CONSTRUCTION NOTES

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. REFERENCE MADE TO COA STD DWGS. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS AS AMENDED THROUGH UPDATE #6. REFERENCE MADE TO APWA REFERS TO AMERICAN PUBLIC WORKS ASSOCIATION. REFERENCE MADE TO NMSHTD REFERS TO NEW MEXICO STATE HIGHWAY AND

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO FINAL PROVINCE BY THE OWNER PRIOR TO FINAL PROVINCE BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

THE CONTRACTOR MAY SELECT A STAGING AREA FOR STORAGE OF EQUIPMENT AND MATERIAL. NO MATERIAL OR EQUIPMENT MAY BE STORED OR LEFT ON SITE AT ANY OTHER LOCATION. THE OWNER ASSUMES NO LIABILITY FOR CONTRACTOR'S EQUIPMENT OR MATERIAL IN THE STAGING AREA. SECURITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IF NO STAGING AREA IS DESIGNATED ON THESE PLANS, AN OFFSITE STAGING AREA SHALL BE PROVIDED AT THE CONTRACTOR'S EXPENSE.

WORK WITHIN CITY RIGHT-OF-WAY

IS REPLACED.

TRANSPORTATION DEPARTMENT.

CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS.
CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT
THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR
AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT
PERMISSION. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE
PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT SURVEYOR TO ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

ALL CONSTRUCTION WITHIN CITY R.O.W. OR EASEMENTS MUST BE DONE FROM WORK ORDER DOCUMENTS APPROVED BY THE CITY OF ALBUQUERQUE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS TO CONSTRUCT FACILITIES WITHIN CITY RIGHT-OF-WAY. ELECTRONIC MARKER DISCS SHALL BE PLACED IN ACCORDANCE WITH SECTION 170 OF THE CITY OF ALBUQUERQUE, STANDARD SPECIFICATIONS, PUBLIC WORKS CONSTRUCTION.

DIMENSIONS

ALL DIMENSIONS IN PARKING AREAS AND DRIVES ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL STATIONING IS TO CENTERLINE OF RIGHT-OF-WAY UNLESS OTHERWISE NOTED. ALL SLOPES AND GRADES ARE IN FEET/FOOT UNLESS OTHERWISE NOTED. ELEVATIONS SHOWN FOR CURB AND GUTTER ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SEE DETAIL SHEET FOR CURB HEIGHT ABOVE FLOWLINE.

SOLS

UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE

MATERIAL

ASTM D 1557 MAXIMUM DENSITY.

CURB AND GUTTER SUBGRADE

PERCENT COMPACTION STRUCTURAL FILL IN THE BUILDING AREA
SUBASE FOR SLAB SUPPORT
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL
OR ROAD PAVEMENT MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS ROAD PAVEMENT SUBGRADE SIDEWALK SUBGRADE

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVING TO EXISTING. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING. ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TV & SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED

SURVEY MONUMENTATION

THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY SURVEY MONUMENT THAT IS DISTURBED. REPLACEMENT SHALL BE DONE ONLY BY A REGISTERED SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATION OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, OBTAIN THE SERVICES OF A REGISTERED SURVEYOR TO ADJUST THE MONUMENT AS REQUIRED AND PROPERLY REPORT THE NEW DATA TO THE CONTROLLING AUTHORITIES.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED TO THE ENGINEER BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAT THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1 THROUGH 14-8, NMSA 1978.

THE EXISTING UTILITIES DEPICTED ON THESE PLANS WERE DERIVED FROM INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF PERTINENT UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR IS TO EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY POTENTIAL DISRUPTIONS IN UTILITY SERVICE WITH THE UTILITY COMPANIES AFFECTED AT LEAST 24 HOURS PRIOR TO THE

CONTRACTOR SHALL EXPOSE AND VERIFY INVERT ELEVATIONS OF RELEVANT SANITARY SEWER LINES BEFORE SETTING ANY NEW INVERTS. SHOULD INVERTS DIFFER MORE THAN 0.20' FROM THOSE SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED TO DETERMINE ANY RESULTING CHANGES IN

CONTRACTOR SHALL COORDINATE WITH WATER SYSTEMS DIVISION (857-8200) THREE WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY CITY PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION (857-8200) THREE DAYS

PRIOR TO NEEDING VALVES TURNED ON OR OFF. MINIMUM DEPTH OF COVER: WATER = 48" SEWER = 24" GAS = 24". CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED. INSTALL RESIDENTIAL WATER SERVICE LINES PER C.O.A. STANDARD DRAWING

INSTALL RESIDENTIAL SANITARY SEWER SERVICE LINES PER C.O.A. STANDARD SANITARY SEWER LINES SHALL BE PVC SDR-35. WATER LINES SHALL BE PVC

EROSION CONTROL. ENVIRONMENTAL PROTECTION. AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES. THE CONTRACTOR SHALL SECURE A "TOP SOIL DISTURBANCE PERMIT" FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO

BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE

CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING OF DISTURBED AREAS SHALL BE DONE IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATION #1012, "NATIVE GRASS SEEDING".

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES. AND ARCHAEOLOGICAL RESOURCES. SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDES GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE AIR POLLUTION CONTROL REGULATIONS OF THE ALBUQUERQUE/BERNALILLO COUNTY AIR QUALITY CONTROL BOARD (505-768-2638) LIMIT THE EMISSION OF PARTICULATES AND THE USE OF CUTBACK ASPHALT. THE CONTRACTOR SHALL APPRISE HIMSELF OF THESE REGULATIONS PRIOR TO BIDDING AND PERFORMING

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATIONS.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE, FIRM, SLIDE-RESISTANT, AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5. LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1: 48. SLOPES IN ACCESSIBLE PARKING SPACES. ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

WORK WITHIN C.O.A. RIGHT-OF-WAY

AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #6.

TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.

THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING PUBLIC RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.

MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

O ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED

FINAL ACCEPTANCE.

IP = IRON PIPE

BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.

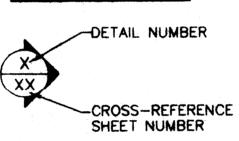
TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY

SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.

IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER. ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO

LEGEND			
DESCRIPTION	EXISTING	NEW	
BUILDING	and distributions and the production of the control		
BOILDING			
ASPHALT			
CONCRETE			
WATER VALVE		***	
FIRE HYDRANT	Ø	₩	
CURB AND GUTTER	AND STATE OF THE PARTY AND THE		
SPOT ELEVATION	→ TC49 1	FL56.79	
SANITARY SEWER	SAS	SAS	
WATER LINE		w	
STORM DRAIN	SD	SD	
FIBER OPTIC CABLE	oc	OC	
MANHOLE (SANITARY)	\odot		
MANHOLE (ELECTRICAL)	(E)		
MANHOLE (CABLE TV)			
MANHOLE (STORM DRAIN)	D		
CONSTRUCTION BASE LINE		8+00	
DROP INLET			
FLOW LINE			
DIRECTION OF SLOPE			
PROPERTY LINE	garanteenplanens and makagenases havin'ne urapper as formation for the makagenase.		
LIMITS OF CONSTRUCTION			
LIGHT POLE			
BOLLARDS		•	
CONTOURS	5182	82	
BASIN		MARKSON SECURITY VINESSUE SEASONE MUSICIPI. AMERICA	

REFERENCE BUBBLES:



UT = UNDERGROUND TELEPHONE LINE

VC = VERTICAL CURVE

ADDDEVANTIONS

UN = UNKNOWN

			AB	H	EVIATIONS
A	=	AIR	1W	=	INDUSTRIAL WASTE
		ADDITIVE BID ITEM	ĸ		RATE OF VERTICAL CURVE
AD		AREA DRAIN	LEN.		LENGTH
A.D.		ALGEBRAIC DIFFERENCE IN SLOPES	LF		LINEAR FEET
AIP		ABANDONED IN PLACE	LP	=	LIGHT POLE
AP		ANALYSIS POINT	L/S		LANDSCAPING
		BUILDING	LŤ	=	LEFT
BM	==	BENCHMARK	MH	=	MANHOLE
BVCS	=	BEGINNING VERTICAL CURVE STATION	NG	=	NATURAL GRADE
BVCE	=	BEGINNING VERTICAL CURVE ELEVATION	PB	==	PULL BOX
BW	=	BASE OF WALL	PL		PROPERTY LINE
CATV	=	CABLE TV LINE	PC		POINT OF CURVE
CB		CATCH BASIN	PCC		PORTLAND CEMENT CONCRETE
CIP		CAST IRON PIPE	P.I.	=	POINT OF INTERSECTION
CR	=	CURB RETURN	PP	=	POWER POLE
		CORRUGATED METAL PIPE	PRC	=	POINT OF REVERSE CURVE
		CORRUGATED METAL PIPE ARCH	PT	===	POINT OF TANGENT
		CLEANOUT	PVI	=	POINT OF VERTICAL INTERSECTION
		CONCRETE	PVC	=	POLYVINYL CHLORIDE PIPE
CL		CHAIN LINK	RCP		REINFORCED CONCRETE PIPE
DIA		DIAMETER	RD		ROOF DRAIN
DI	=	DROP INLET	ROW	=	RIGHT OF WAY
DIP	=	DUCTILE IRON PIPE	RT	=	RIGHT
E		ELECTRIC	S		SLOPE
		ELEVATION	SAS		SANITARY SEWER LINE
		EASEMENT STATION	SD		STORM DRAIN
		END VERTICAL CURVE STATION	SP		STEEL PIPE
		END VERTICAL CURVE ELEVATION	STA	=	STATION
		EXISTING	STD		STANDARD
EB FD		ELECTRIC BOX FLOOR DRAIN	SW		SIDEWALK
FF		FINISHED FLOOR ELEVATION	<u>T</u> :		TELEPHONE LINE
FG	==	THE STATE OF LOT	TA		TOP OF ASPHALT
FH	=	FIRE HYDRANT	TAC		TOP OF ASPHALT CURB
FL	=	FLOW LINE	TC	==	TOP OF CONCRETE
FM	**		TCC	=	TOP OF CONCRETE CURB
FW	=		TD TG	===	TOP OF DOCK TOP OF GRATE
FF	=	FINISHED FLOOR ELEVATION	TS	**	TOP OF SIDEWALK
FP		FINISHED PAD (DIRT)	TW	=	TOP OF WALL
G	=	GAS	TYP	=	TYPICAL
GM	=		TB	=	TELEGUANE DAY
GV	=		TR		TELEPHONE RISER
HC	=		TS		TRAFFIC SIGN
		HIGH POINT	UE		UNDERGROUND ELECTRICAL LINE
INV	=	INVERT ELEVATION	LINI		TINENOMAL ELECTRICAL ENTE

VP = VENT PIPE W = WATER WM = WATER METER WV = WATER VALVE

CIVIL LEGEND AND GENERAL NOTES



Central Park Apartments

phase II



southwest inc.

105 4th st. sw

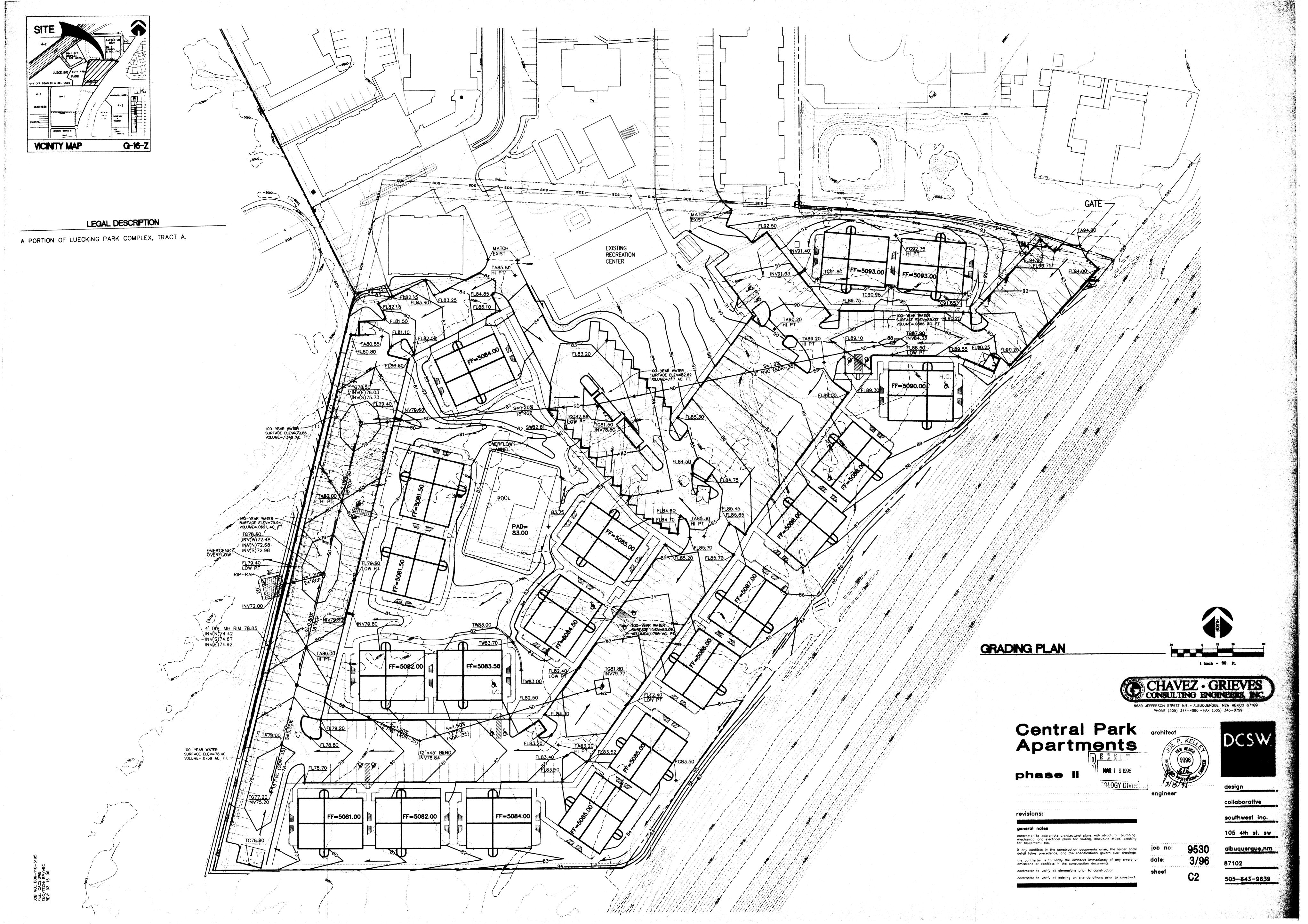
albuquerque,nm

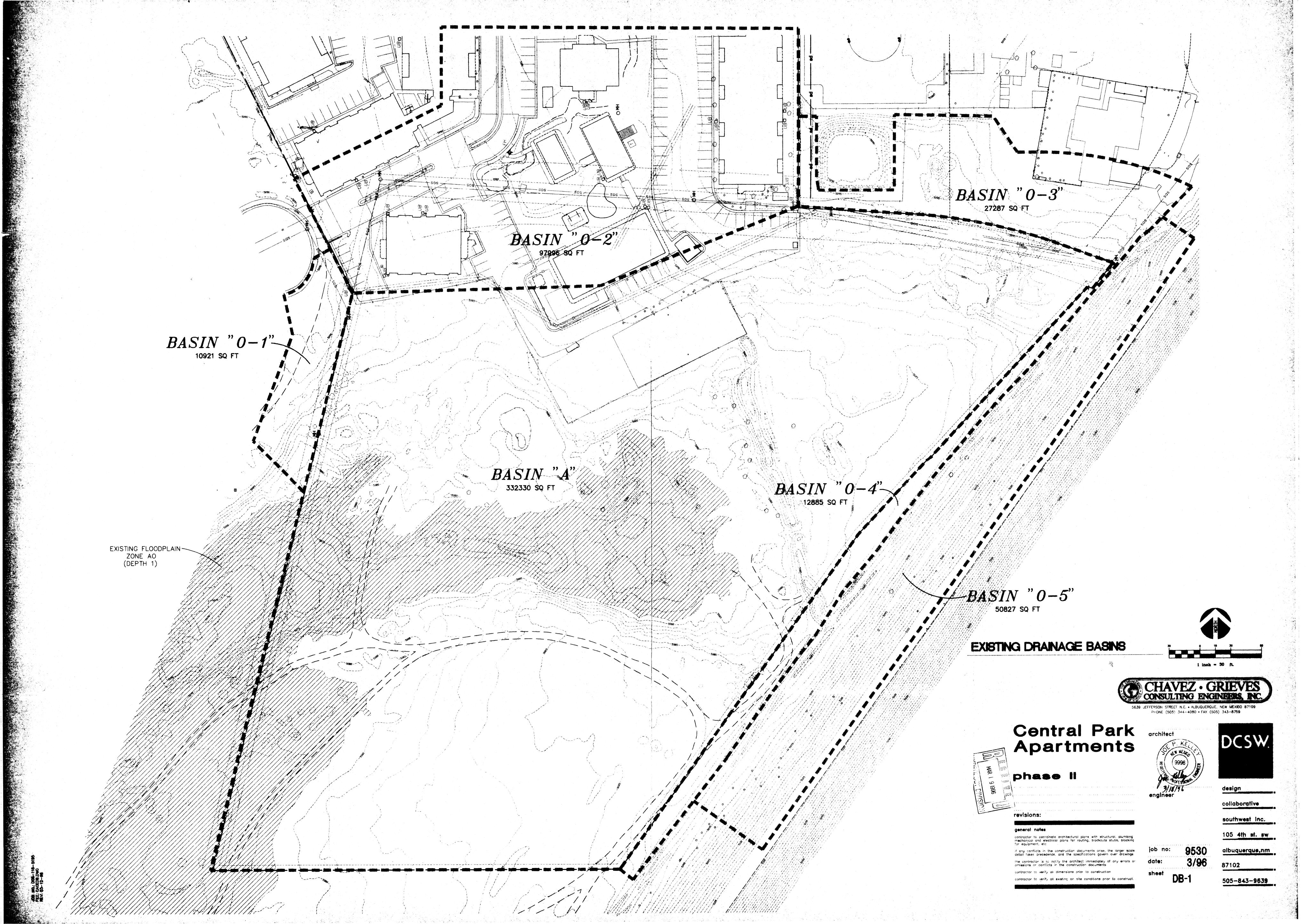
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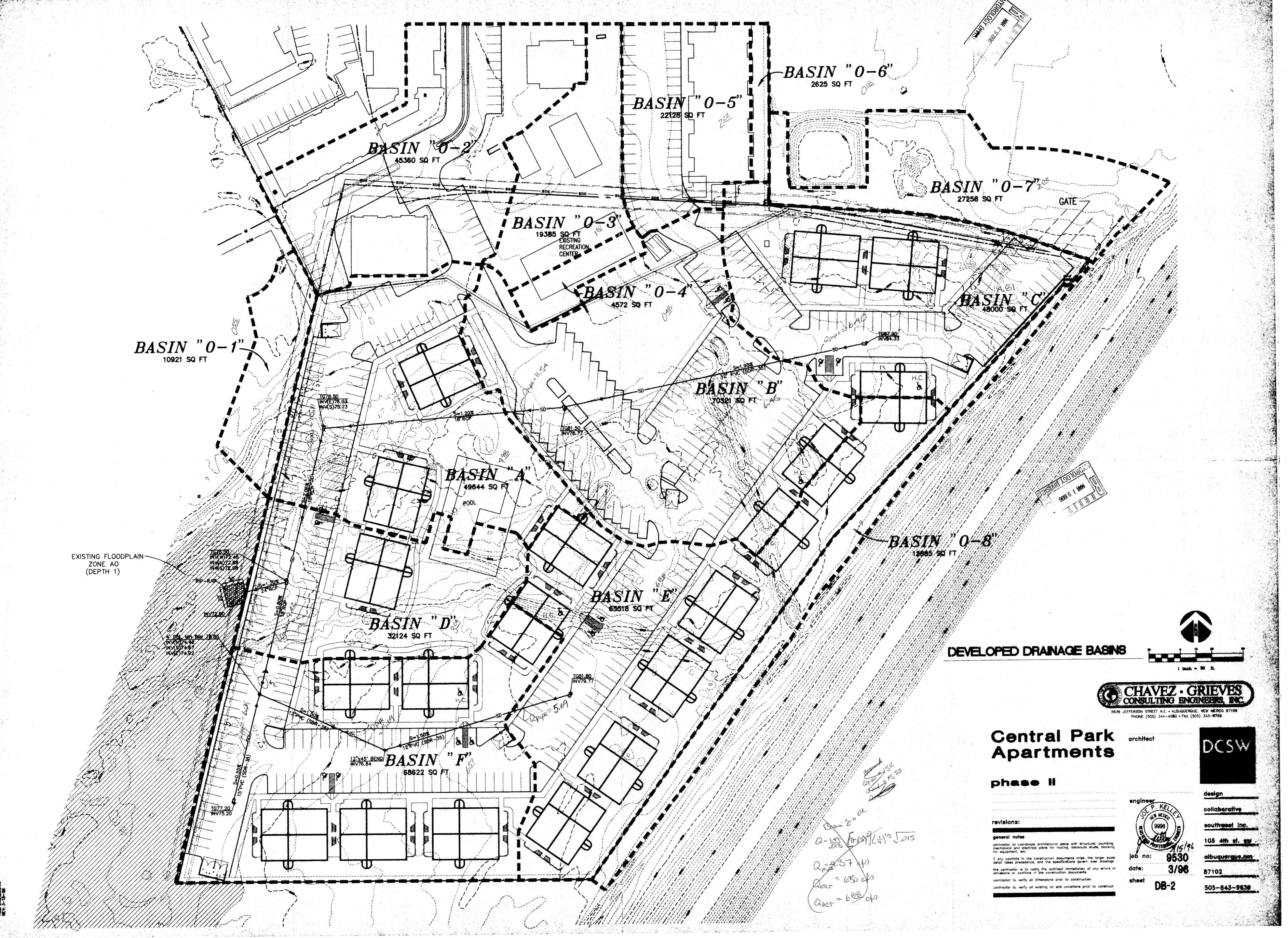
revisions:

general notes contractor to coordinate architectural plans with structural, plumbing mechanical and electrical plans for routing, blockouts stubs, blocking for equipment, etc. if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents contractor to verify all dimensions prior to construction

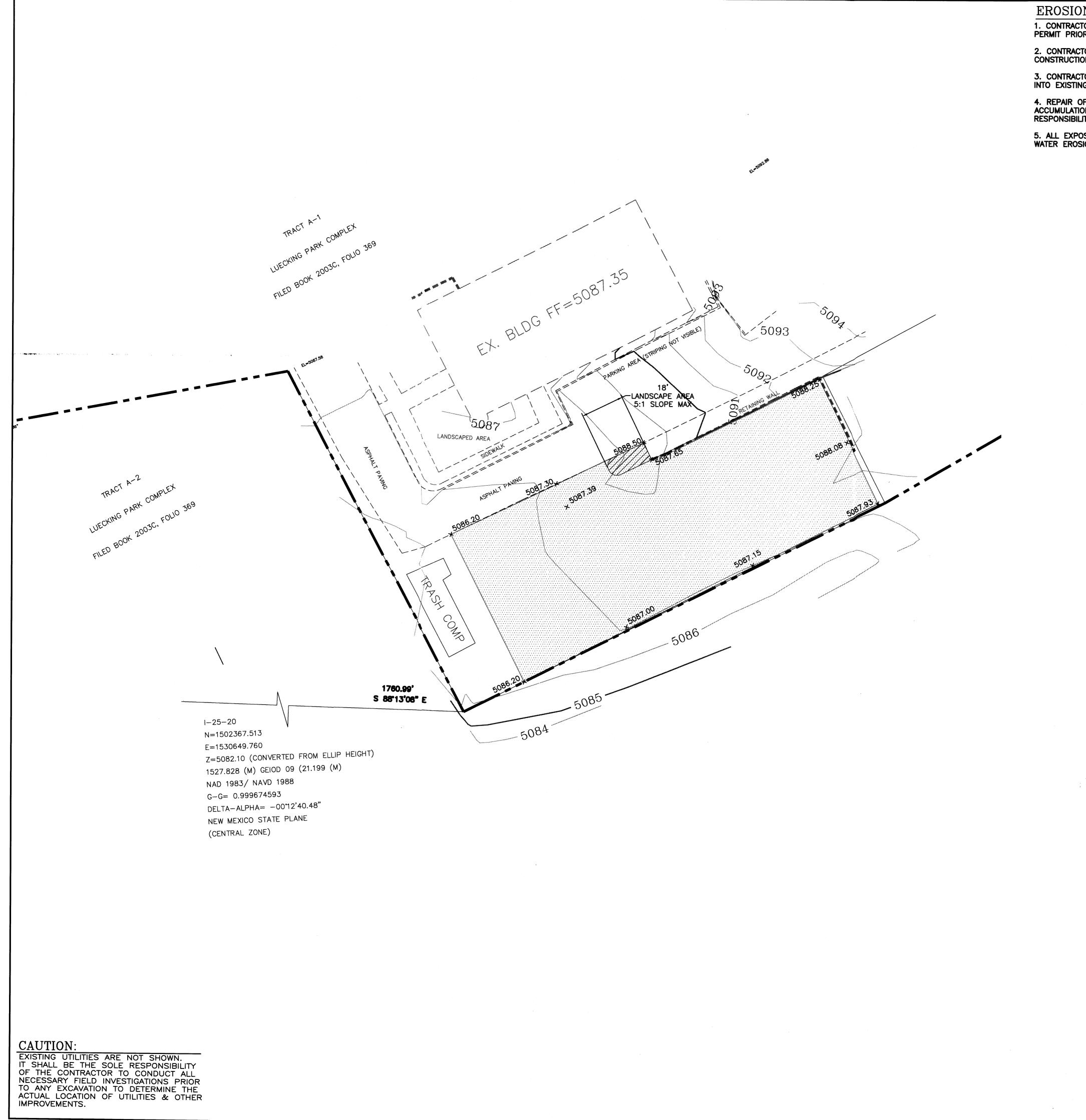
contractor to verify all existing on site conditions prior to construct.





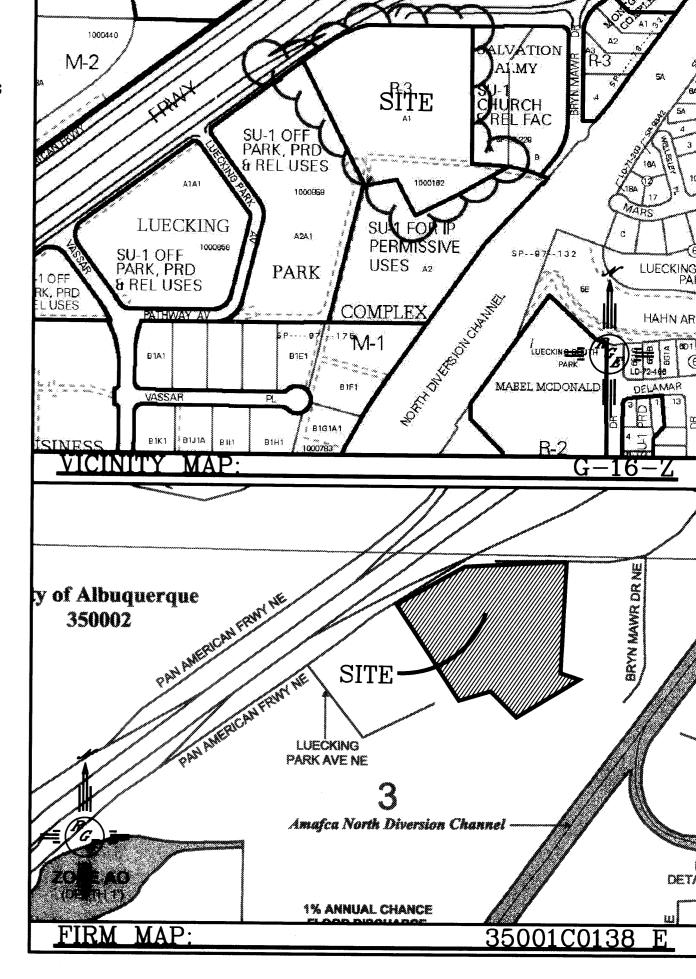


00 40: 008-116-5186



EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



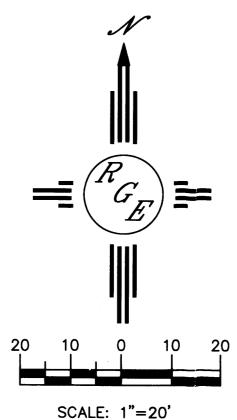
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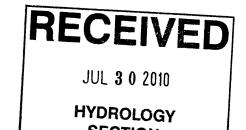
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE

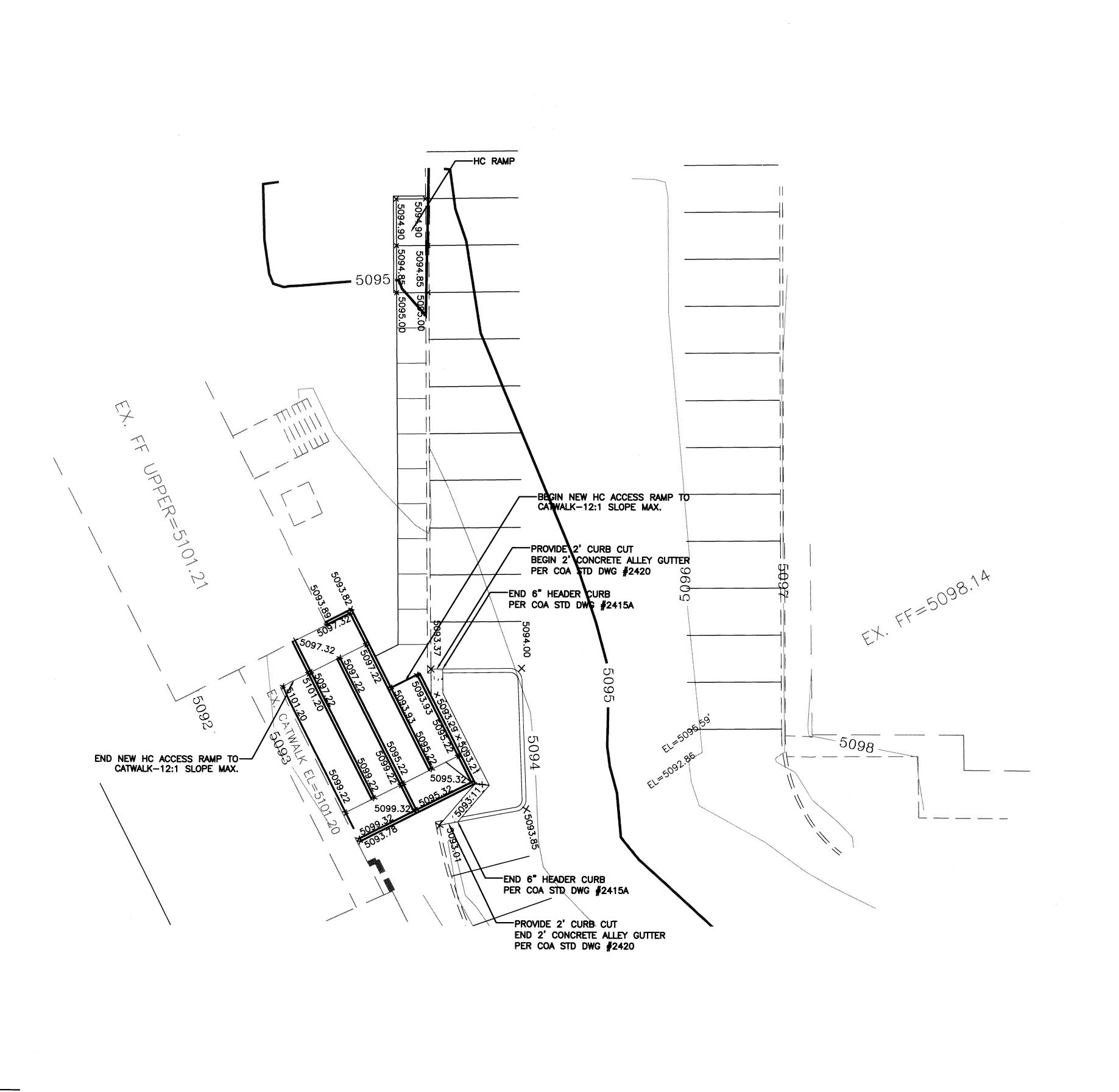
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EXISTING CONTOUR 5414 EXISTING INDEX CONTOUR - PROPOSED CONTOUR PROPOSED INDEX CONTOUR SLOPE TIE EXISTING SPOT ELEVATION × 4048.25 PROPOSED SPOT ELEVATION × 4048.25 BOUNDARY CENTERLINE RIGHT-OF-WAY PROPOSED EDGE OF ASPHALT ======= EXISTING CURB EXISTING SIDEWALK PROPOSED SCREEN WALL NEW ASPHALT PAVING-TO BE 2" AC PAVING OVER 6" PULVERIZED ASPHALT SUBGRADE



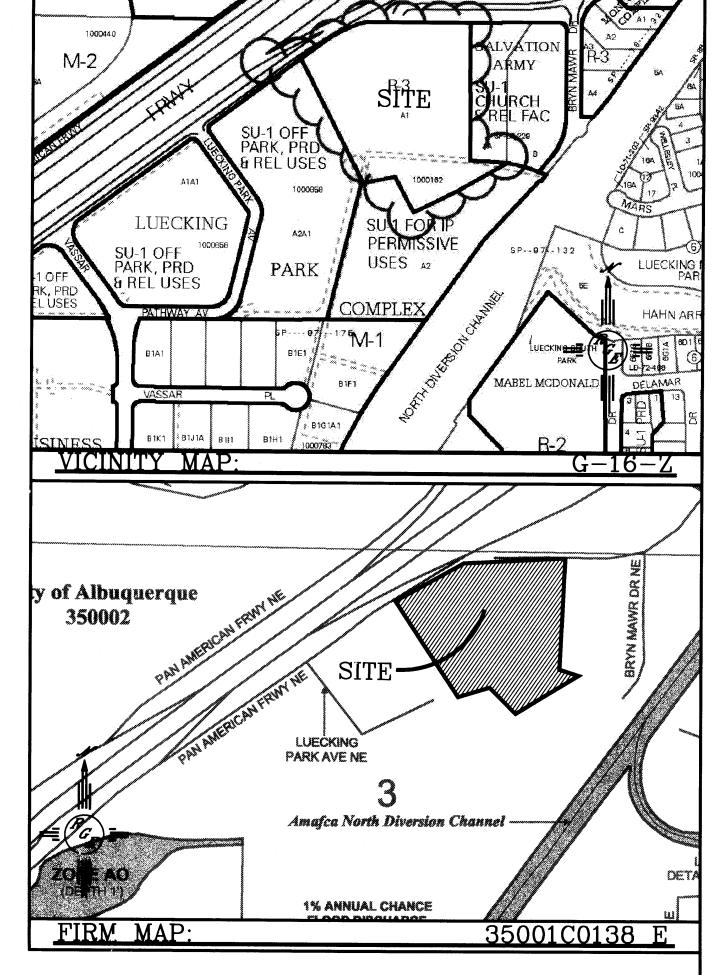


		CTION
ENGINEER'S SEAL	DESERT CREEK	DRAWN BY WCWJ
	CDADING AND	DATE 7-01-10
OR IID SOUTH	GRADING AND DRAINAGE PLAN	2123-LAYOUT-7-1-10
REGISTATION AND AROFESSIONIA	Rio Grande	SHEET #
POFESSION	Engineering 1606 CENTRAL AVENUE	
DAVID SOULE P.E. #14522	SUITE 201 ALBUQUERQUE, NM 87106 (505) 872–0999	JOB #



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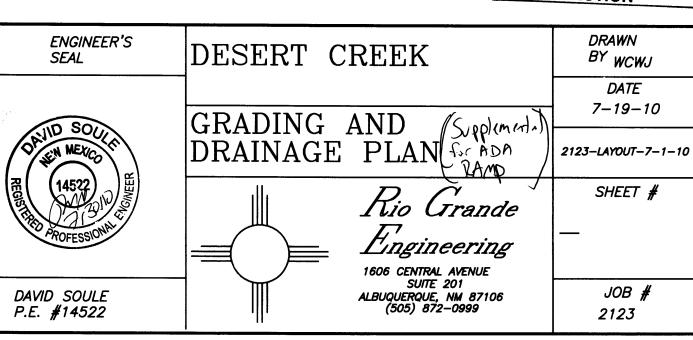
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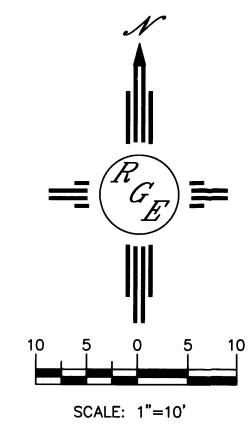
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<u></u>	EXISTING CONTOUR
5415	EXISTING INDEX CONTOUR
5414	PROPOSED CONTOUR
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—	SLOPE TIE
1 * 4048.25	EXISTING SPOT ELEVATION
× 4048.25	PROPOSED SPOT ELEVATION
·	BOUNDARY
·	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED EDGE OF ASPHALT
=======================================	EXISTING CURB
	PROPOSED SIDEWALK

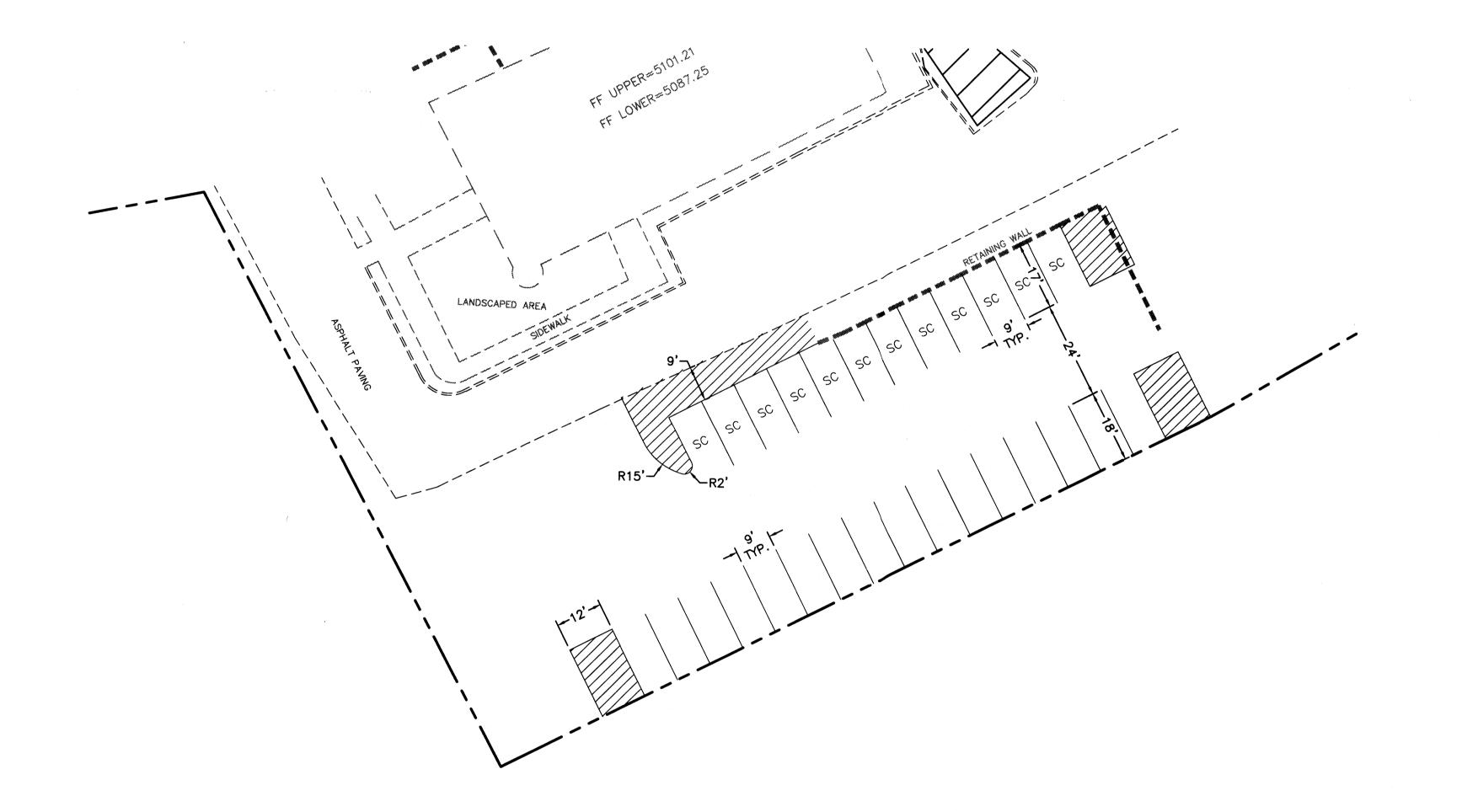
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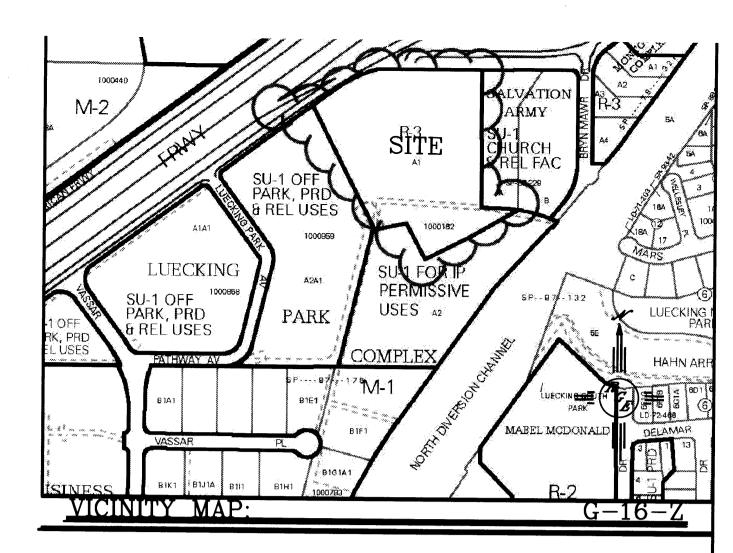
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CAUTION: EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.





LEGAL DESCRIPTION: TRACT A-1, LUEKING PARK COMPLEX

LEGEND

= = = = = = = = Existing curb & Gutter PROPOSED CURB & GUTTER - EXISTING BOUNDARY LINE PROPOSED SIDEWALK

PARIGNG CALCULATIONS:

EXISTING BUILDING-REMODEL OF CLUBHOUSE/RECREATION AREA

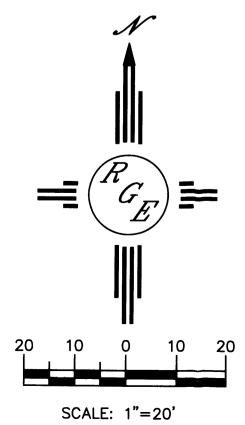
O NEW SPACES SPACES REQUIRED

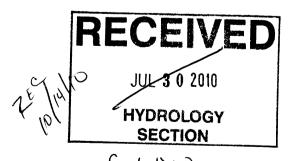
28 NEW SPACES PROMOED FOR VEHICHLE STORAGE/OVERFLOW AREA OVER EXISTING TENNIS COOKT



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.





	G-10):	0119
ENGINEER'S SEAL	DESERT CREEK	DRAWN BY WCWJ
SID SOU	TRAFFIC CIRCULATION	DATE 7-30-10
DAY MEXICO IN	LAYOUT	2123-LAYOUT-7-01-10
THE CHAPTER SOLUTION OF THE STATE OF THE STA	Rio Grande	SHEET #
THOFESSIO!	Engineering 1606 CENTRAL AVENUE	
DAVID SOULE P.E. #14522	SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 2116