPAD 443011-5810000

CURE/GUTTER 443010-5810000

BARRICADING 443009-5810000

RESTORATION 461601-8233000

**TOTAL FEE**

25.00

EX 0.00

SW 0.00

DP 0.00

CG 25.00

BR 0.00

RS 0.00

**APPLICANT**

**ISSUED BY**

VOID UNTIL VALIDATED BY CITY TREASURER

CITY OF ALBUQUERQUE, TREASURY DIVISION

940224 0040 44301058100000

\$25.00 026 03

000942723

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE, IN ACCORDANCE WITH ARTICLES 8-6 AND 8-7 R.O., 1974, PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2351 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 765-1234, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 11/88

NOV 10 1994

# CITY OF ALBUQUERQUE

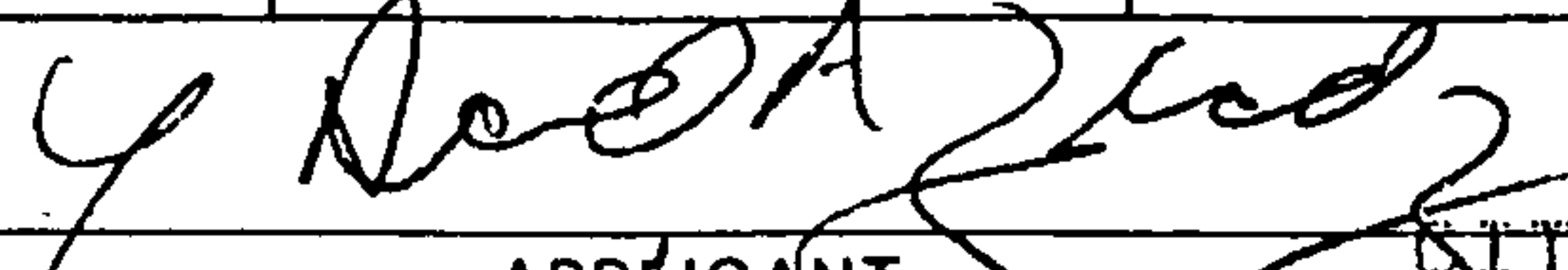
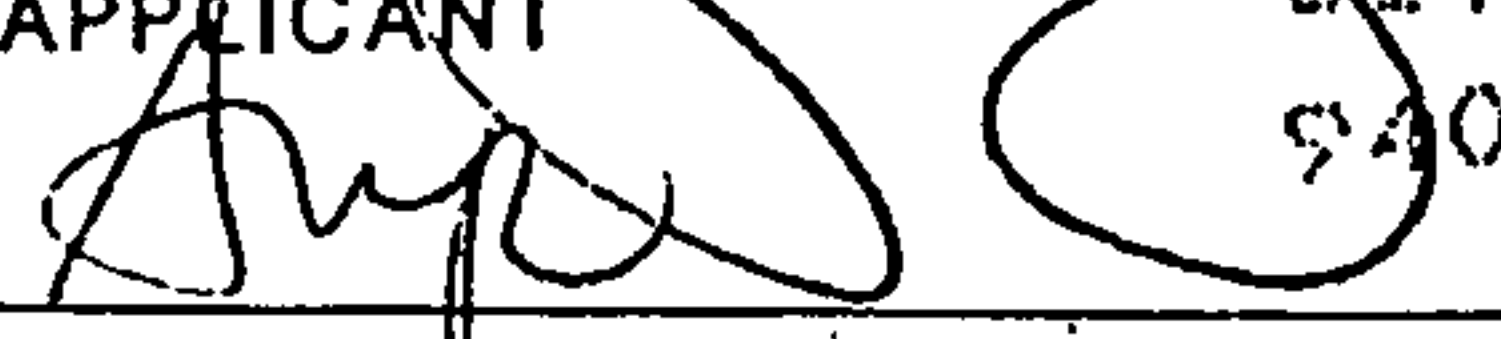
## PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

JAYNES CORP., INC.

942431

<b>CONTRACTOR</b> <b>LICENSE</b> GA98 <b>ADDRESS</b> 2906 BROADWAY BD. N.E. ALBUQUERQUE, NM 87107 345-8591		<b>PERMIT NUMBER</b> <b>PROJECT NUMBER</b> 2/15/94 <b>PERMIT ISSUE DATE</b> JULI <b>BARRICADED BY</b> 000284 <b>BLUE STAKE</b> CON <b>PAVING BY</b>	
<b>SITE</b> 4411 CARLISLE BD NE		<b>EXCAVATION</b> 443008-5810000 42.00 EX <b>SIDEWALK</b> 443012-5810000 26.00 SW <b>DRIVEPAD</b> 443011-5810000 6.00 DP <b>CURB/GUTTER</b> 443010-5810000 12.00 CG <b>BARRICADING</b> 443009-5810000 181.52 BR <b>RESTORATION</b> 461601-8233000 0.00 RS <b>TOTAL FEE</b> 267.52	
<b>PERMIT AND DETOUR PLAN COMMENTS</b> ON HENDRIX REPLACING C/C, SW WITH 24 OF DP, 67' SW & CC ON CARLISLE, 55' SW HENDRIX, BARR. CARLISLE 2/21-2/25 @ \$45.38 X 4 DAYS = 181.52  APPROVAL G. GOMEZ			

START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS
2/15/94	3/15/94	2/25/94	1/1/95	12/31/94	

 APPLICANT  ISSUED BY	VOID UNTIL VALIDATED BY CITY TREASURER CITY OF ALBUQUERQUE, TREASURY DIVISION 940215 0104 M 0108 00000000942431 \$267.52 020 04
--	--

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH ARTICLES 6-6 AND 6-7 R.O., 1974, PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES; PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 765-1234 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 11/82

9312779

CITY OF ALBUQUERQUE  
Code Administration Division  
Building Section

Inspection Notice  
Phone (764-1628) or 764-1629

The Building Code of the City of Albuquerque requires that this CARD BE POSTED IN A CONSPICUOUS PLACE ON THE JOB.

Permit No. 4411 Date 2-22-9  
Address 1111 Canby NE  
Owner United NM Bank  
Contractor Taghres Corp

INSPECTION APPROVALS ARE REQUIRED BEFORE THE FOLLOWING IS COVERED:

Foundation  
Foundation Insulation  
(Interior Bearing Wall  
Footings if required)  
Frame  
Frame Insulation  
Exterior Lath  
Wallboard (Firewalls & Shearwalls)  
Final (After completion & before occupancy)

**A CERTIFICATE OF OCCUPANCY IS REQUIRED FOR ALL BUILDINGS OR STRUCTURES BEFORE USE OR OCCUPANCY.**

A request for a Certificate of Occupancy shall be made by the owner or his agent after final inspection approvals have been secured from all Divisions/Departments involved. (Including Plumbing, Gas, Mechanical, Electrical, Health, Zoning, Fire, Etc.) Phone 764-1655. A Certificate of Occupancy will be issued on final inspection for R-3 Occupancies. (One and two-family dwellings).

New Comm  
NOTICE

Licensed and Bonded Contractors are required for all Electrical, Mechanical, Plumbing, Gas Boiler & Elevator work. Separate permits are required.

**FENCES AND BLOCKWALLS**

Separate permits are required unless included on permit for building. It is the owners responsibility to ascertain his property lines. A Building Permit is required for fences and masonry walls over six (6) feet high and for retaining walls that vary more than eighteen (18) inches on opposite sides.

**RE-ROOFING**

A building permit is required for re-roofing and a final inspection shall be obtained.

1756101  
1/1/91

CONCRETE  
DOJO

FORM B-14

CITY OF ALBUQUERQUE  
CODE ADMINISTRATION DIVISION  
PHONE 266-5534 764-1628

CHAPTER 9, SECTION 904, THE ALBUQUERQUE BUILDING  
CODE REQUIRES THAT THIS CARD BE POSTED IN  
CONSPICUOUS PLACE ON THE JOB.

Permit No.

Location

Owner

Contractor

Rer. Wall

Block Wall

Fence

Swimming Pool

Miscellaneous

Remarks

NOTICE: LICENSED AND BONDED CONTRACTORS ARE RE-  
QUIRED FOR ALL PLUMBING, SEWERS, ELECTRICAL, GAS,  
AND SIDEWALK WORK. SPECIAL PERMITS ARE REQUIRED.

FENCES & BLOCK WALLS: SPECIAL PERMITS ARE  
REQUIRED UNLESS SPECIFIED ON ORIGINAL PERMIT.  
IT IS THE OWNER'S RESPONSIBILITY TO ASCERTAIN HIS  
PROPERTY LINES.

9402128

NOV 1 0 19

**Randy Holt & Associates, Inc.**  
**CONSULTING ENGINEERS**

7911 MOUNTAIN ROAD N.E.  
ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

**LETTER OF TRANSMITTAL**

TO

C.O.A. Hydrology

DATE <u>11-8-94</u>	JOB NO <u>9317</u>
ATTENTION <u>Mr. Bernie Montoya, CE</u>	
RE <u>United N.M. Bank - Carlisle</u>	
<u>916-D108</u>	

WE ARE SENDING YOU ☐ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications  
☐ Copy of letter ☐ Change order ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1	11-8-94		Final As-Built w/ Certification, copies of permits

THESE ARE TRANSMITTED as checked below:

- ☐ For approval ☐ Approved as submitted ☐ Resubmit \_\_\_\_\_ copies for approval  
☒ For your use ☐ Approved as noted ☐ Submit \_\_\_\_\_ copies for distribution  
☐ As requested ☐ Returned for corrections ☐ Return \_\_\_\_\_ corrected prints  
☐ For review and comment ☒ For Certificate of Occupancy  
☐ FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_

COPY TO

G. Smith

SIGNED:

[Signature]



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 2, 1994

## ***CERTIFICATE OF COMPLETION AND ACCEPTANCE***

United New Mexico Bank  
200 Lomas NW  
Albuquerque, NM 87102

**RE: UNITED NEW MEXICO BANK PROJECT NO. 4914.80  
(MAP NO. G-16)**

Dear Sir:

This is to certify that the City of Albuquerque accepts Project No. 4914.80 completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

- This project on southwest corner of Carlisle and Montgomery was for a deceleration lane taper. It involved removal of southwest curb and gutter, valley gutter, header curb P.C.C. and drive pad. The contractor also replaced valley gutter, southwest drivepad and and placed asphalt. A sidewalk was also installed.

The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

*Rick Roybal for 11/2/94*  
Rick Roybal, P.E.  
City Engineer,  
Engineering Group  
Public Works Department

Sincerely,

*Russell B. Givler*  
Russell B. Givler, P.E.  
Chief Construction Engineer,  
Engineering Group  
Public Works Department

Ltr. United New Mexico Bank

November 2, 1994

Project No. 4914.80

Page 2

cc: Carlos Spiess, Sundance Mechanical  
Bob Crossno, Randy Holt & Associates  
Fred Aguirre, Engineering Group, PWD  
Lynda Michelle DeVanti, Engineering Group, PWD  
Terri Martin, Engineering Group, PWD  
Martin Barker, Engineering Group, PWD  
Steve Gonzales, Special Assessments, DFM  
Sam Hall, Operations Group, PWD  
Jim Fink, Operations Group, PWD  
Ray Chavez, Traffic Engineering, PWD  
Stuart Reeder, Water/Wastewater Group, PWD  
Dean Wall, Engineering Group, PWD  
Josie Gutierrez, New Meter Sales, Finance Group, PWD  
Richard Zamora, Engineering Group, PWD  
f/Project No. 4604.84  
f/Readers  
f/Warranty:Contract



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 15, 1994

Bob Crossno  
Randy Holt & Associates  
7911 Mountain Rd. NE  
Albuquerque, NM 87110

RE: REVISED DRAINAGE PLAN FOR UNITED NEW MEXICO BANK @ CARLISLE  
& MONTGOMERY (G16-D108) REVISION DATED 4/11/94.

Dear Mr. Crossno:

Based on the information provided on your April 13, 1994 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist is required.

Please be advised that a separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/8138

xc: Andrew Garica  
Arlene Portillo  
File

Randy Holt & Associates, Inc.  
CONSULTING ENGINEERS

7971 MOUNTAIN ROAD N.E.  
ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

LETTER OF TRANSMITTAL

TO C.O.A. Hydrology

DATE	4-28-94	JOB NO	9317
ATTENTION	Mr. Bernie Montoya		
RE	United NM Bank-Carlisle		

> WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

☐ Shop drawings      ☐ Prints      ☒ Plans      ☐ Samples      ☐ Specifications

☐ Copy of letter      ☐ Change order      ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1			Phase I As Built w/ Certificates & Permits

THESE ARE TRANSMITTED as checked below:

☐ For approval      ☐ Approved as submitted      ☐ Resubmit \_\_\_\_\_ copies for approval

☒ For your use      ☐ Approved as noted      ☐ Submit \_\_\_\_\_ copies for distribution

☐ As requested      ☐ Returned for corrections      ☐ Return \_\_\_\_\_ corrected prints

☒ For review and comment      ☐ \_\_\_\_\_

☐ FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_

\_\_\_\_\_

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\_\_\_\_\_

1101 1102 1103 1104 1105 1106 1107 1108 1109 1110

APR 28 1994

COPY TO \_\_\_\_\_

SIGNED: Randy Holt

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: United NM Bank @ Carlisle ZONE ATLAS/DRNG. FILE #: G16-D108  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: LOTS 9, 10 & 11 AND TRACT A OF BLOCK 10 OF MONTOMERY HEIGHTS  
 CITY ADDRESS: 4411 CARLISLE BLVD, N.E.  
 ENGINEERING FIRM: RANDY HART & ASSOCIATES CONTACT: BOB CROSSNO  
 ADDRESS: 7911 MOUNTAIN RD NE 87110 PHONE: 265-5823  
 OWNER: UNITED NM BANK CONTACT: RON TILLEY  
 ADDRESS: P.O. Box 1081, 87111 PHONE: 766-7316  
 ARCHITECT: GARRETT SMITH LTD CONTACT: GARRETT SMITH  
 ADDRESS: 514 CENTRAL SW 87102 PHONE: 766-6968  
 SURVEYOR: SOUTHWEST SURVEYING CONTACT: FRANKLIN WILSON  
 ADDRESS: 333 LOMAS NE 87102 PHONE: 247-4444  
 CONTRACTOR: JAYNES CORP CONTACT: KRISHNA REDDY  
 ADDRESS: 2906 BROADWAY BLVD NE PHONE: 345-8591

## TYPE OF SUBMITTAL:

\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_ DRAINAGE PLAN  
 \_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
 \_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
 \_\_\_\_ OTHER \_\_\_\_\_

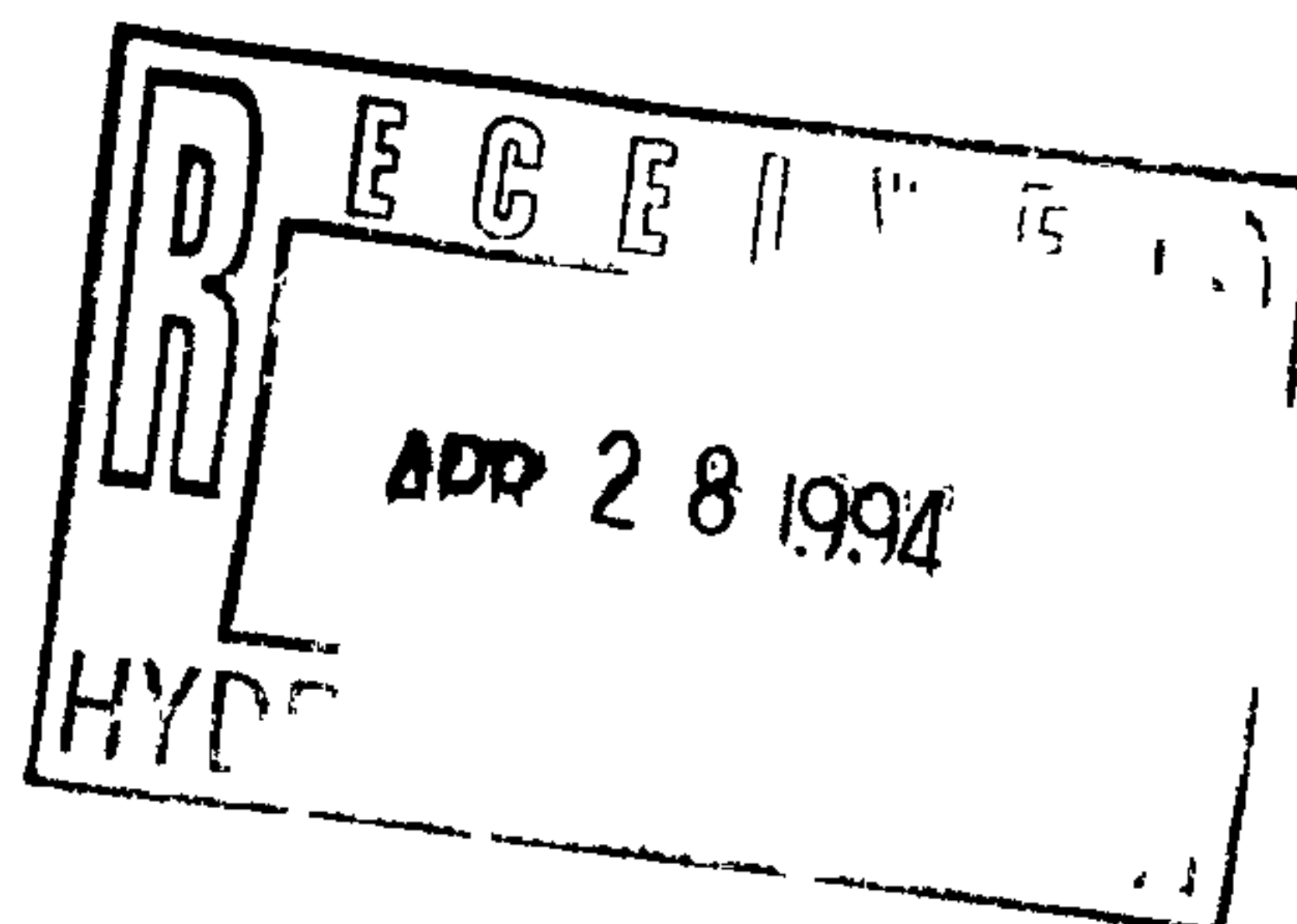
## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_ SKETCH PLAT APPROVAL  
 \_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
 \_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
 \_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_ S.A.D. DRAINAGE REPORT  
 \_\_\_\_ DRAINAGE REQUIREMENTS  
 \_\_\_\_ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

\_\_\_\_ YES  
 \_\_\_\_ NO  
 \_\_\_\_ COPY PROVIDED

DATE SUBMITTED: APRIL 28, 1994  
 BY: RottWC



9312779

CITY OF ALBUQUERQUE  
Code Administration Division  
Building Section

Inspection Notice  
Phone (764-1628) or 764-1629

The Building Code of the City of Albuquerque requires that this CARD BE POSTED IN A CONSPICUOUS PLACE ON THE JOB.

Permit No. 4411 Date 2-22-9  
Address Carlisle NE  
Owner United NM Bank  
Contractor Jaynes Corp

INSPECTION APPROVALS ARE REQUIRED BEFORE THE FOLLOWING IS COVERED:

Foundation  
Foundation Insulation  
(Interior Bearing Wall  
Footings if required)  
Frame  
Frame Insulation  
Exterior Lath  
Wallboard (Firewalls & Shearwalls)  
Final (After completion & before occupancy)

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New Comm  
NOTICE

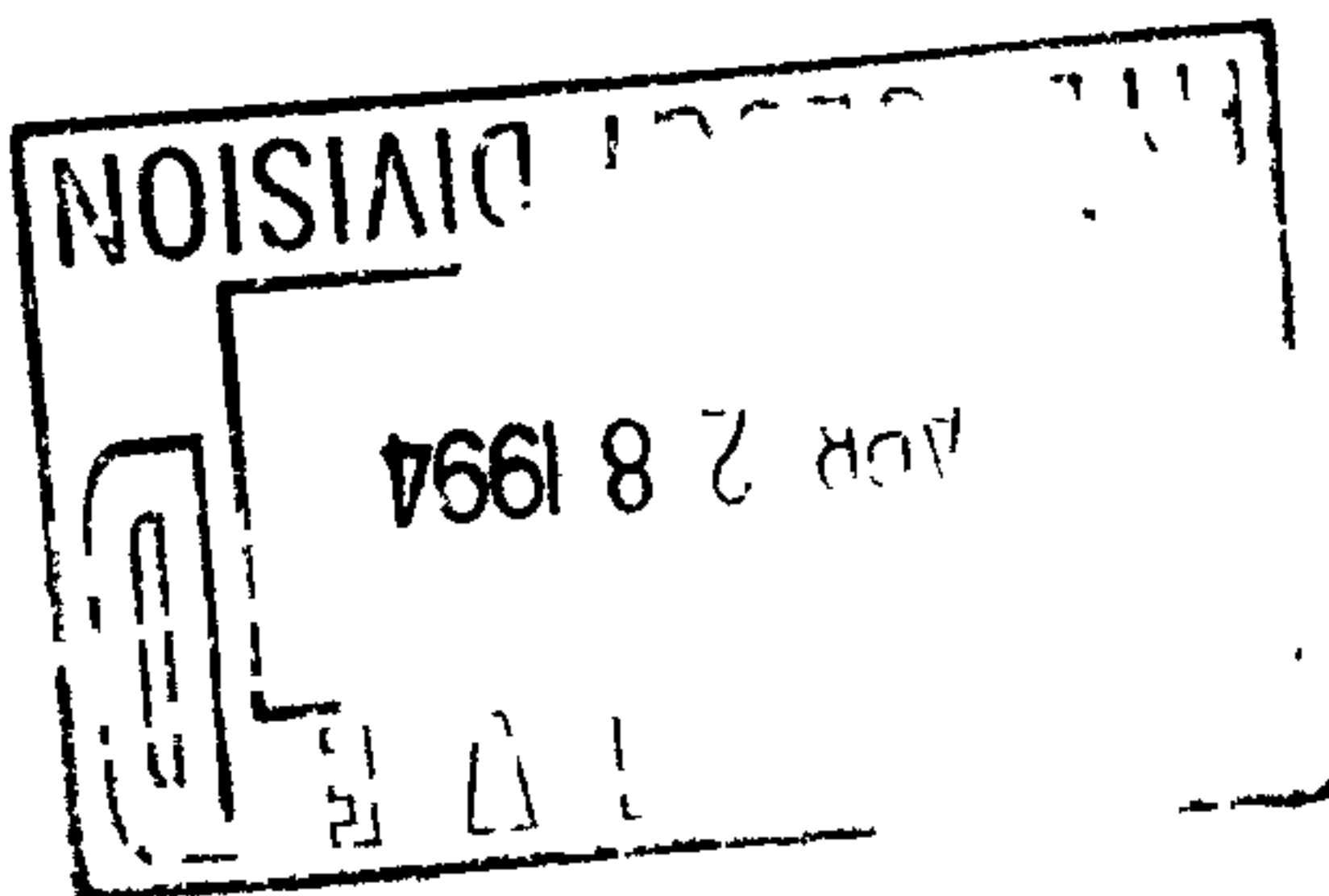
Licensed and Bonded Contractors are required for all Electrical, Mechanical, Plumbing, Gas Boiler & Elevator work. Separate permits are required.

**FENCES AND BLOCKWALLS**

Separate permits are required unless included on permit for building. It is the owners responsibility to ascertain his property lines. A **Building Permit** is required for fences and masonry walls over six (6) feet high and for retaining walls that vary more than eighteen (18) inches on opposite sides.

**RE-ROOFING**

A building permit is required for re-roofing and a final inspection shall be obtained.



Concrete  
Down

FORM B-14

**H1410**

**CITY OF ALBUQUERQUE**  
**CODE ADMINISTRATION DIVISION**  
PHONE 2-67-3341 764-1628 1629

CHAPTER 3, SECTION 304, THE ALBUQUERQUE BUILDING CODE REQUIRES THAT THIS CARD BE POSTED IN A CONSPICUOUS PLACE ON THE JOB.

Permit No. **19-1591**  
Location **441 Central Ave**  
Owner **United States**  
Contractor **James Corp**  
Ret. Wall **262 ft**  
Block Wall  
Fence  
Swimming Pool  
Miscellaneous  
Remarks **See P 11**

**NOTICE: LICENSED AND BONDED CONTRACTORS ARE REQUIRED FOR ALL PLUMBING, SEWERS, ELECTRICAL, GAS AND SIDEWALK WORK. SPECIAL PERMITS ARE REQUIRED FOR FENCES & BLOCK WALLS. SPECIAL PERMITS ARE REQUIRED UNLESS SPECIFIED ON ORIGINAL PERMIT. IT IS THE OWNER'S RESPONSIBILITY TO ASCERTAIN HIS PROPERTY LINES.**

**9402128**

1008 28 1994

# CITY OF ALBUQUERQUE

## PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

RAYNES CORP. INC.

942431

### CONTRACTOR

#### LICENSE

3A98

#### ADDRESS

2906 BROADWAY BD. N.E.  
ALBUQUERQUE, NM 87107

345-8591

4411 CARLISLE RD NE

### PERMIT NUMBER

#### PROJECT NUMBER

#### PERMIT ISSUE DATE

#### BARRICADED BY

#### BLUE STAKE

NO. 4101 10

#### PAYING BY

EXCAVATION 443008=5810000

SIDEWALK 443012=5810000

DRIVEPAD 443011=5810000

CURB/GUTTER 443010=5810000

BARRICADING 443009=5810000

RESTORATION 461601=8233000

#### TOTAL FEE

267.52

APPROVAL G. GOMEZ

### PERMIT AND REMOVAL COMMENTS

ON HENDRIX REPLACING C/L, SW WITH 24

OF DP, 67' SW & CC ON CARLISLE, 55' SW

HENDRIX, BARR. CARLISLE 2/21-2/25

@ \$45.38 X 4 DAYS = 181.52

START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE	ALIAS
------------	-----------------	----------------	-------------------	--------------	------	-------

2/15/94

3/15/94

2/25/94

1/1/95

12/31/94

#### APPLICANT

CITY

VOID UNTIL VALIDATED BY CITY TREASURER  
OF ALBUQUERQUE, TREASURY DIVISION  
0104 M 0108 00000000942431  
\$267.52 020 04

#### ISSUED BY

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH ARTICLES 8-6 AND 8-7 R.O. 1974, PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

DIVISION

MAR 28 1994

# CITY OF ALBUQUERQUE

## PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

**CONTRACTOR**  
**LICENSE** 5498  
**ADDRESS** 2906 BROADWAY BD. N.E.  
 ALBUQUERQUE, NM 87107  
 345-8591

**STREET** 4411 CARLISLE BD NE  
**PERMIT AND DETOUR PLAN COMMENTS**  
 ON HENDRIX REPLACING C/C, SW WITH 24' OF DP, 67' SW & CC ON CARLISLE, 55' SW HENDRIX, BARR. CARLISLE 2/21-2/25 @ \$45.38 X 4 DAYS = 181.52

**PERMIT NUMBER**  
**PROJECT NUMBER**  
**PERMIT ISSUE DATE** 2/15/94  
**BARRICADED BY** ALI  
**PAID BY** 000284

**APPROVAL** G. GOMEZ, SO-19

<b>EXCAVATION</b> 443008-5810000	0.00	EX
<b>SIDEWALK</b> 443012-5810000	0.00	SW
<b>DRIVEPAD</b> 443011-5810000	0.00	DP
<b>TOURB/GUTTER</b> 443010-5810000	25.00	CG
<b>BARRICADING</b> 443009-5810000	0.00	BR
<b>RESTORATION</b> 461601-8233000	0.00	RS
<b>TOTAL FEE</b>	25.00	

<b>START DATE</b>	<b>COMPLETION DATE</b>	<b>PERMIT EXPIRES</b>	<b>INSURANCE EXPIRES</b>	<b>BOND EXPIRES</b>	<b>ZONE ATLAS</b>
2/15/94	3/15/94	2/25/94	1/1/95	12/31/94	
<p><b>APPLICANT</b> <i>[Signature]</i>  <b>ISSUED BY</b> <i>[Signature]</i></p>					
<p><b>VOID UNTIL VALIDATED BY CITY TREASURER</b>            CITY OF ALBUQUERQUE, TREASURY DIVISION            940224 0040 44301058100000 000942723            \$25.00 026 03</p>					

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE, IN ACCORDANCE WITH ARTICLES 8-6 AND 8-7 R.O., 1974. PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 765-1234, 48 HOURS IN ADVANCE FOR LINE STAKING PWD 003 REV 11/82

APR 28 1994  
 HYDROLOGICAL

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: UNITED NM BANK @ CARUSLE BLVD ZONE ATLAS/DRNG. FILE #: G16-D108  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: LOTS 9, 10 & 11 AND TRACT A OF BLOCK 10 OF MONTGOMERY HEIGHTS  
 CITY ADDRESS: 4411 CARUSLE BLVD, N.E.  
 ENGINEERING FIRM: RANDY HOLT & ASSOCIATES CONTACT: ROBERT CROSSNO  
 ADDRESS: 7911 MOUNTAIN RD, NE, 87110 PHONE: 265-5823  
 OWNER: UNITED NM BANK CONTACT: RON TILLEY  
 ADDRESS: P.O. Box 1081, 87111 PHONE: 766-7316  
 ARCHITECT: GARRETT SMITH LTD CONTACT: GARRETT SMITH  
 ADDRESS: 514 CENTRAL S.W. 87102 PHONE: 766-6968  
 SURVEYOR: SOUTHWEST SURVEYING CONTACT: FRANKLIN WILSON  
 ADDRESS: 333 LOMAS NE 87102 PHONE: 247-4444  
 CONTRACTOR: JAYNES CORP. CONTACT: KRISHNA REDDY  
 ADDRESS: 2906 BROADWAY BLVD NE PHONE: 345-8591

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☒ OTHER OLD PLAN SHOWING  
ORIGINALLY APPROVED  
DESIGN

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
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☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☒ OTHER REVISION TO (SPECIFY)

APPROVED PLANS

DATE SUBMITTED: APRIL 11, 1994  
 BY: [Signature]

RECEIVED  
 APR 11 1994

**Randy Holt & Associates, Inc.**  
**CONSULTING ENGINEERS**

7911 MOUNTAIN ROAD N.E.  
ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

**LETTER OF TRANSMITTAL**

TO C.O.A. Hydrology

DATE	April 11, 1994	JOB NO.	9317.4
ATTENTION	Mr. Bernie J. Montoya, CE,		
RE	United NM Bank-Carlisle		

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications  
☐ Copy of letter ☐ Change order ☒ Report

COPIES	DATE	NO.	DESCRIPTION
1	4-11-94		Drainage-grading plan, revised
1	4-11-94		" " " bubbled to show
			areas that changed
1	11-30-93		" " " original
1	4-11-94		Drainage report, revised.

THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit \_\_\_\_\_ copies for approval  
☒ For your use ☐ Approved as noted ☐ Submit \_\_\_\_\_ copies for distribution  
☐ As requested ☐ Returned for corrections ☐ Return \_\_\_\_\_ corrected prints  
☐ For review and comment ☐ \_\_\_\_\_  
☐ FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS

If you have any questions, do not hesitate to call.

Please expedite this as project is underway and owner wants to move in as soon as possible.

COPY TO \_\_\_\_\_

SIGNED: \_\_\_\_\_

*[Signature]*



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 6, 1993

Bob Crossno  
Randy Holt & Assoc.  
7911 Mountain Rd. NE  
Albuquerque, NM 87110

RE: DRAINAGE PLAN FOR UNITED NEW MEXICO BANK @ CARLISLE & MONTGOMERY  
(G16-D108) ENGINEER'S STAMP DATED 11/30/93.

Dear Mr. Crossno:

Based on the information provided on your December 1, 1993 submittal, listed are some concerns that will need to be addressed prior to final approval:

1. Please check your computation for your volume determination, only the V100-360 volume is required if no ponding is required.
2. You must also include the computations for the peak discharge 100 year.
- ✓ 3. Sign-off block and six notes from the S.O. 19 format within the plan drawing. Also, you must include the City of Albuquerque Standard Spec. No. for the proposed sidewalk culverts within City Right-of-Way.
- ✓ 4. Note 35 indicates that splash blocks are proposed within that area. Developed roof run-off is not allowed over a public sidewalk. Do you propose a sidewalk culvert in this area?
- ✓ 5. Note on plan drawing that Engineer Certification will be required prior to Certificate of Occupancy release.
6. Roof drainage from roof downspouts, must be directed away from landscaped areas and onto the paved area.

PUBLIC WORKS DEPARTMENT

Bob Crossno  
Page 2

- ✓ 7. Note indicating that the site is encroached by an A0-1 floodzone and that the finish floor has been designed to be above the flood zone elevation.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

  
Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/8138

xc: File



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 20, 1993

Bob Crossno  
Randy Holt & Associates  
7911 Mountain Rd. NE  
Albuquerque, NM 87110

RE: REVISED DRAINAGE PLAN FOR UNITED NEW MEXICO BANK @ CARLISLE  
& MONTGOMERY (G16-D108) REVISION DATED 12/15/93.

Dear Mr. Crossno:

Based on the information provided on your December 15, 1993 resubmittal, the above referenced site is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist is required.

Please be advised that a separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

*Bernie J. Montoya*  
Bernie J. Montoya, CE  
Engineer Associate

BJM/d1/WPHYD/8138

xc: Alan Martinez  
Darlene Saavedra  
File

PUBLIC WORKS DEPARTMENT

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: UNITED NM BANK ZONE ATLAS/DRNG. FILE #: E-16-Z/0108  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: LOTS 9, 10 & 11 & TRACT A, BLOCK 10, MONTGOMERY HEIGHTS  
 CITY ADDRESS: 4411 CARLISLE BLVD N.E.  
 ENGINEERING FIRM: RANDY HOLT & ASSOC. CONTACT: BOB CROSSNO  
 ADDRESS: 7911 MOUNTAIN RD N.E. PHONE: 265-5823  
 OWNER: UNITED N.M. BANK CONTACT: RON TILEY  
 ADDRESS: P.O. Box 1081 PHONE: 766-7316  
 ARCHITECT: GARRETT SMITH LTD CONTACT: GARRETT SMITH  
 ADDRESS: 514 CENTRAL S.W. PHONE: 766-6968  
 SURVEYOR: WILSON SURVEYING CONTACT: FRANKLINE WILSON  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CONTRACTOR: JAYNES CORP. CONTACT: KRISHNA REDDY  
 ADDRESS: 2906 BROADWAY NE PHONE: 345-8591

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

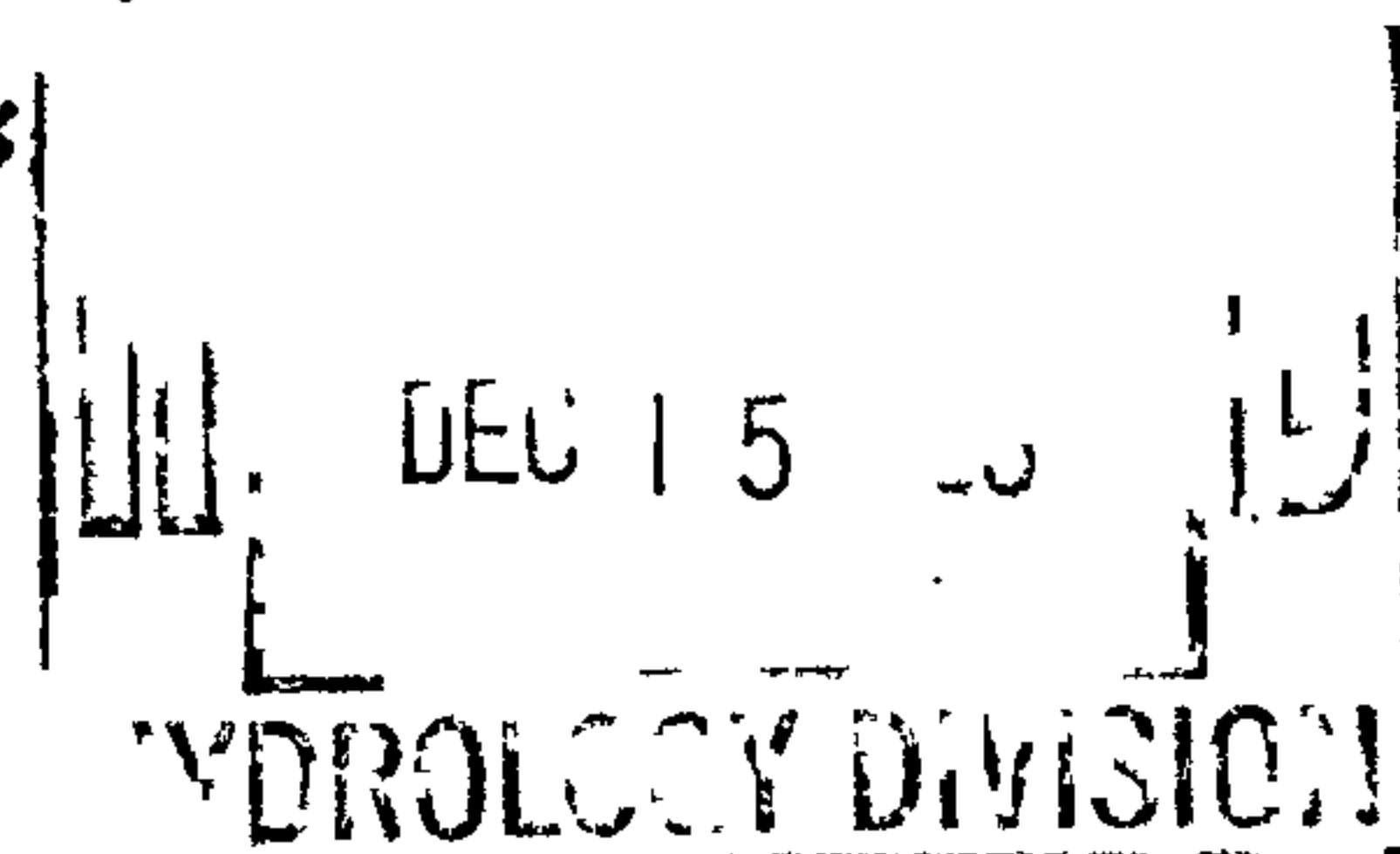
## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
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☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

Verbal Cmts on 12/29/93

Redo calculations

DATE SUBMITTED: DEC 15, 1993  
 BY: R.W. CROSSNO



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: UNITED N.M. BANK ZONE ATLAS/DRNG. FILE #: G-16.7/2108  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
LEGAL DESCRIPTION: LOTS 9, 10 & 11, TRACT A, BLOCK 10, MONTGOMERY HEIGHTS  
CITY ADDRESS: 4411 CARLISLE BLVD N.E.  
ENGINEERING FIRM: RANDY HOLT & ASSOC. CONTACT: BOB CROSSNO  
ADDRESS: 7911 MOUNTAIN RD N.E. PHONE: 265-5823  
OWNER: UNITED N.M. BANK CONTACT: GARY WILLIAMS  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
ARCHITECT: GARRETT SMITH LTD CONTACT: GARRETT SMITH  
ADDRESS: 766-6968 PHONE: \_\_\_\_\_  
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CONTRACTOR: JAYNES CONTACT: KRISHNA REDDY  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

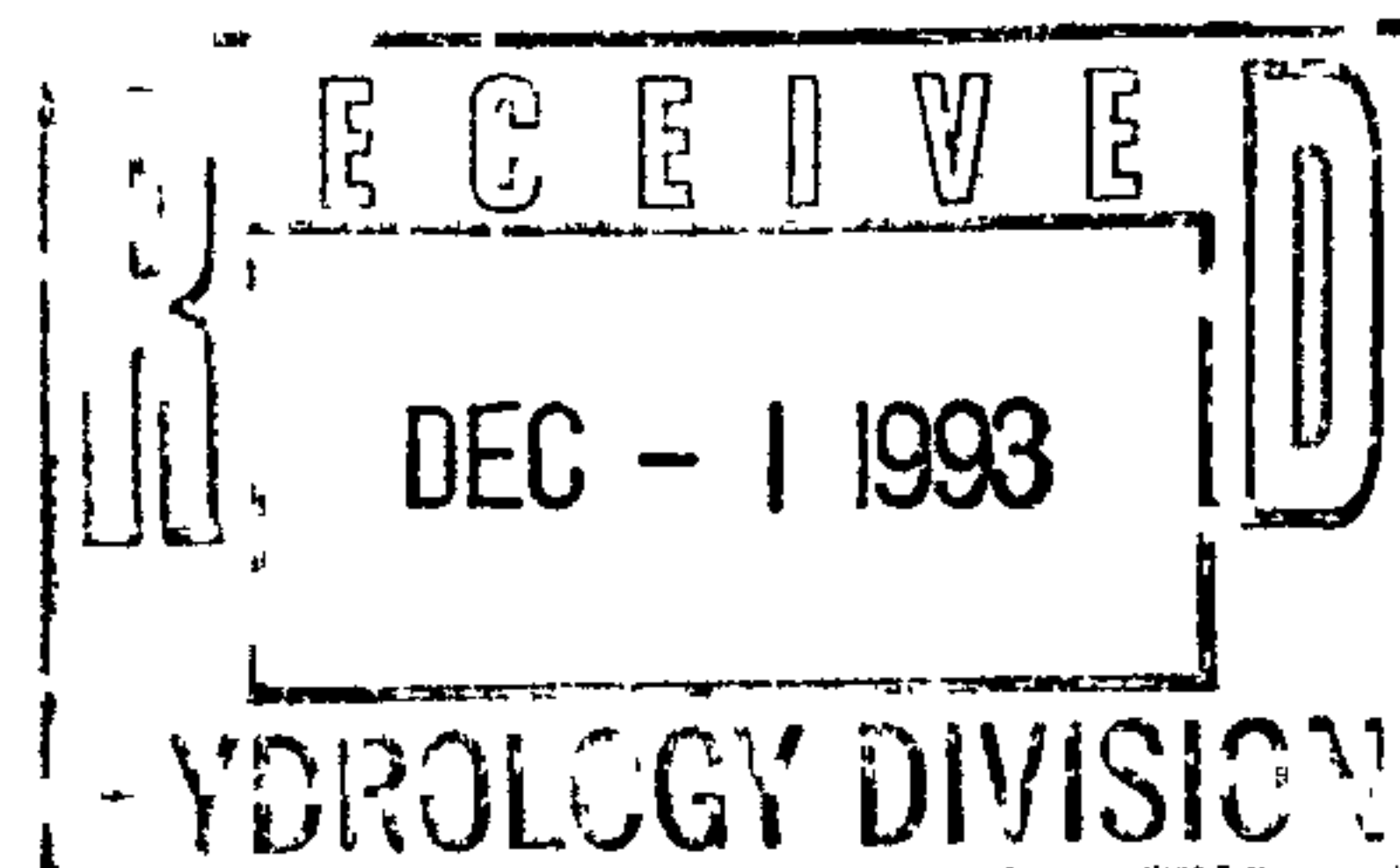
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☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED:

DEC. 1, 1993

BY:

BOB CROSSNO

**Randy Holt & Associates, Inc.**  
**CONSULTING ENGINEERS**

7920 MOUNTAIN ROAD N.E.  
 ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

# LETTER OF TRANSMITTAL

TO

*City of Albuquerque  
 Hydrology*

DATE	<i>12/15/93</i>	JOB NO.	<i>9319</i>
ATTENTION	<i>Mr. Bernie Montoya</i>		
RE	<i>United N.M. Bank @ Carlisle              &amp; Montgomery</i>		

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings    ☐ Prints    ☒ Plans    ☐ Samples    ☐ Specifications  
☐ Copy of letter    ☐ Change order    ☒ *Calculations*

COPIES	DATE	NO.	DESCRIPTION
<i>2</i>	<i>12/15/93</i>		<i>Grade &amp; Drain Plan</i>
<i>1</i>	<i>12/15/93</i>		<i>Drainage Report</i>

THESE ARE TRANSMITTED as checked below:

- ☐ For approval    ☐ Approved as submitted    ☐ Resubmit \_\_\_\_\_ copies for approval  
☒ For your use    ☐ Approved as noted    ☐ Submit \_\_\_\_\_ copies for distribution  
☐ As requested    ☐ Returned for corrections    ☐ Return \_\_\_\_\_ corrected prints  
☒ For review and comment    ☐ \_\_\_\_\_  
☐ FOR BIDS DUE \_\_\_\_\_ 19\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_

COPY TO

*Garrett Smith*

SIGNED:

*[Signature]*

**Randy Holt & Associates, Inc.**  
**CONSULTING ENGINEERS**

7920 MOUNTAIN ROAD N.E.  
 ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

**LETTER OF TRANSMITTAL**

TO

*COA Hydrology Section*

DATE <i>11/30/93</i>	JOB NO. <i>9319</i>
ATTENTION <i>Mr. Bernie Montoya</i>	
RE <i>4411 Carlisle Blvd NE.</i>	
<i>United N.M. Bank</i>	

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings    ☐ Prints    ☒ Plans    ☐ Samples    ☐ Specifications  
☐ Copy of letter    ☐ Change order    ☒ *Report*

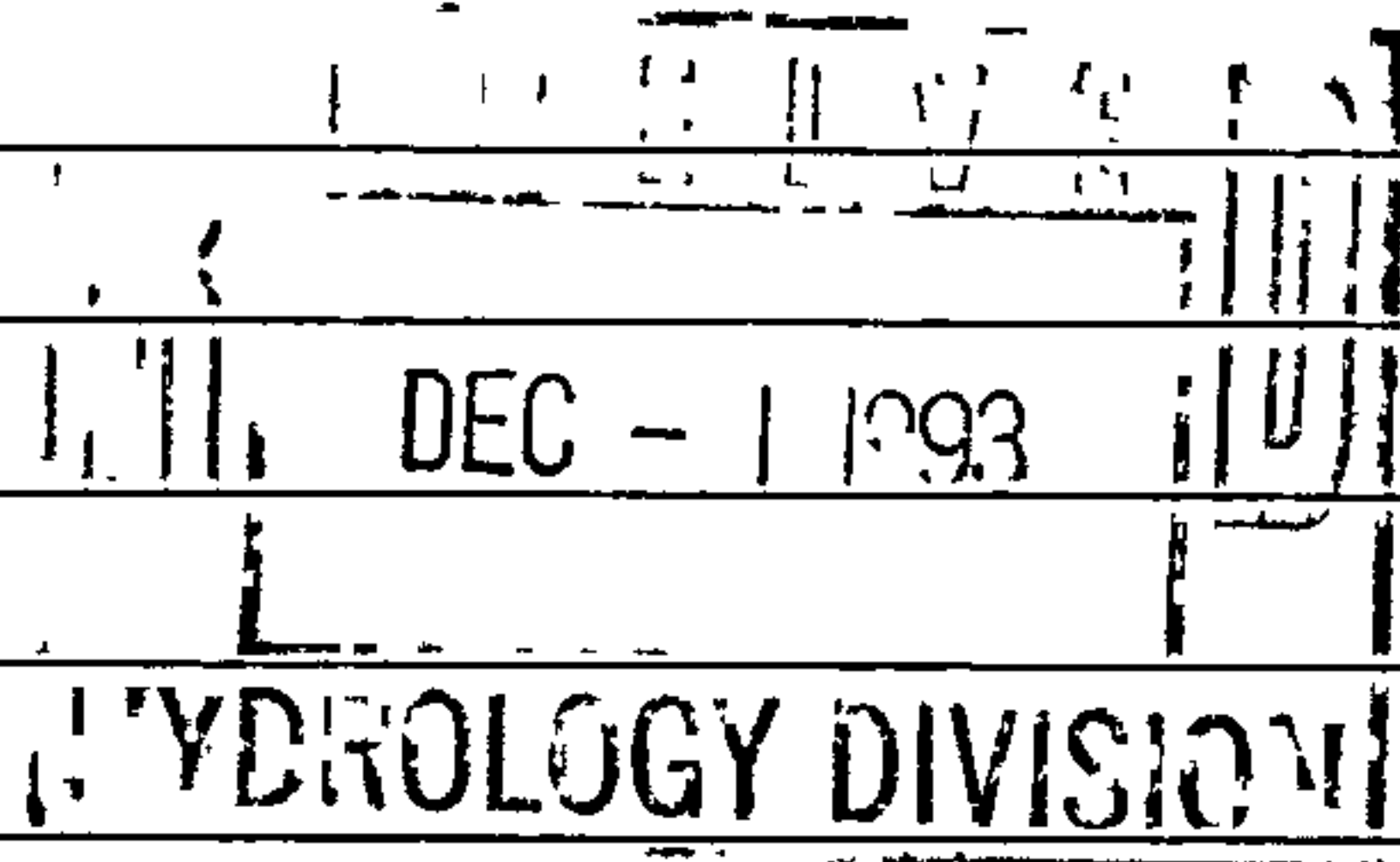
COPIES	DATE	NO.	DESCRIPTION
<i>2</i>	<i>11/30/93</i>		<i>Drainage - Grading Plan</i>
<i>2</i>			<i>Site Survey Plan</i>
<i>2</i>	<i>11/29/93</i>		<i>Drainage Report</i>

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☐ FOR BIDS DUE \_\_\_\_\_ 19\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS

*Please expedite.*



COPY TO \_\_\_\_\_

SIGNED: \_\_\_\_\_

*[Signature]*

**Randy Holt & Associates, Inc.**  
**CONSULTING ENGINEERS**

7920 MOUNTAIN ROAD N.E.  
 ALBUQUERQUE, NEW MEXICO 87110

PHONE (505) 265-5823

**LETTER OF TRANSMITTAL**

TO

*COA Hydrology Section*

DATE	<i>Dec. 1, 1993</i>	JOB NO.	<i>9319</i>
ATTENTION	<i>Mr. Bernard Montoya</i>		
RE	<i>4411 Carlisle Blvd NE, UNM Bank</i>		

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings    ☐ Prints    ☒ Plans    ☐ Samples    ☐ Specifications  
☐ Copy of letter    ☐ Change order    ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
<i>2</i>			<i>Revised plans with vicinity map</i>

THESE ARE TRANSMITTED as checked below:

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REMARKS \_\_\_\_\_

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\_\_\_\_\_

COPY TO \_\_\_\_\_

SIGNED:

*[Signature]*

The lots at the southwest corner of Carlisle and Montgomery, Lots 9, 10, and 11 and Tract A of Block 10 of Montgomery Heights, 4411 Carlisle Blvd, will be rebuilt by constructing a new motor bank at the south end (mostly on Lot 10, where a convenience store was recently demolished, and Tract A) then demolishing the existing motor bank building. The new building will have a larger area than the existing building, and the total impervious surface will be slightly more than the original two buildings and paving. Landscaping will be increased. There are no detention ponds on the site.

The majority of the site, including the new building footprint, is located in Zone C, designating areas of minimal flooding, and Zone AO(1), designating areas of 100-year shallow flooding where depths are between one and three feet according to the Flood Insurance Rate Map, City of Albuquerque, New Mexico, per Community Panel No. 350002 0023 C, effective date October 14, 1983. The site is located on map G-16-Z of the Zone Atlas.

The site is in Precipitation Zone 2.

The residential site to the west is separated from the site by a wall and will not contribute to offsite flows. The site drains to the streets to the north, east and south.

#### SETUP UNITS

ft  $\equiv$  1L      lb  $\equiv$  1M      s  $\equiv$  1T      in  $\equiv$   $\frac{\text{ft}}{12}$       K  $\equiv$  1000·lb      min  $\equiv$  60·s      hr  $\equiv$  60·min  
day  $\equiv$  24·hr      Ac  $\equiv$  43560·ft<sup>2</sup>      cfs  $\equiv$   $\frac{\text{ft}^3}{\text{s}}$

#### PRECIPITATION

P<sub>100\_360</sub> := 2.35·in

#### EXCESS PRECIPITATION:

P<sub>A\_100\_360</sub> := 0.53·in

P<sub>B\_100\_360</sub> := 0.78·in

P<sub>C\_100\_360</sub> := 1.13·in

P<sub>D\_100\_360</sub> := 2.12·in

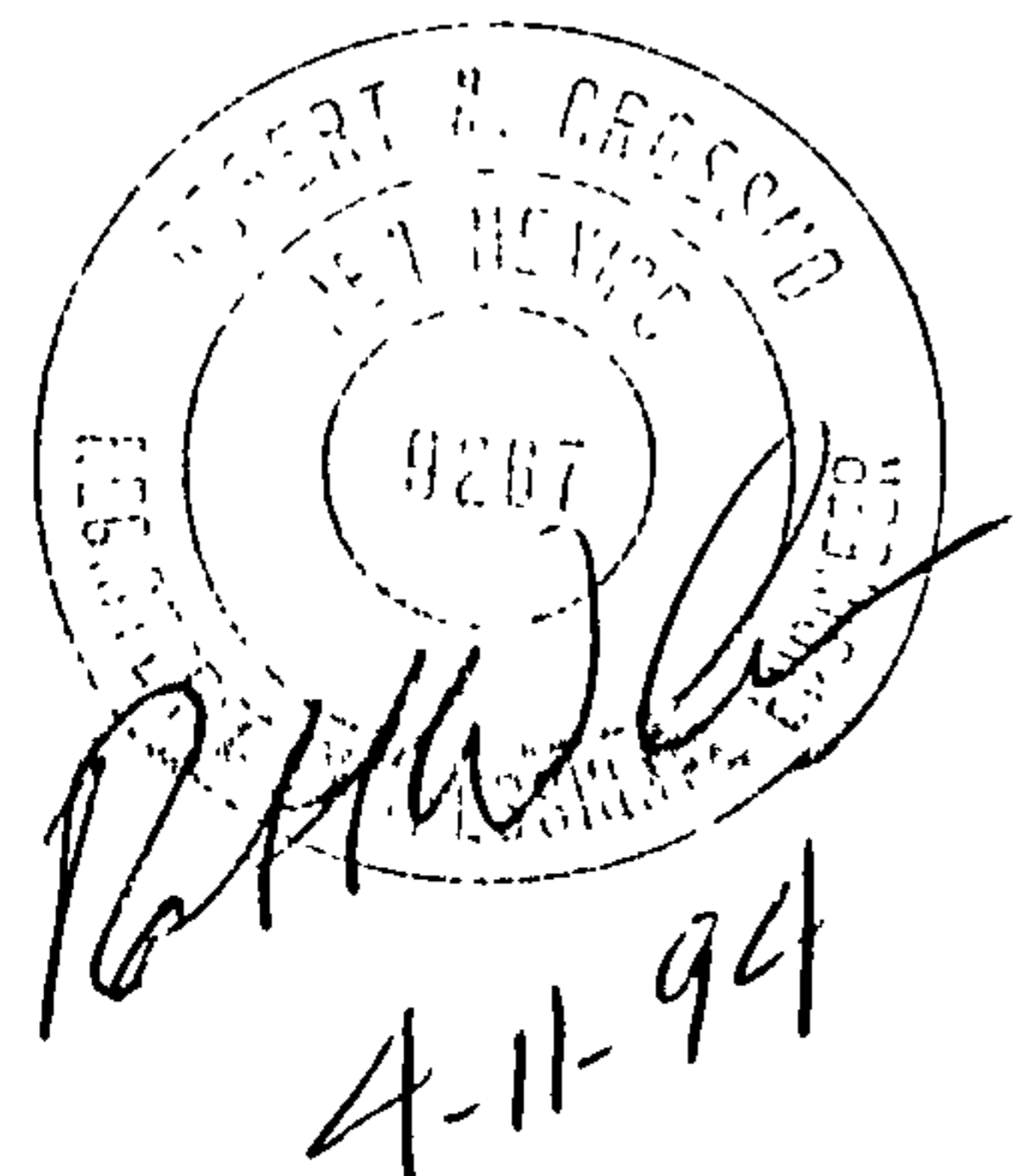
#### PEAK DISCHARGE:

Q<sub>PA\_100</sub> := 1.56  $\frac{\text{cfs}}{\text{acre}}$

Q<sub>PB\_100</sub> := 2.28  $\frac{\text{cfs}}{\text{acre}}$

Q<sub>PC\_100</sub> := 3.14  $\frac{\text{cfs}}{\text{acre}}$

Q<sub>PD\_100</sub> := 4.70  $\frac{\text{cfs}}{\text{acre}}$



FILED

**Areas draining to Montgomery --**

Northwest drive: - - - - -	$A_1 := 5822 \cdot \text{ft}^2$	Treatment D
West of Northwest drive: - - - - -	$A_2 := 1736 \cdot \text{ft}^2$	Treatment C
East of Northwest drive, north: - - - - -	$A_3 := 191 \cdot \text{ft}^2$	Treatment C
East of Northwest drive, south: - - - - -	$A_4 := 263 \cdot \text{ft}^2$	Treatment C
Curb landscaping along Montgomery: - - -	$A_5 := 2231 \cdot \text{ft}^2$	Treatment B

**Precipitation:**

$$V_{M_{100_{360}}} := A_5 \cdot P_{B_{100_{360}}} \dots$$

$$+ (A_2 + A_3 + A_4) \cdot P_{C_{100_{360}}} \dots$$

$$+ A_1 \cdot P_{D_{100_{360}}}$$

$$V_{M_{100_{360}}} = 1380 \cdot \text{ft}^3$$

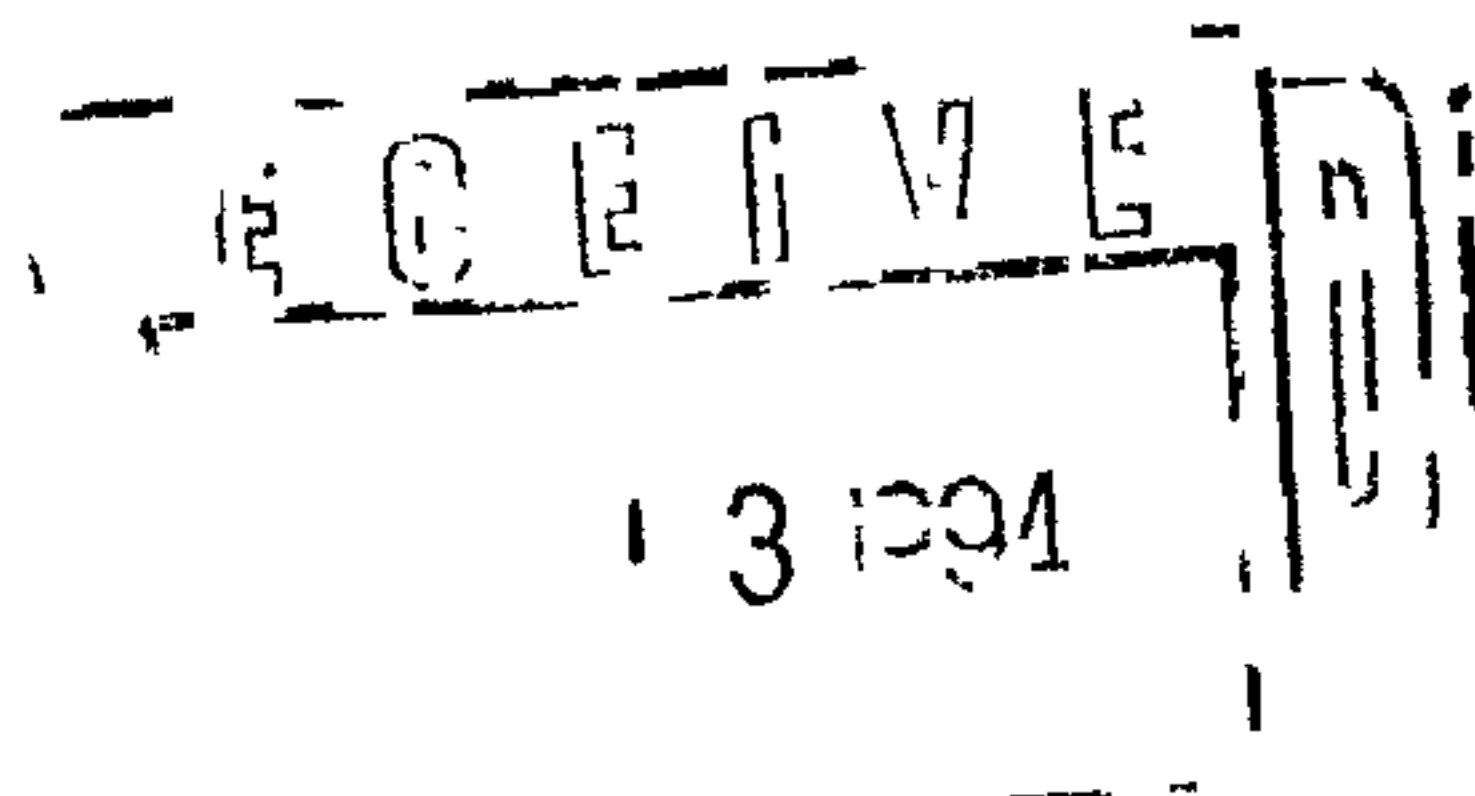
**Peak discharge:**

$$Q_{PM_{100}} := A_5 \cdot Q_{PB_{100}} \dots$$

$$+ (A_2 + A_3 + A_4) \cdot Q_{PC_{100}} \dots$$

$$+ A_1 \cdot Q_{PD_{100}}$$

$$Q_{PM_{100}} = 0.903 \cdot \text{cfs}$$



**Areas draining to Carlisle -**

Curb landscape along Carlisle, north: - - - - -	$A_1 := 1203 \cdot \text{ft}^2$	Treatment B
Curb landscape along Carlisle, south: - - - - -	$A_2 := 1492 \cdot \text{ft}^2$	Treatment B
Landscape east of building: - - - - -	$A_3 := 626 \cdot \text{ft}^2$	Treatment B
Shunt road east of building: - - - - -	$A_4 := 2525 \cdot \text{ft}^2$	Treatment D
Sidewalk northwest of building: - - - - -	$A_5 := 321 \cdot \text{ft}^2$	Treatment D
North roof of building: - - - - -	$A_6 := 2147 \cdot \text{ft}^2$	Treatment D
Parking north of building: - - - - -	$A_7 := 13192 \cdot \text{ft}^2$	Treatment D
Sidewalk north of building: - - - - -	$A_8 := 321 \cdot \text{ft}^2$	Treatment D
Landscaping north of building: - - - - -	$A_9 := 629 \cdot \text{ft}^2$	Treatment B
Sidewalk along north wall: - - - - -	$A_{10} := 502 \cdot \text{ft}^2$	Treatment D
Sidewalk along south wall: - - - - -	$A_{11} := 362 \cdot \text{ft}^2$	Treatment D
Landscape east of sidewalk: - - - - -	$A_{12} := 515 \cdot \text{ft}^2$	Treatment B
Landscape east of north wall: - - - - -	$A_{13} := 292 \cdot \text{ft}^2$	Treatment B
North shunt island: - - - - -	$A_{14} := 515 \cdot \text{ft}^2$	Treatment B
South shunt island: - - - - -	$A_{15} := 515 \cdot \text{ft}^2$	Treatment B
Island in parking lot: - - - - -	$A_{16} := 68 \cdot \text{ft}^2$	Treatment B

**Excess precipitation:**

$$V_{C\_100\_360} := (A_1 + A_2 + A_3 + A_9 + A_{12} + A_{13} + A_{14} + A_{15} + A_{16}) \cdot P_{B\_100\_360} \dots$$

$$+ (A_4 + A_5 + A_6 + A_7 + A_8 + A_{10} + A_{11}) \cdot P_{D\_100\_360}$$

$$V_{C\_100\_360} = 3803 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{P\_C\_100} := (A_1 + A_2 + A_3 + A_9 + A_{12} + A_{13} + A_{14} + A_{15} + A_{16}) \cdot Q_{PB\_100} \dots$$

$$+ (A_4 + A_5 + A_6 + A_7 + A_8 + A_{10} + A_{11}) \cdot Q_{PD\_100}$$

$$Q_{P\_C\_100} = 2.396 \cdot \text{cfs}$$



**Areas draining to Hendrix -**

Parking and drive west of building: - - - - -	$A_1 := 10752 \cdot \text{ft}^2$	Treatment D
Landscaping west of parking: - - - - -	$A_2 := 1057 \cdot \text{ft}^2$	Treatment B
Landscaping next to courtyard: - - - - -	$A_3 := 591 \cdot \text{ft}^2$	Treatment C
Courtyard: - - - - -	$A_4 := 216 \cdot \text{ft}^2$	Treatment D
Entry sidewalk: - - - - -	$A_5 := 234 \cdot \text{ft}^2$	Treatment D
West building roof: - - - - -	$A_6 := 957 \cdot \text{ft}^2$	Treatment D
Curb landscaping: - - - - -	$A_7 := 1242 \cdot \text{ft}^2$	Treatment B
Canopy roof: - - - - -	$A_8 := 2882 \cdot \text{ft}^2$	Treatment D
Drive through: - - - - -	$A_9 := 2649 \cdot \text{ft}^2$	Treatment D
East building roof: - - - - -	$A_{10} := 623 \cdot \text{ft}^2$	Treatment D
East landscaping: - - - - -	$A_{11} := 461 \cdot \text{ft}^2$	Treatment B
Southeast landscaping: - - - - -	$A_{12} := 398 \cdot \text{ft}^2$	Treatment B

**Excess precipitation:**

$$V_{H_{100_{360}}} := (A_2 + A_7 + A_{11} + A_{12}) \cdot P_{B_{100_{360}}} \cdots \\ + A_3 \cdot P_{C_{100_{360}}} \cdots \\ + (A_1 + A_4 + A_5 + A_6 + A_8 + A_9 + A_{10}) \cdot P_{D_{100_{360}}}$$

$$V_{H_{100_{360}}} = 3496 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{PH_{100}} := (A_2 + A_7 + A_{11} + A_{12}) \cdot Q_{PB_{100}} \cdots \\ + A_3 \cdot Q_{PC_{100}} \cdots \\ + (A_1 + A_4 + A_5 + A_6 + A_8 + A_9 + A_{10}) \cdot Q_{PD_{100}}$$

$$Q_{PH_{100}} = 2.184 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 4/11/94 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED: \_\_\_\_\_ SHT 5 OF 11  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823  
\*\*\*\*\*

**Total proposed runoff from site:**

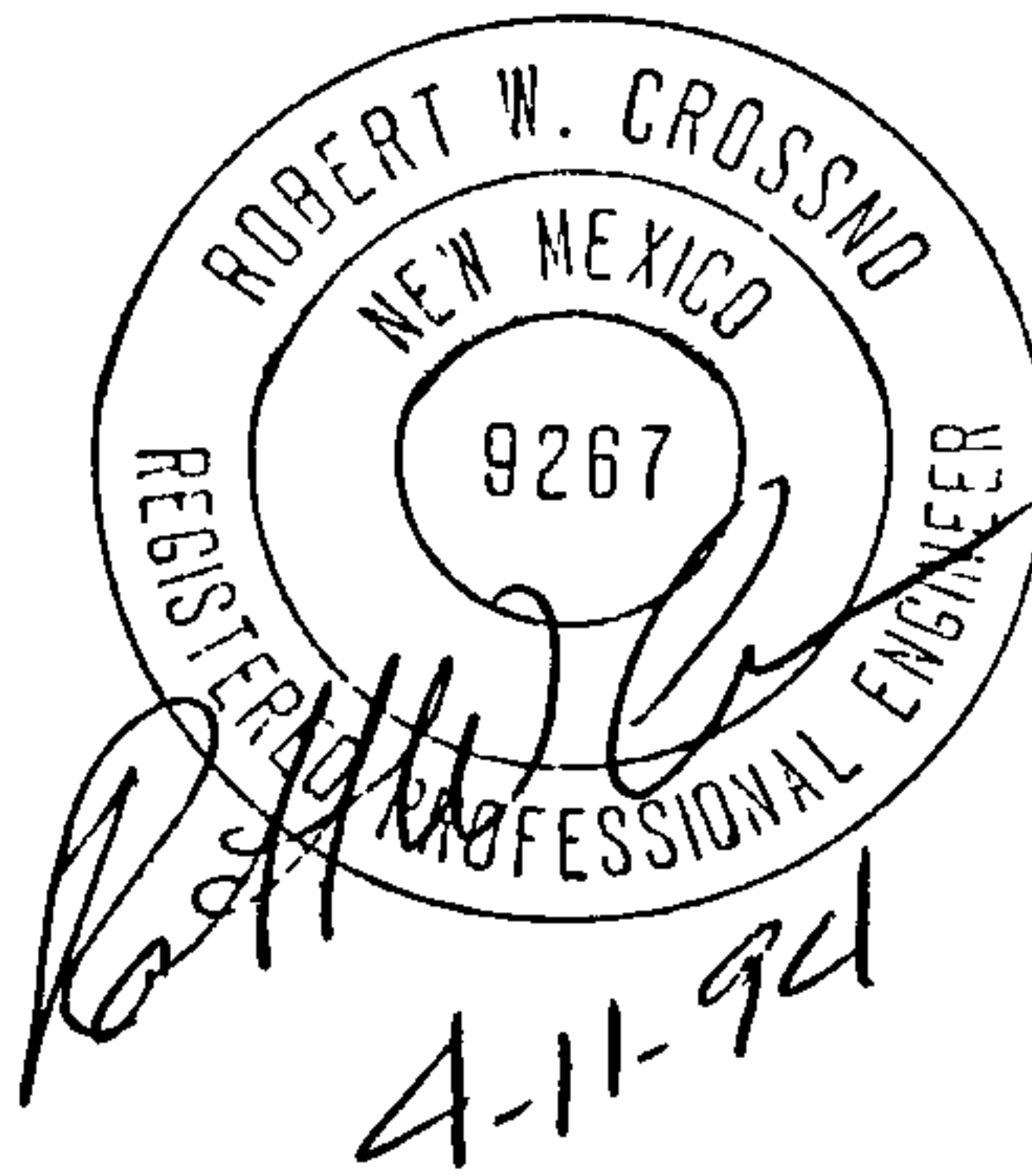
$$V_{100\_360} := V_{C\_100\_360} + V_{M\_100\_360} + V_{H\_100\_360}$$

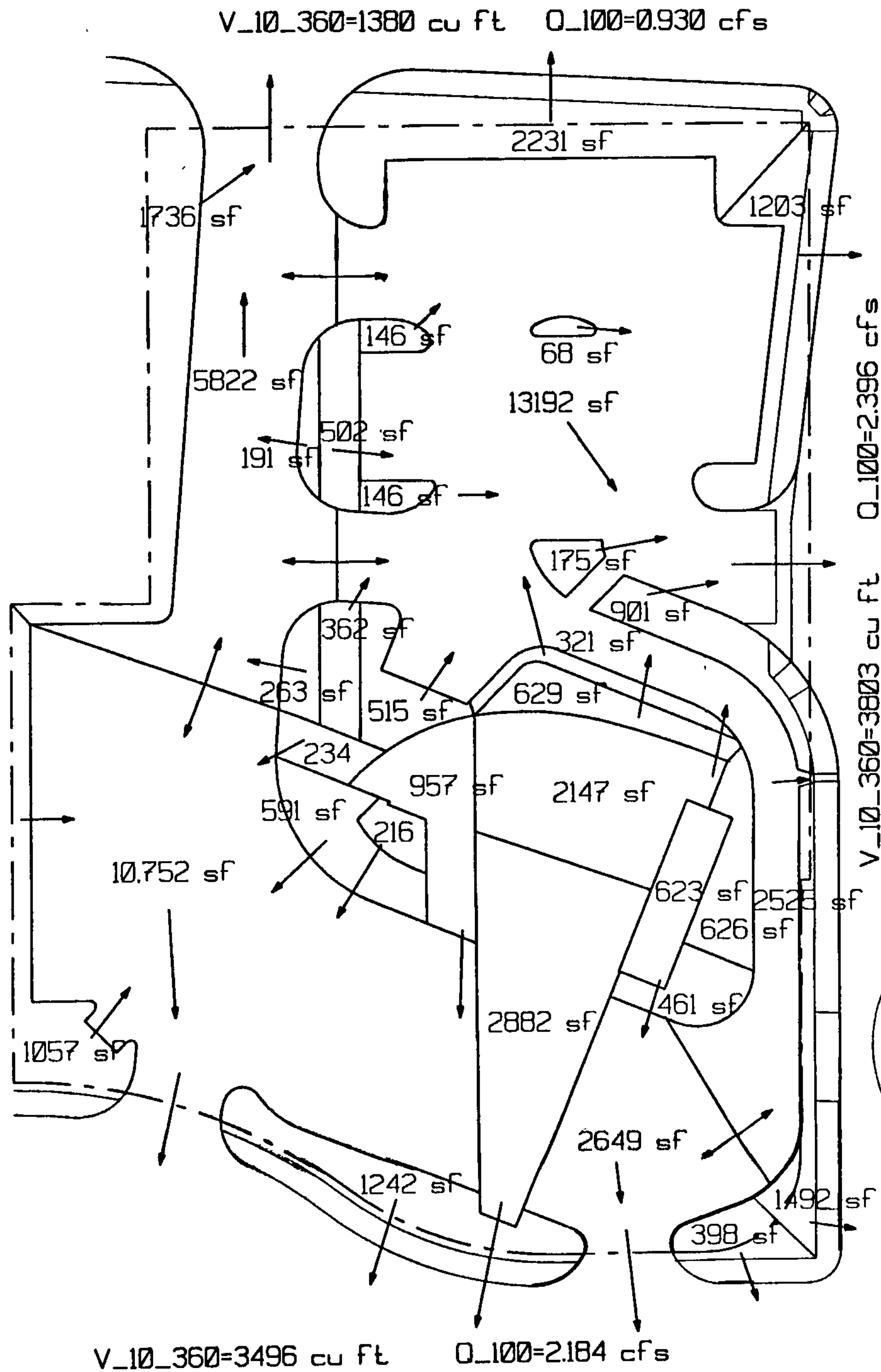
$$V_{100\_360} = 8679 \cdot \text{ft}^3$$

$$V_{100\_360} = 0.199 \cdot \text{Ac} \cdot \text{ft}$$

$$Q_{PT\_100} := Q_{PM\_100} + Q_{P\_C\_100} + Q_{PH\_100}$$

$$Q_{PT\_100} = 5.483 \cdot \text{cfs}$$





# United New Mexico Bank - Carlisle Drainage Plan

SCALE: 1"=50'

# RUNOFF AT EXISTING SITE:

## Areas draining to Montgomery --

Northwest drive: - - - - -	$A_1 := 9019 \cdot \text{ft}^2$	Treatment D
West of Northwest drive: - - - - -	$A_2 := 966 \cdot \text{ft}^2$	Treatment B
West of bank building: - - - - -	$A_3 := 1237 \cdot \text{ft}^2$	Treatment B
Curb landscaping along Montgomery: - - -	$A_4 := 2990 \cdot \text{ft}^2$	Treatment B
Sidewalks west of bank building: - - - - -	$A_5 := 175 \cdot \text{ft}^2$	Treatment D
Landscape north of bank building: - - - - -	$A_6 := 438 \cdot \text{ft}^2$	Treatment B
Bank building roof: - - - - -	$A_7 := 3574 \cdot \text{ft}^2$	Treatment D

## Precipitation:

$$V_{M\_100\_360} := (A_2 + A_3 + A_4 + A_6) \cdot P_{B\_100\_360} \dots \\ + (A_1 + A_5 + A_7) \cdot P_{D\_100\_360}$$

$$V_{M\_100\_360} = 2622 \cdot \text{ft}^3$$

## Peak discharge:

$$Q_{PM\_100} := (A_2 + A_3 + A_4 + A_6) \cdot Q_{PB\_100} \dots \\ + (A_1 + A_5 + A_7) \cdot Q_{PD\_100}$$

$$Q_{PM\_100} = 1.672 \cdot \text{cfs}$$



### Areas draining to Carlisle -

Curb landscape along Carlisle, north: - - -	$A_1 := 1593 \cdot \text{ft}^2$	Treatment B
Old store site along Carlisle- - - - -	$A_2 := 6591 \cdot \text{ft}^2$	Treatment C
Sidewalk east of building: - - - - -	$A_3 := 691 \cdot \text{ft}^2$	Treatment D
Driveway east of building: - - - - -	$A_4 := 4327 \cdot \text{ft}^2$	Treatment D
Driveway southeast of building: - - - - -	$A_5 := 4428 \cdot \text{ft}^2$	Treatment D

### Excess precipitation:

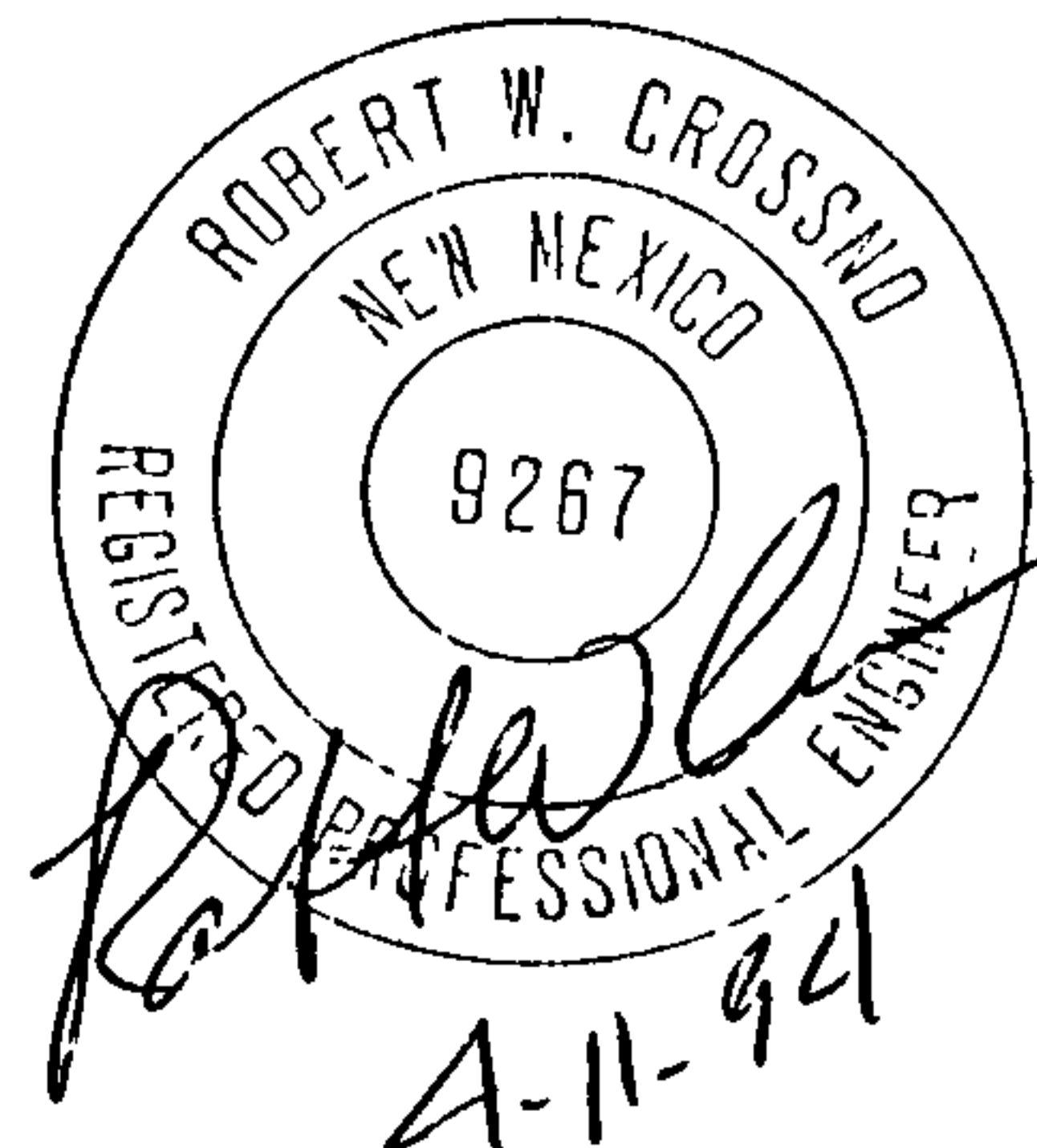
$$V_{C\_100\_360} := A_1 \cdot P_{B\_100\_360} + A_2 \cdot P_{C\_100\_360} + (A_3 + A_4 + A_5) \cdot P_{D\_100\_360}$$

$$V_{C\_100\_360} = 2393 \cdot \text{ft}^3$$

### Peak discharge:

$$Q_{P\_C\_100} := A_1 \cdot Q_{PB\_100} + A_2 \cdot Q_{PC\_100} + (A_3 + A_4 + A_5) \cdot Q_{PD\_100}$$

$$Q_{P\_C\_100} = 1.578 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 4/11/94 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED:        SHT 9 OF 11  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823

\*\*\*\*\*  
**Areas draining to Hendrix -**

Parking and drive west of building: - - - - -  $A_1 := 8486 \cdot \text{ft}^2$  Treatment D  
Landscaping west of parking: - - - - -  $A_2 := 851 \cdot \text{ft}^2$  Treatment B  
Landscaping next to trash enclosure: - - - -  $A_3 := 1856 \cdot \text{ft}^2$  Treatment C  
Old store along Hendrix: - - - - -  $A_4 := 9161 \cdot \text{ft}^2$  Treatment C

**Excess precipitation:**

$$V_{H_{100_{360}}} := A_2 \cdot P_{B_{100_{360}}} + (A_3 + A_4) \cdot P_{C_{100_{360}}} + A_1 \cdot P_{D_{100_{360}}}$$

$$V_{H_{100_{360}}} = 2592 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{PH_{100}} := A_2 \cdot Q_{PB_{100}} + (A_3 + A_4) \cdot Q_{PC_{100}} + A_1 \cdot Q_{PD_{100}}$$

$$Q_{PH_{100}} = 1.754 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 4/11/94 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED:        SHT 10 OF 11  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823  
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**Total existing runoff from site:**

$$V_{100\_360} := V_{C\_100\_360} + V_{M\_100\_360} + V_{H\_100\_360}$$

$$V_{100\_360} = 7607 \cdot \text{ft}^3$$

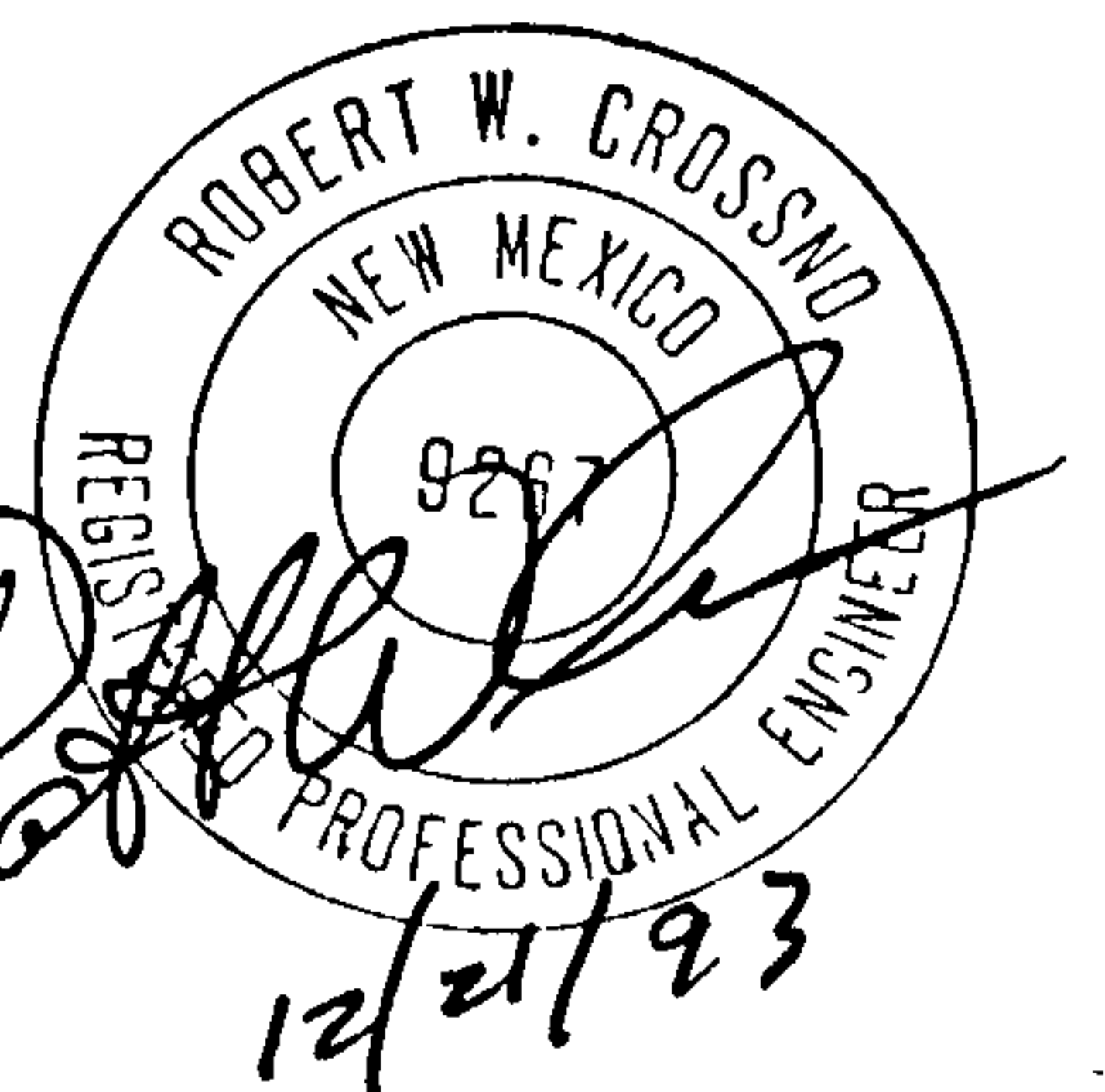
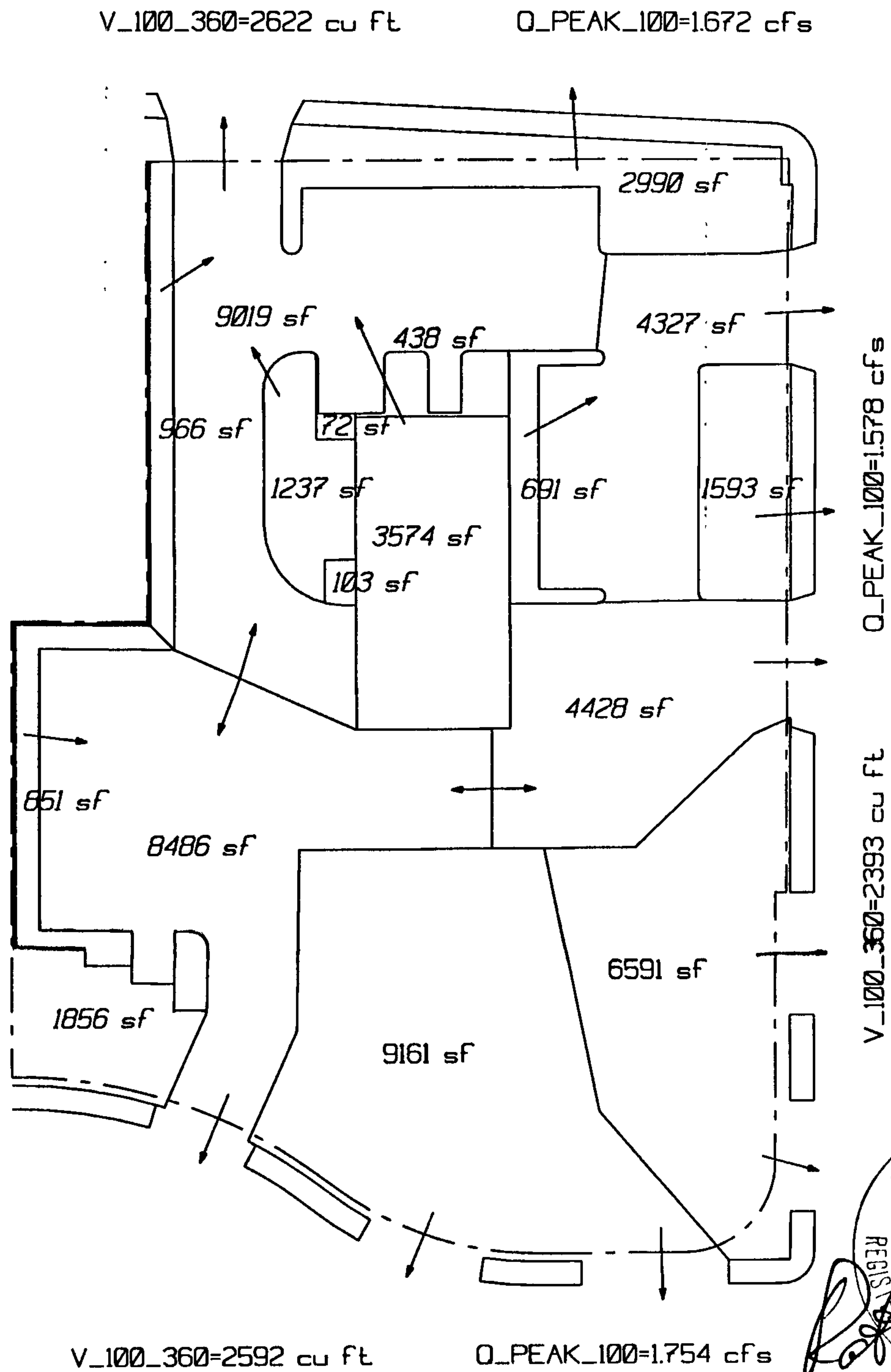
$$V_{100\_360} = 0.175 \cdot \text{Ac} \cdot \text{ft}$$

**Total existing peak discharge from site:**

$$Q_{P\_100} := Q_{P\_C\_100} + Q_{PM\_100} + Q_{PH\_100}$$

$$Q_{P\_100} = 5.004 \cdot \text{cfs}$$





# United New Mexico Bank – Carlisle Existing Drainage Plan

Scale: 1"=50'

Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 12/15/93 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED: \_\_\_\_\_ SHT 1 OF 12  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823

The lots at the southwest corner of Carlisle and Montgomery, Lots 9, 10, and 11 and Tract A of Block 10 of Montgomery Heights, 4411 Carlisle Blvd, will be rebuilt by constructing a new motor bank at the south end (mostly on Lot 10, where a convenience store was recently demolished, and Tract A) then demolishing the existing motor bank building. The new building will have a larger area than the existing building, but the total impervious surface will be less than the original two buildings and paving. Landscaping will be increased. There are no detention ponds on the site.

The majority of the site, including the new building footprint, is located in Zone C, designating areas of minimal flooding, and Zone AO(1), designating areas of 100-year shallow flooding where depths are between one and three feet according to the Flood Insurance Rate Map, City of Albuquerque, New Mexico, per Community Panel No. 350002 0023 C, effective date October 14, 1983. The site is located on map G-16-Z of the Zone Atlas.

The site is in Precipitation Zone 2.

The residential site to the west is separated from the site by a wall and will not contribute to offsite flows. The site drains to the streets to the north, east and south.

### SETUP UNITS

ft  $\equiv$  1L lb  $\equiv$  1M s  $\equiv$  1T in  $\equiv$   $\frac{\text{ft}}{12}$  K  $\equiv$  1000 lb min  $\equiv$  60 s hr  $\equiv$  60 min

day  $\equiv$  24 hr Ac  $\equiv$  43560 ft<sup>2</sup> cfs  $\equiv$   $\frac{\text{ft}^3}{\text{s}}$

### PRECIPITATION

P<sub>100\_360</sub>  $\equiv$  2.35 in P<sub>10\_360</sub>  $\equiv$  0.667 P<sub>100\_360</sub> P<sub>10\_360</sub>  $\equiv$  1.567 in  
P<sub>100\_10days</sub>  $\equiv$  3.95 in P<sub>10\_10days</sub>  $\equiv$  0.667 P<sub>100\_10days</sub> P<sub>10\_10days</sub>  $\equiv$  2.635 in

### INITIAL ABSTRACTION

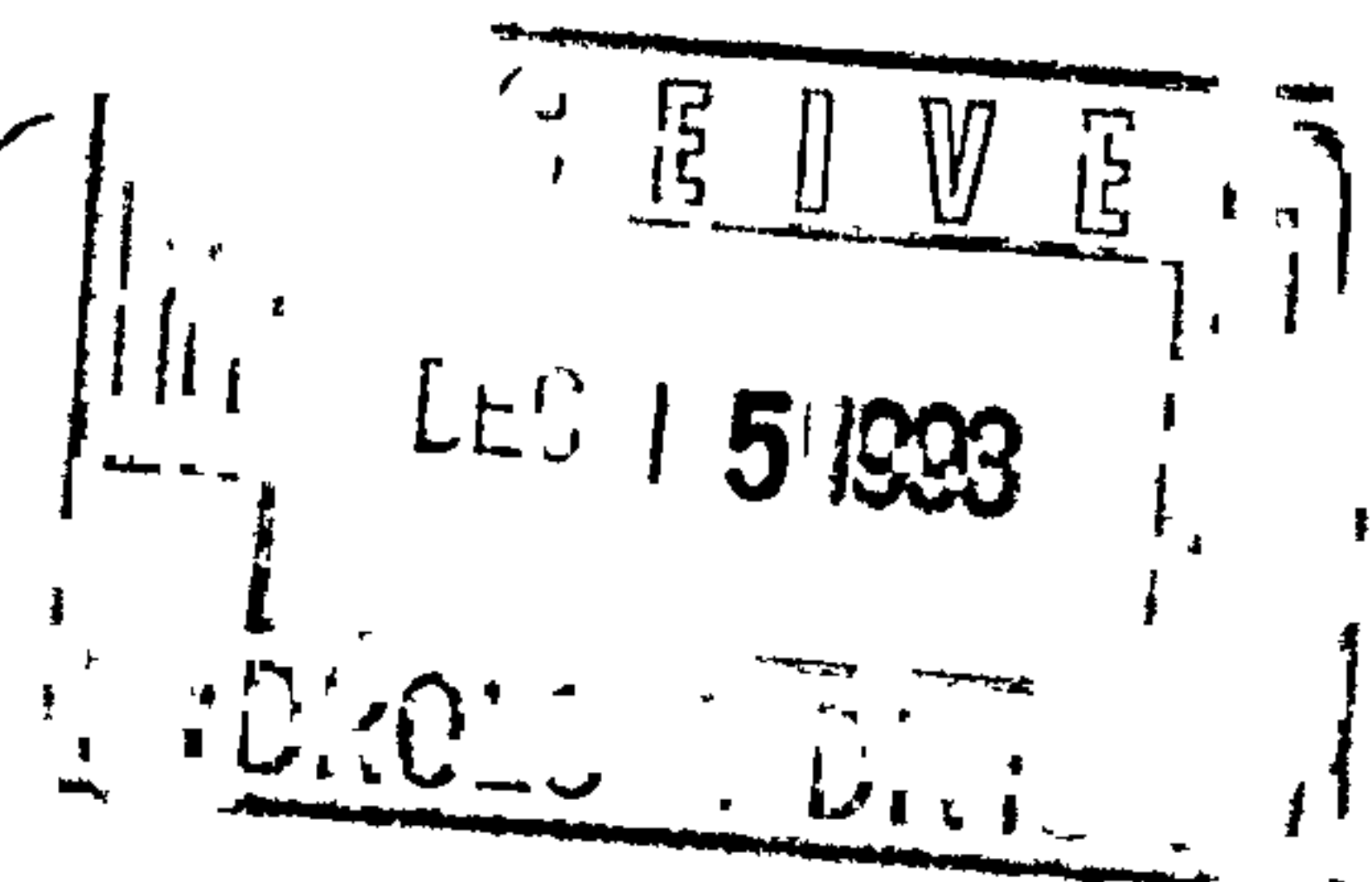
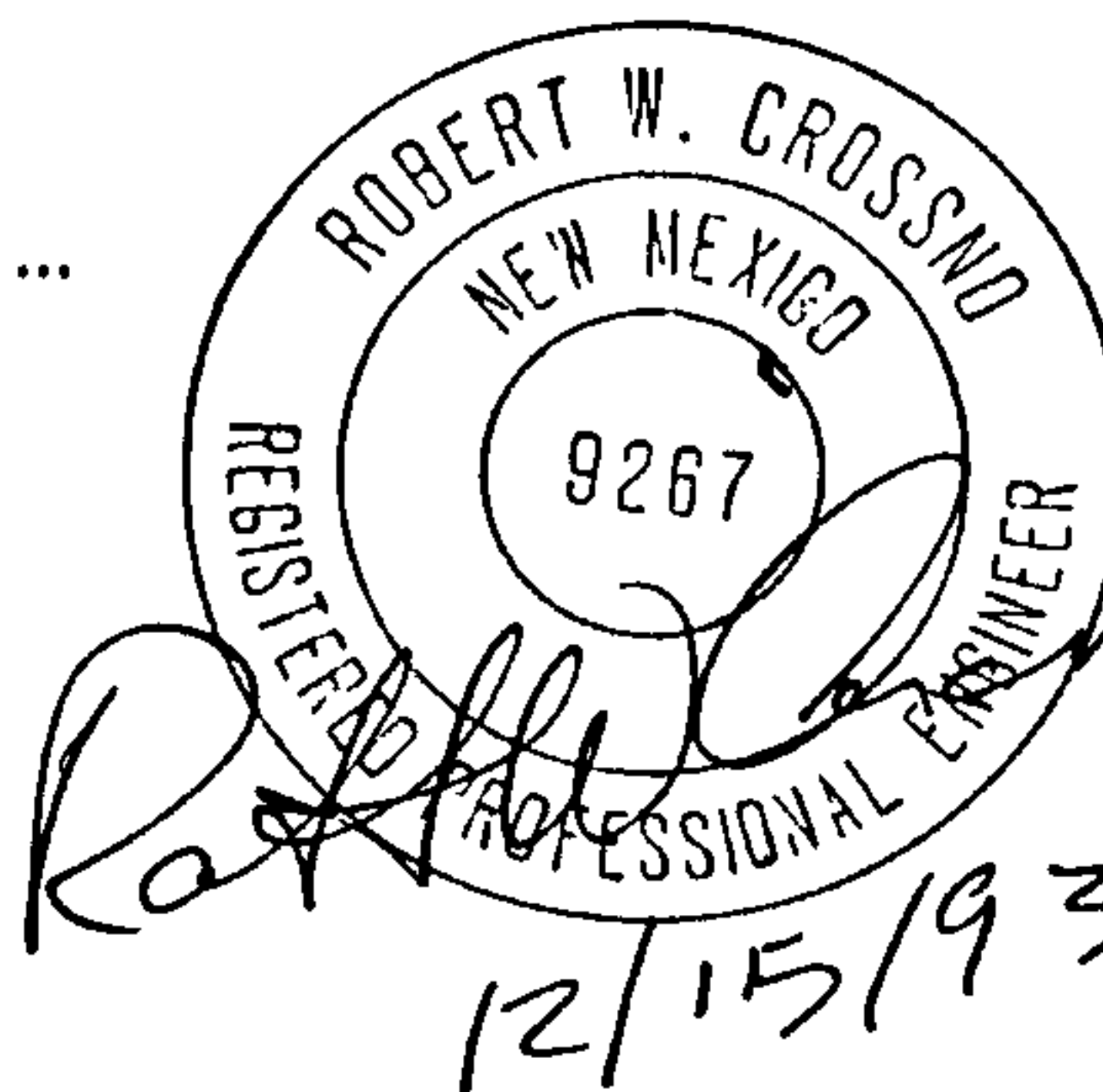
IA<sub>A</sub>  $\equiv$  0.65 in IA<sub>B</sub>  $\equiv$  0.50 in IA<sub>C</sub>  $\equiv$  0.35 in IA<sub>D</sub>  $\equiv$  0.10 in

### INFILTRATION

INF<sub>A</sub>  $\equiv$  1.67  $\frac{\text{in}}{\text{hr}}$  INF<sub>B</sub>  $\equiv$  1.25  $\frac{\text{in}}{\text{hr}}$  INF<sub>C</sub>  $\equiv$  0.83  $\frac{\text{in}}{\text{hr}}$

For variable definition, set t  $\equiv$  6 hr

INF<sub>D</sub>  $\equiv$  0.04  $\frac{\text{in}}{\text{hr}}$  - 0.01333  $\frac{\text{in}^2}{\text{hr}^2}$  (t - 3 hr)  $\cdot$   $\Phi$ (t - 3 hr) ...  
+ 0.01333  $\frac{\text{in}}{\text{hr}^2}$  (t - 6 hr)  $\cdot$   $\Phi$ (t - 6 hr)



**EXCESS PRECIPITATION:**

For  $t := 6 \cdot \text{hr}$

$$P_{A\_100\_360} := (P_{100\_360} - I_A - INF_A \cdot t) \cdot \Phi(P_{100\_360} - I_A - INF_A \cdot t)$$

$$P_{A\_100\_360} = 0 \cdot \text{in}$$

$$P_{B\_100\_360} := (P_{100\_360} - I_B - INF_B \cdot t) \cdot \Phi(P_{100\_360} - I_B - INF_B \cdot t)$$

$$P_{B\_100\_360} = 0 \cdot \text{in}$$

$$P_{C\_100\_360} := (P_{100\_360} - I_C - INF_C \cdot t) \cdot \Phi(P_{100\_360} - I_C - INF_C \cdot t)$$

$$P_{C\_100\_360} = 0 \cdot \text{in}$$

$$P_{D\_100\_360} := (P_{100\_360} - I_D - INF_D \cdot t) \cdot \Phi(P_{100\_360} - I_D - INF_D \cdot t)$$

$$P_{D\_100\_360} = 2.25 \cdot \text{in}$$

**PEAK DISCHARGE**

$$Q_{PA\_100} := 1.29 \cdot \frac{\text{cfs}}{\text{acre}}$$

$$Q_{PB\_100} := 1.56 \cdot \frac{\text{cfs}}{\text{acre}}$$

$$Q_{PC\_100} := 1.87 \cdot \frac{\text{cfs}}{\text{acre}}$$

$$Q_{PD\_100} := 2.20 \cdot \frac{\text{cfs}}{\text{acre}}$$



**Areas draining to Montgomery --**

Northwest drive: - - - - -	$A_1 := 6662 \cdot \text{ft}^2$	Treatment D
West of Northwest drive: - - - - -	$A_2 := 1736 \cdot \text{ft}^2$	Treatment C
East of Northwest drive: - - - - -	$A_3 := 1260 \cdot \text{ft}^2$	Treatment C
Curb landscaping along Montgomery: - - -	$A_4 := 2231 \cdot \text{ft}^2$	Treatment B
Sidewalk along long wall: - - - - -	$A_5 := 1081 \cdot \text{ft}^2$	Treatment D
Landscape east of sidewalk: - - - - -	$A_6 := 268 \cdot \text{ft}^2$	Treatment B
North parking lot: - - - - -	$A_7 := 12863 \cdot \text{ft}^2$	Treatment D
Sidewalk north of building: - - - - -	$A_8 := 321 \cdot \text{ft}^2$	Treatment D
Landscaping north of building: - - - - -	$A_9 := 629 \cdot \text{ft}^2$	Treatment B

**Precipitation:**

$$V_{M\_100\_360} := (A_4 + A_6 + A_9) \cdot P_{A\_100\_360} \dots$$

$$+ (A_2 + A_3) \cdot P_{B\_100\_360} \dots$$

$$+ (A_1 + A_5 + A_7 + A_8) \cdot P_{D\_100\_360}$$

$$V_{M\_100\_360} = 3924 \cdot \text{ft}^3$$

$$.056 + .0777 + 1.0184$$

$$E \quad 1.1522 = 1.8554$$

$$.6210$$

$$V = (1.8554)(.6210)/12$$

$$V = .0960 \text{ cfs}$$

$$418.245 \text{ cf}$$

**Peak discharge:**

$$Q_{PM\_100} := (A_4 + A_6 + A_9) \cdot Q_{PA\_100} \dots$$

$$+ (A_2 + A_3) \cdot Q_{PB\_100} \dots$$

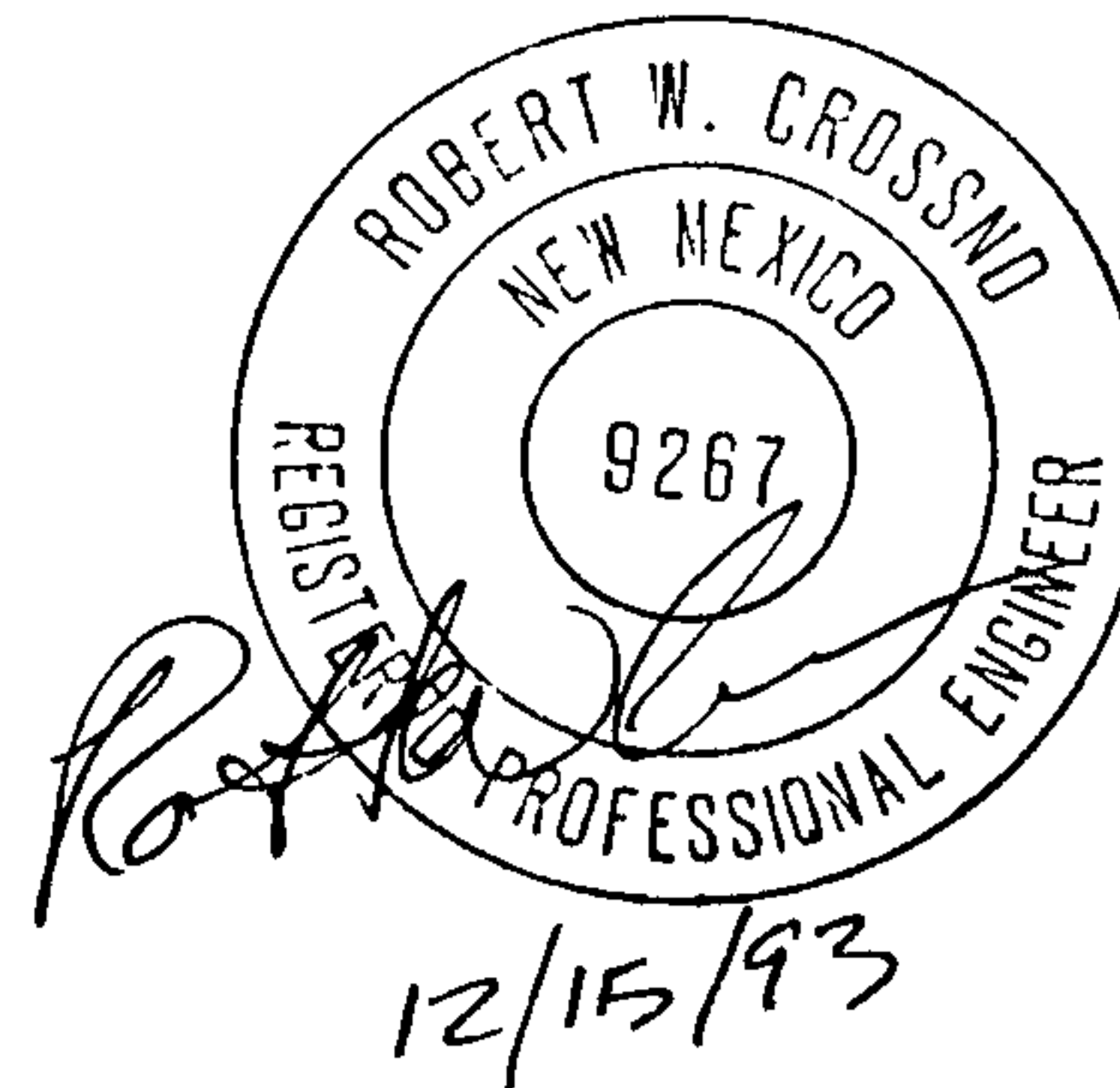
$$+ (A_1 + A_5 + A_7 + A_8) \cdot Q_{PD\_100}$$

$$Q_{PM\_100} = 1.257 \cdot \text{cfs}$$

$$Q_p = (.0718)(2.28) + (.0688)(3.14) + (.4804)(4.10)$$

$$.1637 + .216 + 2.2579 =$$

$$2.637$$



**Areas draining to Carlisle -**

Curb landscape along Carlisle, north: - - - $A_1 := 1037 \cdot \text{ft}^2$	Treatment B
Curb landscape along Carlisle, south: - - $A_2 := 1095 \cdot \text{ft}^2$	Treatment B
Landscape east of building: - - - - - $A_3 := 626 \cdot \text{ft}^2$	Treatment B
Driveway east of building: - - - - - $A_4 := 563 \cdot \text{ft}^2$	Treatment D
Sidewalk northwest of building: - - - - - $A_5 := 155 \cdot \text{ft}^2$	Treatment D
East driveway: - - - - - $A_6 := 835 \cdot \text{ft}^2$	Treatment D
North roof of building: - - - - - $A_7 := 2147 \cdot \text{ft}^2$	Treatment D

**Excess precipitation:**

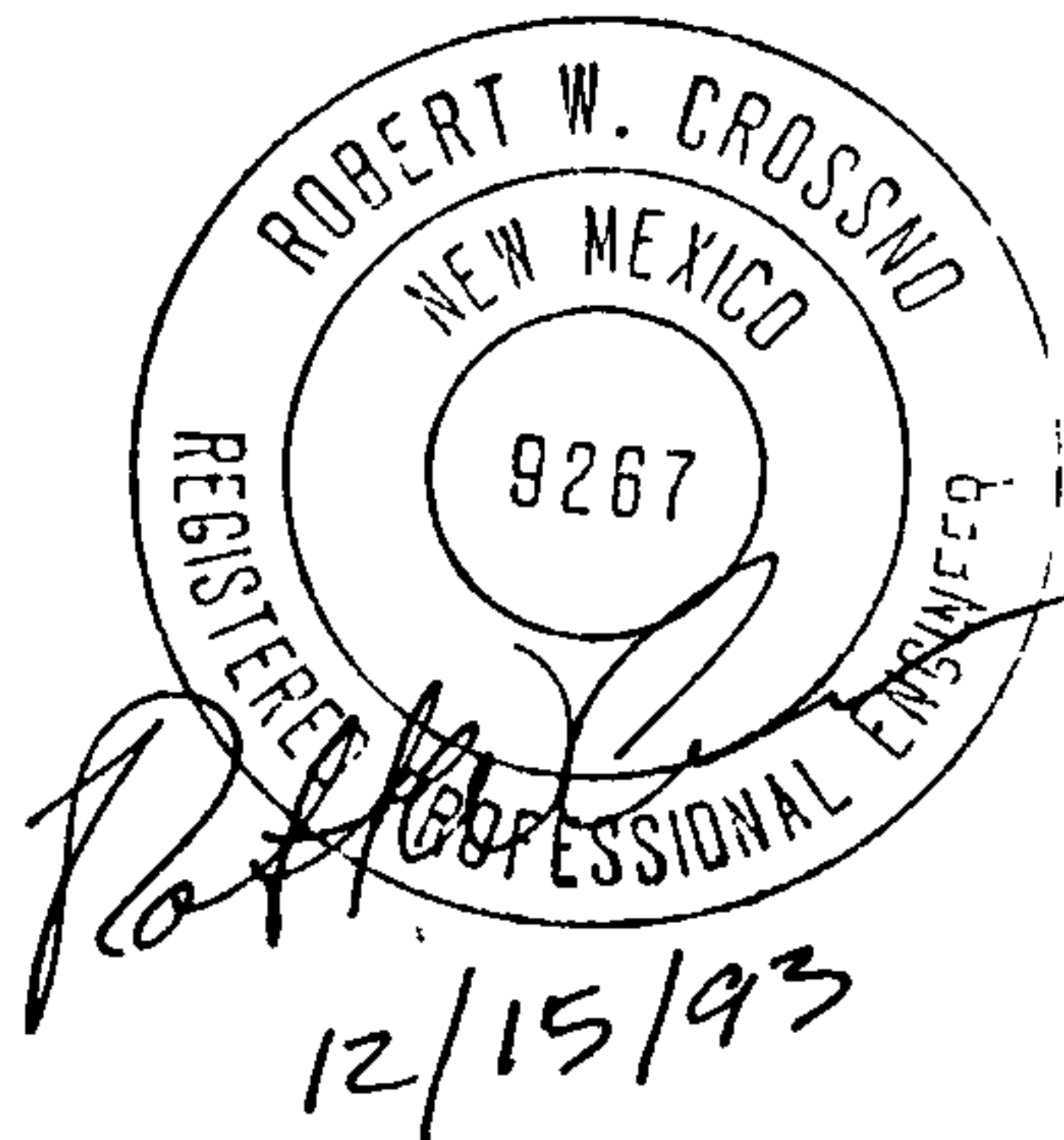
$$V_{C\_100\_360} := (A_1 + A_2 + A_3) \cdot P_{B\_100\_360} \dots \\ + (A_4 + A_5 + A_6 + A_7) \cdot P_{D\_100\_360}$$

$$V_{C\_100\_360} = 694 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{P\_C\_100} := (A_1 + A_2 + A_3) \cdot Q_{PB\_100} \dots \\ + (A_4 + A_5 + A_6 + A_7) \cdot Q_{PD\_100}$$

$$Q_{P\_C\_100} = 0.286 \cdot \text{cfs}$$



**Areas draining to Hendrix -**

Parking and drive west of building: - - - - -	$A_1 := 10752 \cdot \text{ft}^2$	Treatment D
Landscaping west of parking: - - - - -	$A_2 := 1057 \cdot \text{ft}^2$	Treatment B
Landscaping next to courtyard: - - - - -	$A_3 := 591 \cdot \text{ft}^2$	Treatment C
Courtyard: - - - - -	$A_4 := 216 \cdot \text{ft}^2$	Treatment D
Entry sidewalk: - - - - -	$A_5 := 234 \cdot \text{ft}^2$	Treatment D
West building roof: - - - - -	$A_6 := 957 \cdot \text{ft}^2$	Treatment D
Curb landscaping: - - - - -	$A_7 := 1242 \cdot \text{ft}^2$	Treatment B
Canopy roof: - - - - -	$A_8 := 2882 \cdot \text{ft}^2$	Treatment D
Drive through: - - - - -	$A_9 := 3708 \cdot \text{ft}^2$	Treatment D
East building roof: - - - - -	$A_{10} := 623 \cdot \text{ft}^2$	Treatment D
East landscaping: - - - - -	$A_{11} := 461 \cdot \text{ft}^2$	Treatment B

**Excess precipitation:**

$$V_{H_{100_{360}}} := (A_2 + A_7 + A_{11}) \cdot P_{B_{100_{360}}} \dots$$

$$+ A_3 \cdot P_{C_{100_{360}}} \dots$$

$$+ (A_1 + A_4 + A_5 + A_6 + A_8 + A_9 + A_{10}) \cdot P_{D_{100_{360}}}$$

$$V_{H_{100_{360}}} = 3632 \cdot \text{ft}^3$$

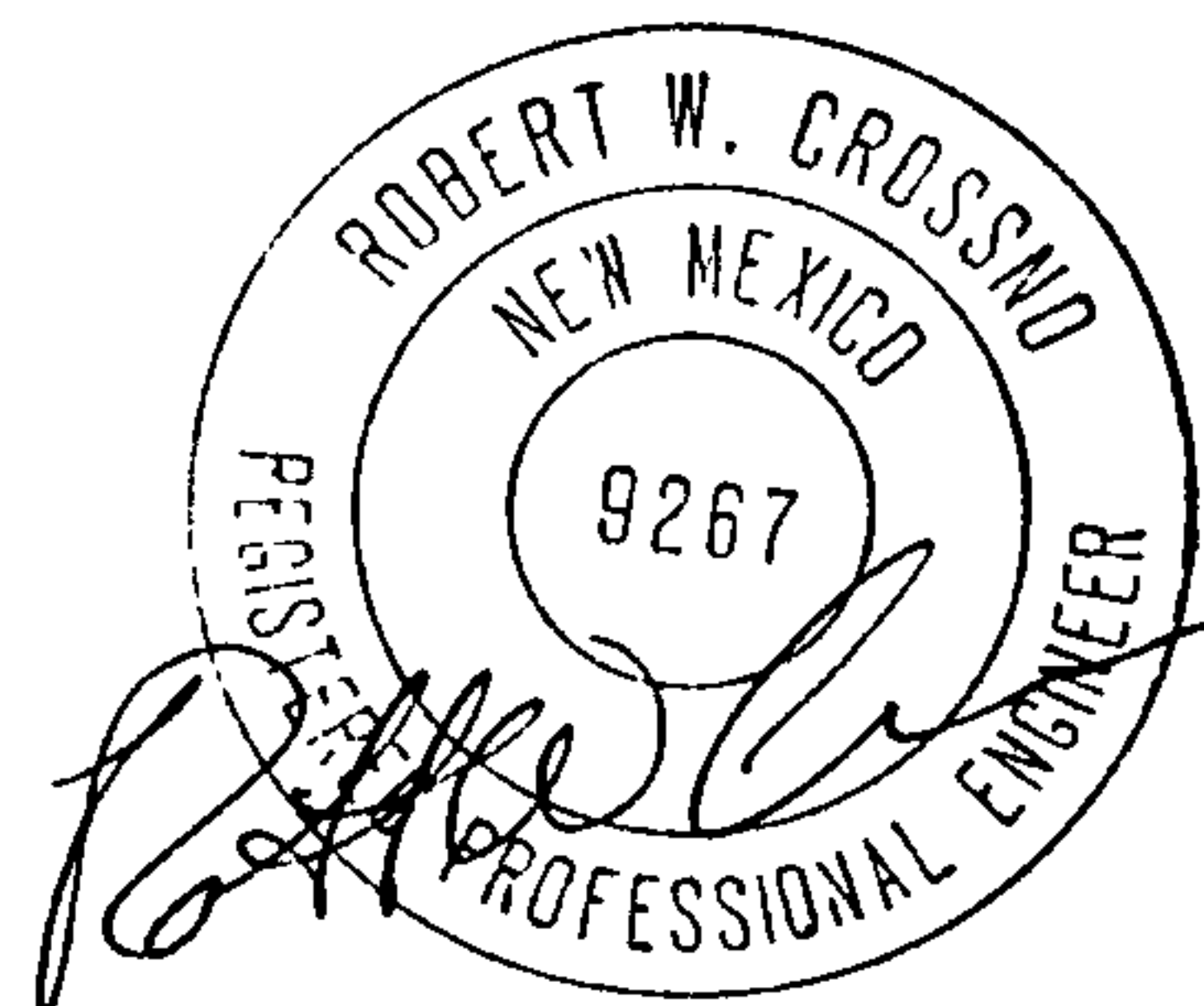
**Peak discharge:**

$$Q_{PH_{100}} := (A_2 + A_7 + A_{11}) \cdot Q_{PB_{100}} \dots$$

$$+ A_3 \cdot Q_{PC_{100}} \dots$$

$$+ (A_1 + A_4 + A_5 + A_6 + A_8 + A_9 + A_{10}) \cdot Q_{PD_{100}}$$

$$Q_{PH_{100}} = 1.103 \cdot \text{cfs}$$



12/15/93

Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 12/15/93 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED:        SHT 6 OF 12  
7911 MOUNTAIN ROAD, N.E.  
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(505)265-5823  
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**Total proposed runoff from site:**

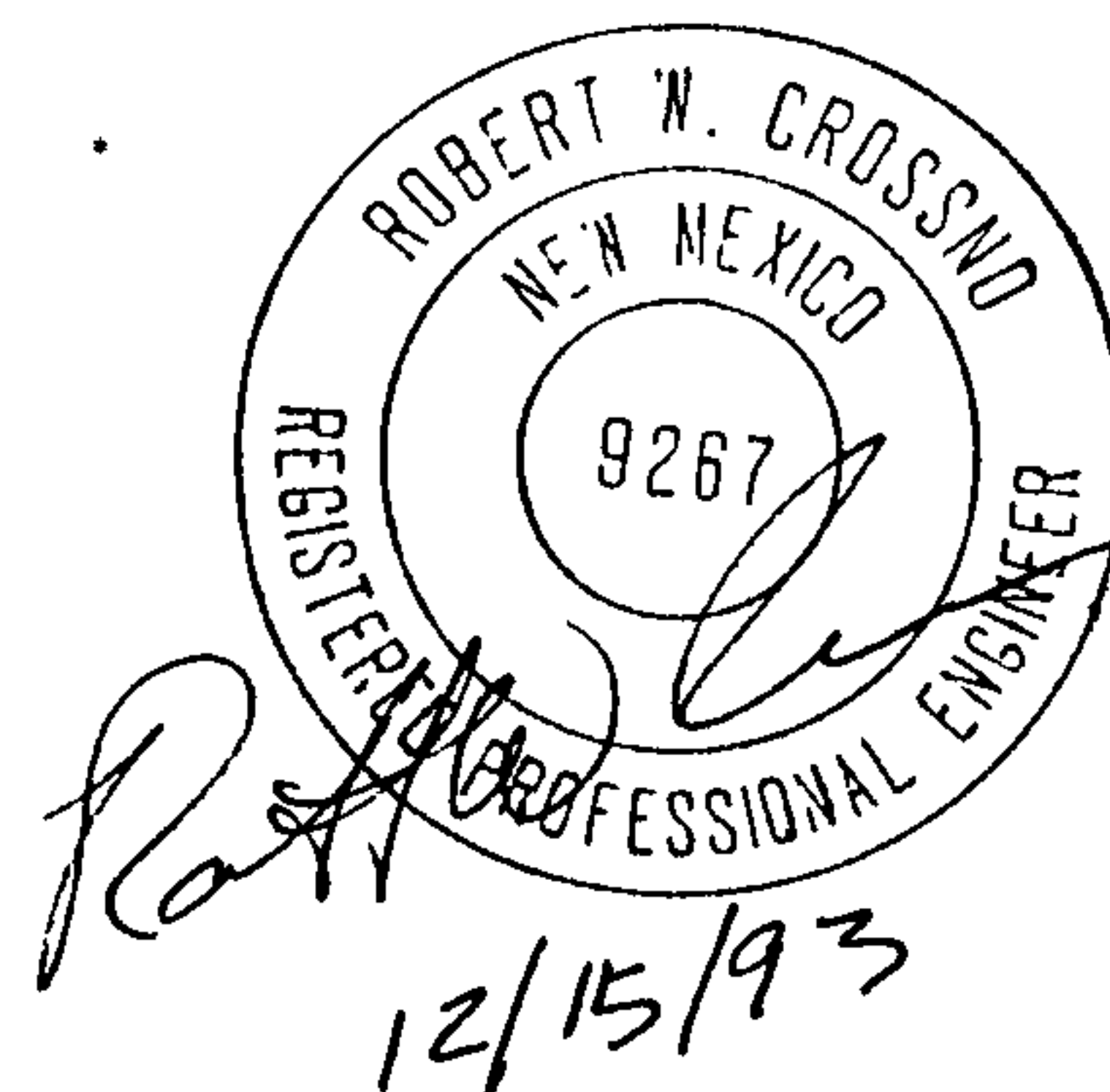
$$V_{100\_360} := V_{C\_100\_360} + V_{M\_100\_360} + V_{H\_100\_360}$$

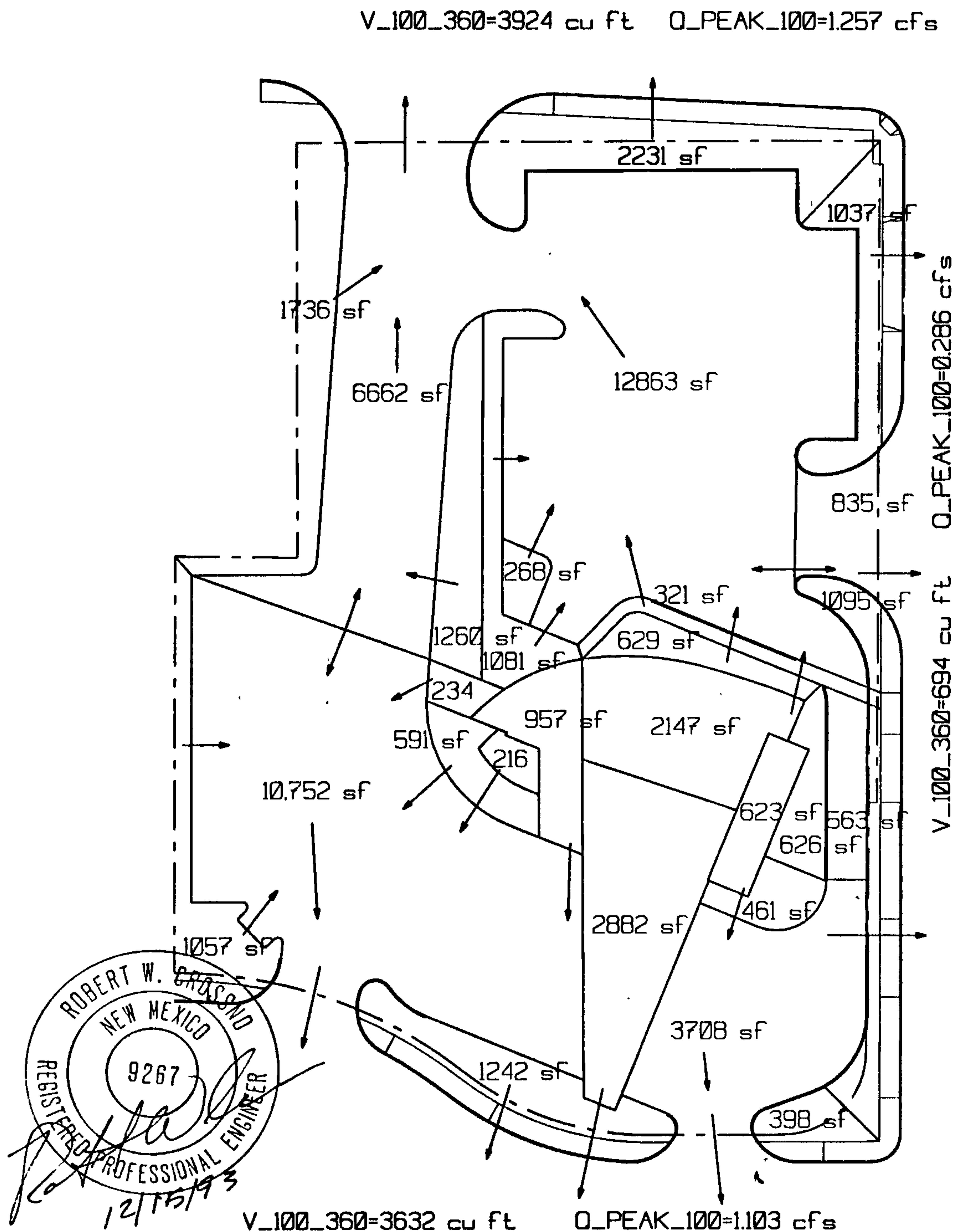
$$V_{100\_360} = 8250 \cdot \text{ft}^3$$

$$V_{100\_360} = 0.189 \cdot \text{Ac} \cdot \text{ft}$$

$$Q_{PT\_100} := Q_{PM\_100} + Q_{P\_C\_100} + Q_{PH\_100}$$

$$Q_{PT\_100} = 2.645 \cdot \text{cfs}$$





## United New Mexico Bank – Carlisle Drainage Plan

SCALE: 1"=50'

# RUNOFF AT EXISTING SITE:

## Areas draining to Montgomery --

Northwest drive: - - - - -	$A_1 := 9019 \cdot \text{ft}^2$	Treatment D
West of Northwest drive: - - - - -	$A_2 := 966 \cdot \text{ft}^2$	Treatment B
West of bank building: - - - - -	$A_3 := 1237 \cdot \text{ft}^2$	Treatment B
Curb landscaping along Montgomery: - - -	$A_4 := 2990 \cdot \text{ft}^2$	Treatment B
Sidewalks west of bank building: - - - - -	$A_5 := 175 \cdot \text{ft}^2$	Treatment D
Landscape north of bank building: - - - - -	$A_6 := 438 \cdot \text{ft}^2$	Treatment B
Bank building roof: - - - - -	$A_7 := 3574 \cdot \text{ft}^2$	Treatment D

## Precipitation:

$$V_{M\_100\_360} := (A_2 + A_3 + A_4 + A_6) \cdot P_{B\_100\_360} \dots \\ + (A_1 + A_5 + A_7) \cdot P_{D\_100\_360}$$

$$V_{M\_100\_360} = 2394 \cdot \text{ft}^3$$

## Peak discharge:

$$Q_{PM\_100} := (A_2 + A_3 + A_4 + A_6) \cdot Q_{PB\_100} \dots \\ + (A_1 + A_5 + A_7) \cdot Q_{PD\_100}$$

$$Q_{PM\_100} = 0.847 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 12/15/93 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED: \_\_\_\_\_ SHT 9 OF 12  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823

\*\*\*\*\*

**Areas draining to Carlisle -**

Curb landscape along Carlisle, north: - - -	$A_1 := 1593 \cdot \text{ft}^2$	Treatment B
Old store site along Carlisle- - - - -	$A_2 := 6591 \cdot \text{ft}^2$	Treatment C
Sidewalk east of building: - - - - -	$A_3 := 691 \cdot \text{ft}^2$	Treatment D
Driveway east of building: - - - - -	$A_4 := 4327 \cdot \text{ft}^2$	Treatment D
Driveway southeast of building: - - - - -	$A_5 := 4428 \cdot \text{ft}^2$	Treatment D

**Excess precipitation:**

$$V_{C\_100\_360} := A_1 \cdot P_{B\_100\_360} + A_2 \cdot P_{C\_100\_360} + (A_3 + A_4 + A_5) \cdot P_{D\_100\_360}$$

$$V_{C\_100\_360} = 1771 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{P\_C\_100} := A_1 \cdot Q_{PB\_100} + A_2 \cdot Q_{PC\_100} + (A_3 + A_4 + A_5) \cdot Q_{PD\_100}$$

$$Q_{P\_C\_100} = 0.817 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 12/15/93 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED: \_\_\_\_\_ SHT 10 OF 12  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823

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**Areas draining to Hendrix -**

Parking and drive west of building: - - - - -	$A_1 := 8486 \cdot \text{ft}^2$	Treatment D
Landscaping west of parking: - - - - -	$A_2 := 851 \cdot \text{ft}^2$	Treatment B
Landscaping next to trash enclosure: - - - -	$A_3 := 1856 \cdot \text{ft}^2$	Treatment C
Old store along Hendrix: - - - - -	$A_4 := 9161 \cdot \text{ft}^2$	Treatment C

**Excess precipitation:**

$$V_{H_{100_{360}}} := A_2 \cdot P_{B_{100_{360}}} + (A_3 + A_4) \cdot P_{C_{100_{360}}} + A_1 \cdot P_{D_{100_{360}}}$$

$$V_{H_{100_{360}}} = 1591 \cdot \text{ft}^3$$

**Peak discharge:**

$$Q_{PH_{100}} := A_2 \cdot Q_{PB_{100}} + (A_3 + A_4) \cdot Q_{PC_{100}} + A_1 \cdot Q_{PD_{100}}$$

$$Q_{PH_{100}} = 0.932 \cdot \text{cfs}$$



Randy Holt & Associates, Inc. JOB TITLE: United NM Bank BY: BC DATE: 12/15/93 JOB NO.: 9319  
CONSULTING ENGINEERS SUBJECT: Drainage Report CHECKED:        SHT 11 OF 12  
7911 MOUNTAIN ROAD, N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
(505)265-5823  
\*\*\*\*\*

**Total existing runoff from site:**

$$V_{100\_360} := V_{C\_100\_360} + V_{M\_100\_360} + V_{H\_100\_360}$$

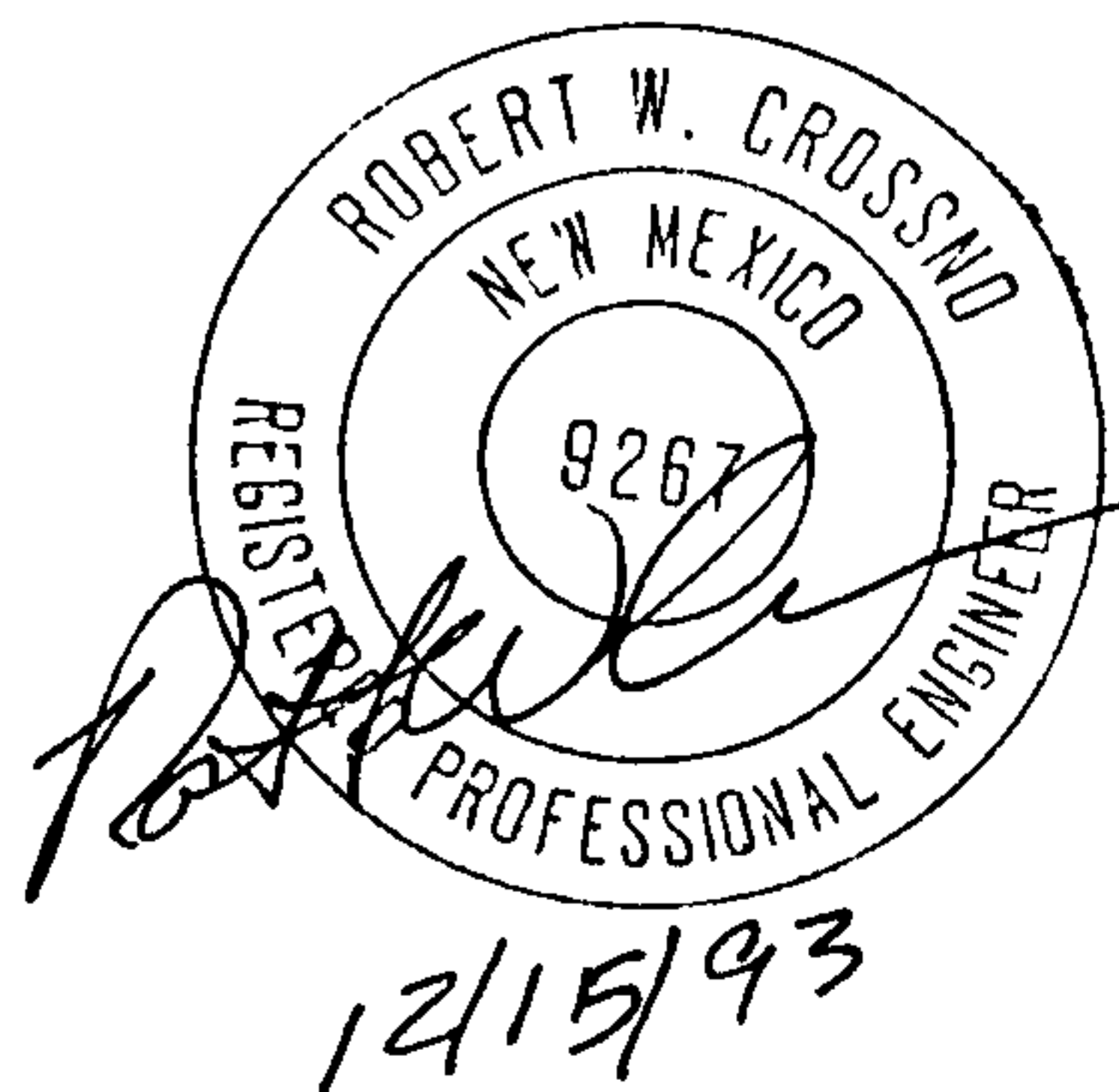
$$V_{100\_360} = 5756 \cdot \text{ft}^3$$

$$V_{100\_360} = 0.132 \cdot \text{Ac} \cdot \text{ft}$$

**Total existing peak discharge from site:**

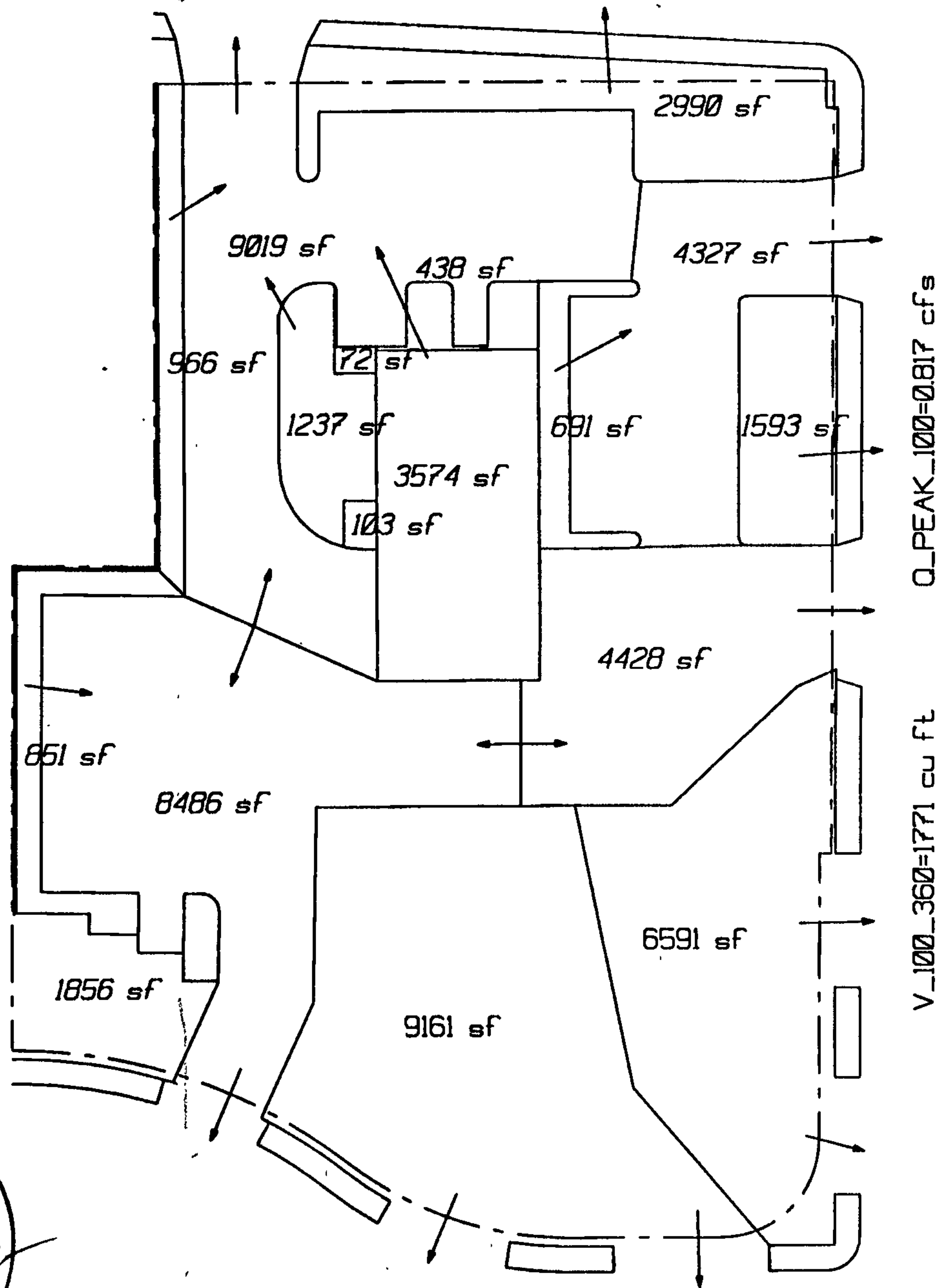
$$Q_{P\_100} := Q_{P\_C\_100} + Q_{PM\_100} + Q_{PH\_100}$$

$$Q_{P\_100} = 2.596 \cdot \text{cfs}$$



V\_100\_360=2394 cu ft

Q\_PEAK\_100=0.847 cfs



Q\_PEAK\_100=0.817 cfs

V\_100\_360=1771 cu ft



V\_100\_360=1591 cu ft

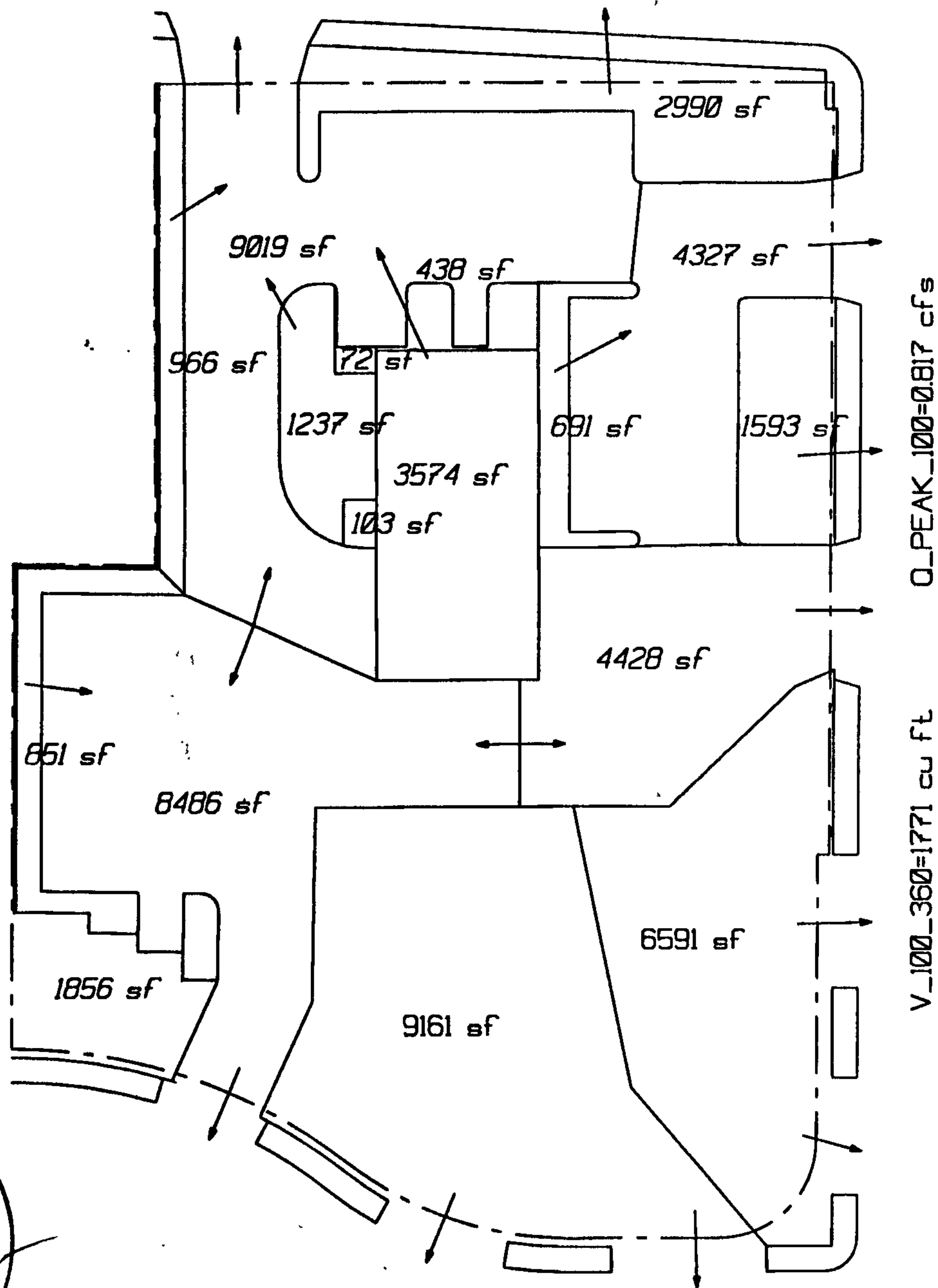
Q\_PEAK\_100=0.932 cfs

# United New Mexico Bank - Carlisle Existing Drainage Plan

Scale: 1"=50'

V\_100\_360=2394 cu ft

O\_PEAK\_100=0.847 cfs



O\_PEAK\_100=0.817 cfs

V\_100\_360=1771 cu ft



V\_100\_360=1591 cu ft

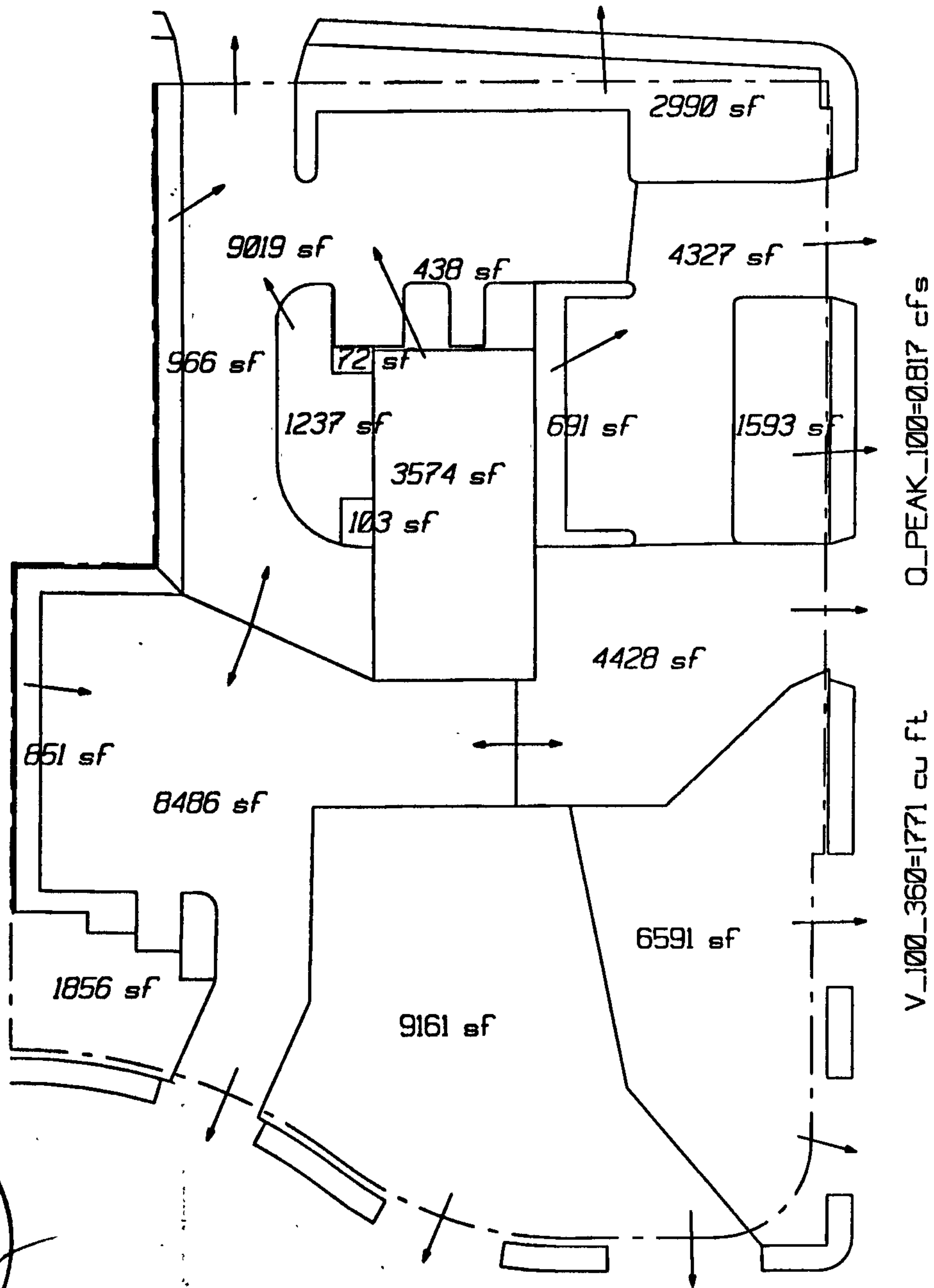
O\_PEAK\_100=0.932 cfs

# United New Mexico Bank - Carlisle Existing Drainage Plan

Scale: 1"=50'

V\_100\_360=2394 cu ft

O\_PEAK\_100=0.847 cfs



O\_PEAK\_100=0.817 cfs

V\_100\_360=1771 cu ft



V\_100\_360=1591 cu ft

O\_PEAK\_100=0.932 cfs

# United New Mexico Bank - Carlisle Existing Drainage Plan

Scale: 1"=50'