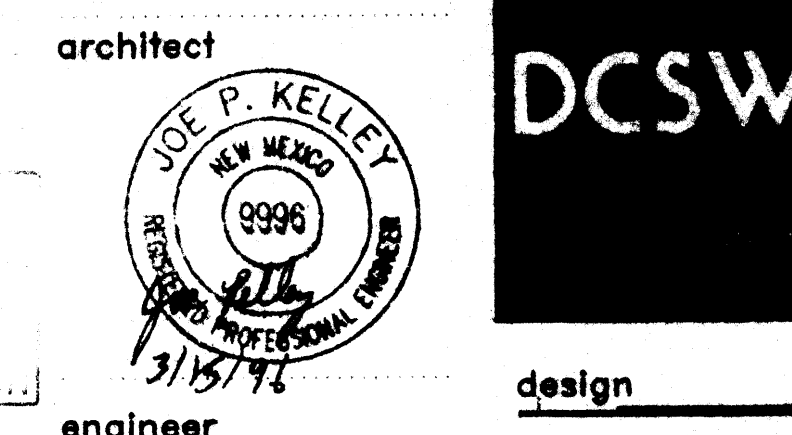


Central Park Apartments

phase II



revisions:

general notes

the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents

job no: 9530
date: 3/96
sheet: C2

design
collaborative
southwest inc.
105 4th st. sw
albuquerque, nm
87102
505-843-9630

BASIN "0-1"
10921 SQ FT

BASIN "0-2"
97996 SQ FT

BASIN "0-3"
27287 SQ FT

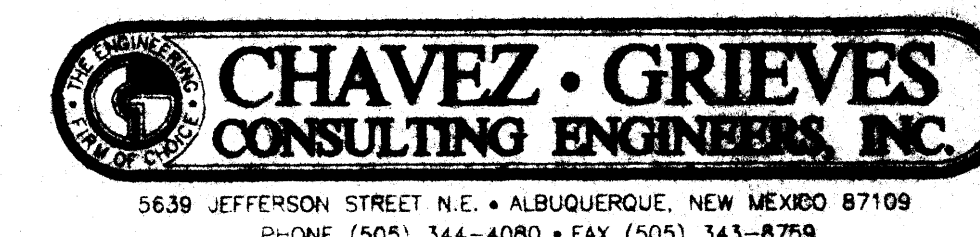
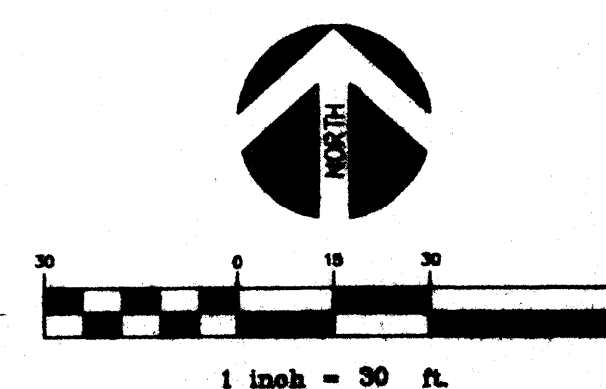
BASIN "A"
332330 SQ FT

BASIN "0-4"
12885 SQ FT

BASIN "0-5"
50827 SQ FT

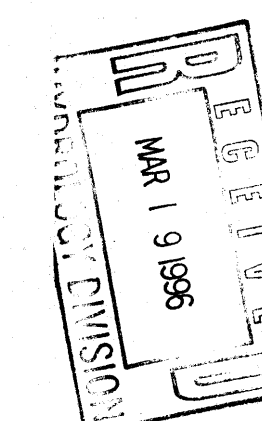
EXISTING FLOODPLAIN
ZONE AO
(DEPTH 1)

EXISTING DRAINAGE BASINS



Central Park Apartments

phase II



revisions:

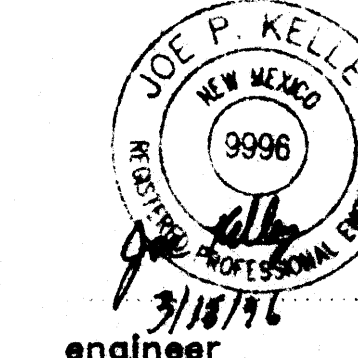
general notes

contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.

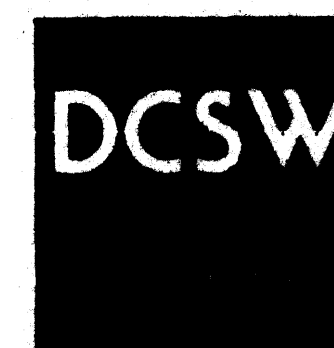
if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings. the contractor is to verify the construction documents.

contractor to verify all dimensions prior to construction.
contractor to verify all existing site conditions prior to construct.

architect



engineer



design

collaborative

southwest inc.

105 4th st. sw

albuquerque, nm

87102

505-843-9639

job no: 9530

date: 3/96

sheet DB-1

BASIN "0-1"
10921 SQ FT

BASIN "0-2"
45360 SQ FT

BASIN "0-5"
22128 SQ FT

BASIN "0-6"
2625 SQ FT

BASIN "0-7"
27258 SQ FT

BASIN "0-3"
19385 SQ FT
EXISTING RECREATION CENTER

BASIN "0-4"
4572 SQ FT

BASIN "C"
48000 SQ FT

BASIN "B"
70321 SQ FT

BASIN "A"
49644 SQ FT

BASIN "0-8"
13645 SQ FT

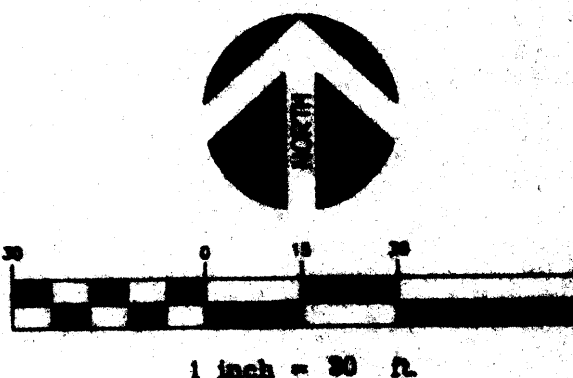
BASIN "D"
32124 SQ FT

BASIN "E"
63318 SQ FT

BASIN "F"
68622 SQ FT

EXISTING FLOODPLAIN
ZONE AO
(DEPTH 1)

DEVELOPED DRAINAGE BASINS



CHAVEZ - GRIEVES
CONSULTING ENGINEERS, INC.
5639 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 344-4080 • FAX (505) 343-8799

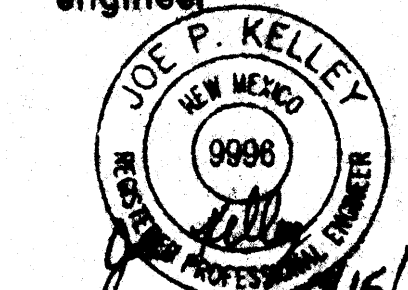
**Central Park
Apartments**

phase II

architect

DCSW

engineer



job no: 9530

date: 3/96

sheet DB-2

design

collaborative

southwest inc.

105 4th st. sw

albuquerque, nm

87102

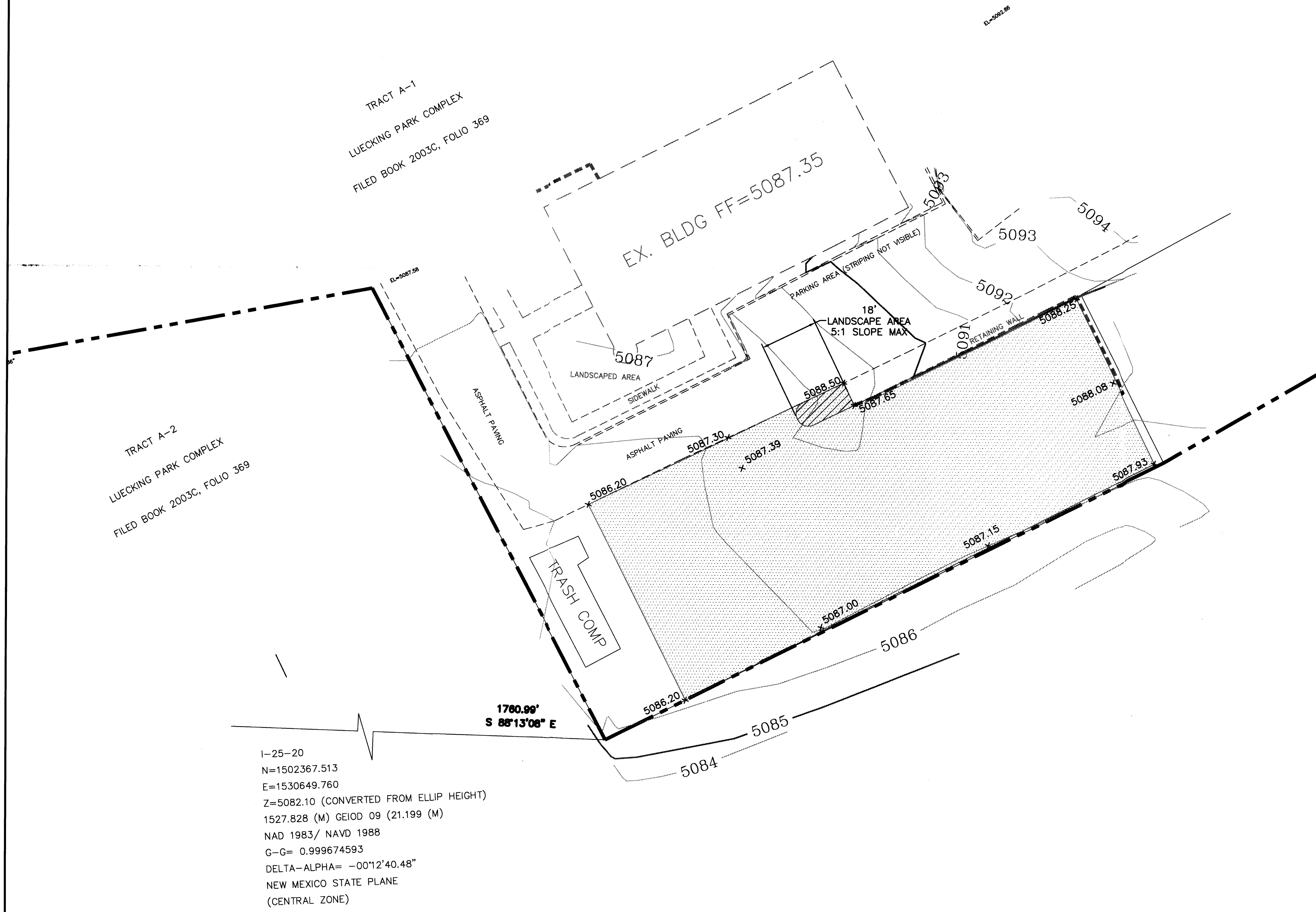
505-843-9639

revisions:

general notes

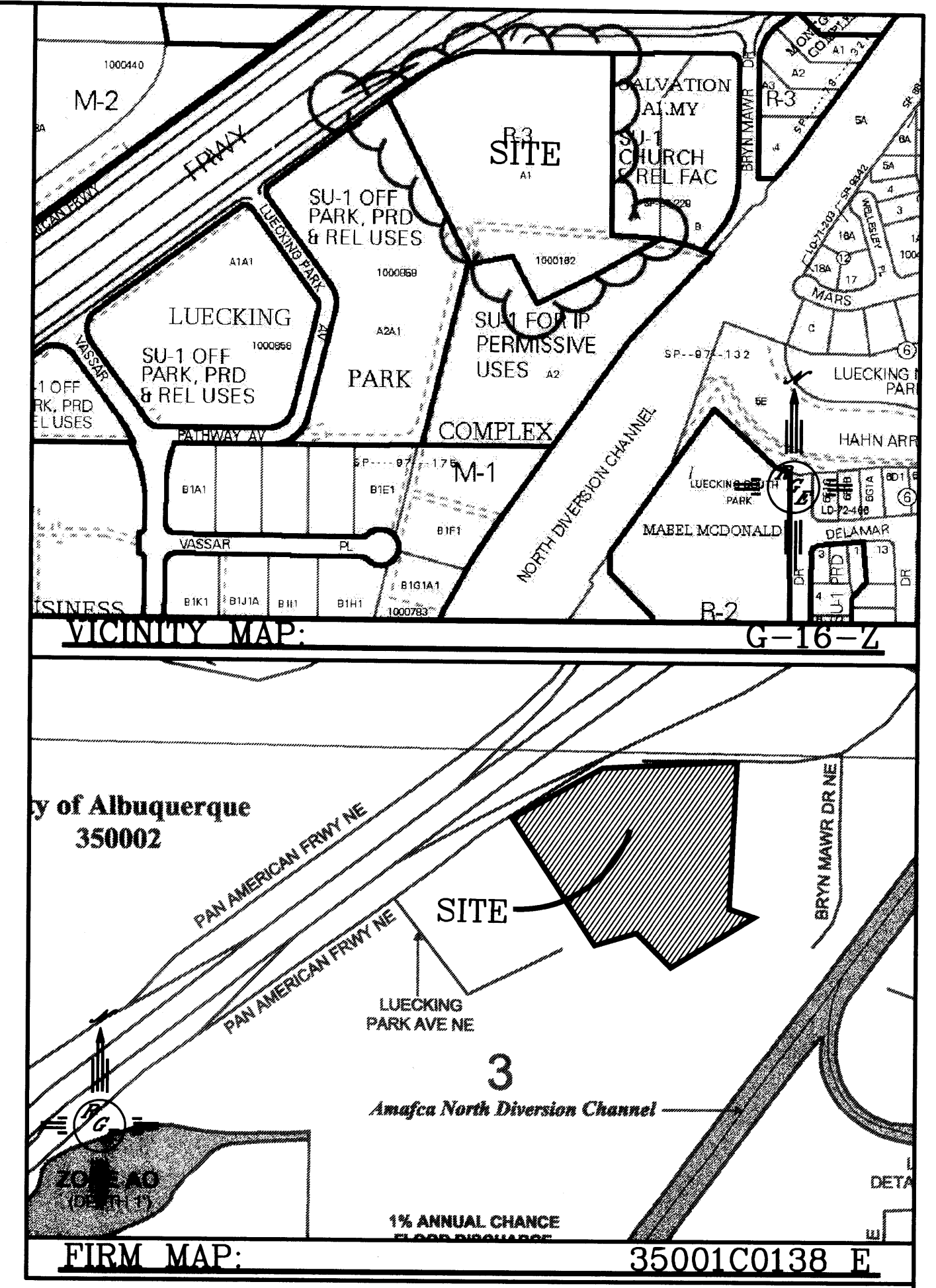
contractor to coordinate architectural plans with structural, plumbing, mechanical and electrical plans for routing, blockouts, stubs, blocking for equipment, etc.
if any conflicts in the construction documents arise, the larger scale detail takes precedence, and the specifications govern over drawings the contractor is to notify the architect immediately of any errors or omissions or conflicts in the construction documents
contractor to verify all dimensions prior to construction
contractor to verify all existing on site conditions prior to construct

Handwritten notes:
Basin "E" OK
 $Q = 1.45 \frac{100}{0.05} \sqrt{\frac{1.49}{1.49} \left(\frac{1.49}{1.49} \right)^{1.49}} \sqrt{0.015}$
 $Q_{\text{pipe}} = 1.37 \text{ cfs}$
 $Q_{\text{water}} = 1.55 \text{ cfs}$
 $Q_{\text{net}} = 6.88 \text{ cfs}$



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

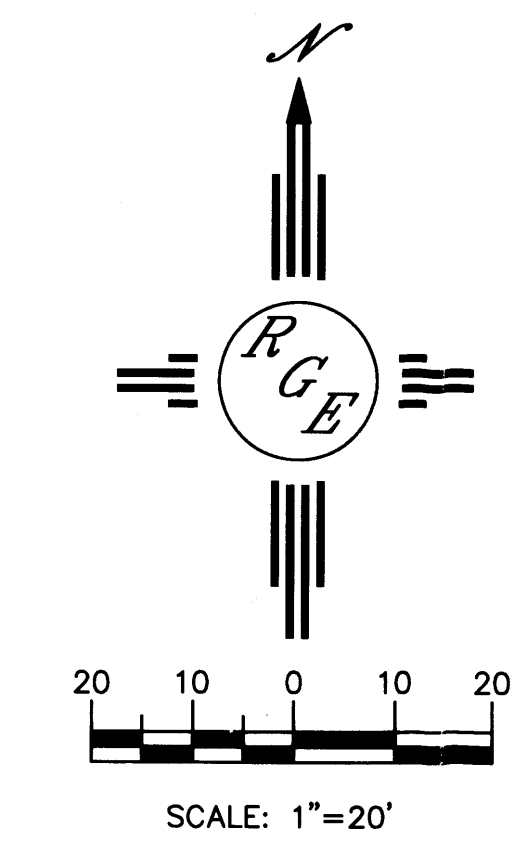
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
TRACT A-1, LUECKING PARK COMPLEX

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

| LEGEND | |
|--------|--|
| | EXISTING CONTOUR |
| | EXISTING INDEX CONTOUR |
| | PROPOSED CONTOUR |
| | PROPOSED INDEX CONTOUR |
| | SLOPE TIE |
| | EXISTING SPOT ELEVATION |
| | PROPOSED SPOT ELEVATION |
| | BOUNDARY |
| | CENTERLINE |
| | RIGHT-OF-WAY |
| | PROPOSED EDGE OF ASPHALT |
| | EXISTING CURB |
| | EXISTING SIDEWALK |
| | PROPOSED SCREEN WALL |
| | NEW ASPHALT PAVING--TO BE 2" AC PAVING OVER 6" PULVERIZED ASPHALT SUBGRADE |



ENGINEER'S SEAL

DAVID SOULE
P.E. #14522

DESERT CREEK

GRADING AND DRAINAGE PLAN

Rio Grande
Engineering
1808 CENTRAL AVENUE
SUITE 201
ALBUQUERQUE, NM 87108
(505) 872-0999

DRAWN BY WCVJ

DATE 7-01-10

2123-LAYOUT-7-1-10

SHEET #

JOB # 2123

RECEIVED
JUL 30 2010
HYDROLOGY SECTION

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.




1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

The diagram shows a cross-section of a road with various features labeled on the right. From top to bottom, the features and labels are:

- A dashed line with the number 5414 above it, labeled "EXISTING CONTOUR".
- A solid line with the number 5415 above it, labeled "EXISTING INDEX CONTOUR".
- A solid line with the number 5414 above it, labeled "PROPOSED CONTOUR".
- A thick solid line with the number 5415 above it, labeled "PROPOSED INDEX CONTOUR".
- A triangle pointing to the right, labeled "SLOPE TIE".
- A vertical line with the number 4048.25 to its left, labeled "EXISTING SPOT ELEVATION".
- A vertical line with the number 4048.25 to its left, labeled "PROPOSED SPOT ELEVATION".
- A dashed line, labeled "BOUNDARY".
- A solid line, labeled "CENTERLINE".
- A solid line, labeled "RIGHT-OF-WAY".
- A dashed line, labeled "PROPOSED EDGE OF ASPHALT".
- A series of equals signs (= = = = =), labeled "EXISTING CURB".
- A series of rectangles, labeled "PROPOSED SIDEWALK".

HYDROLOGY
SECTION

DAVID SOULE
P.E. #14522

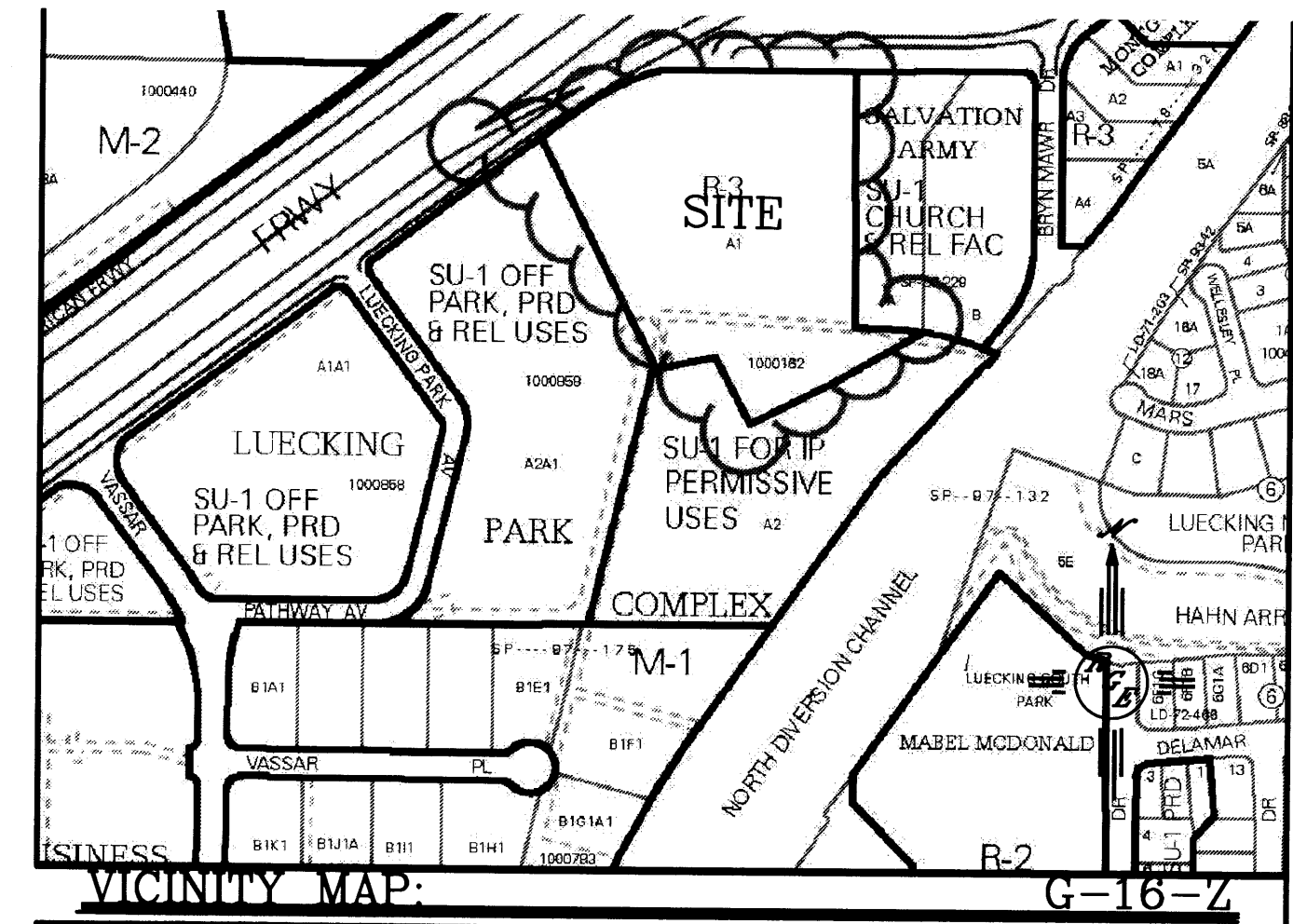


*Rio Grande
Engineering*

1606 CENTRAL AVENUE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999

JOB #
2123

EXISTING UTILITIES ARE NOT SHOWN.
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NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
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IMPROVEMENTS.



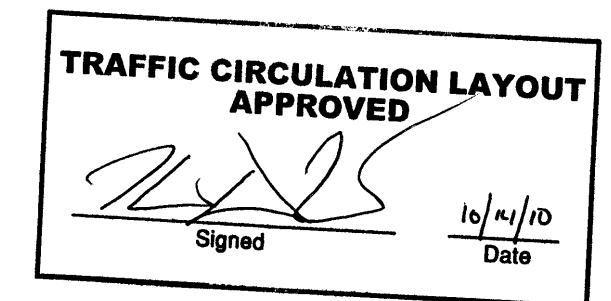
LEGAL DESCRIPTION:
TRACT A-1, LUECKING PARK COMPLEX

LEGEND

- ===== EXISTING CURB & GUTTER
- ===== PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- ===== PROPOSED SIDEWALK
- CENTERLINE
- RIGHT-OF-WAY

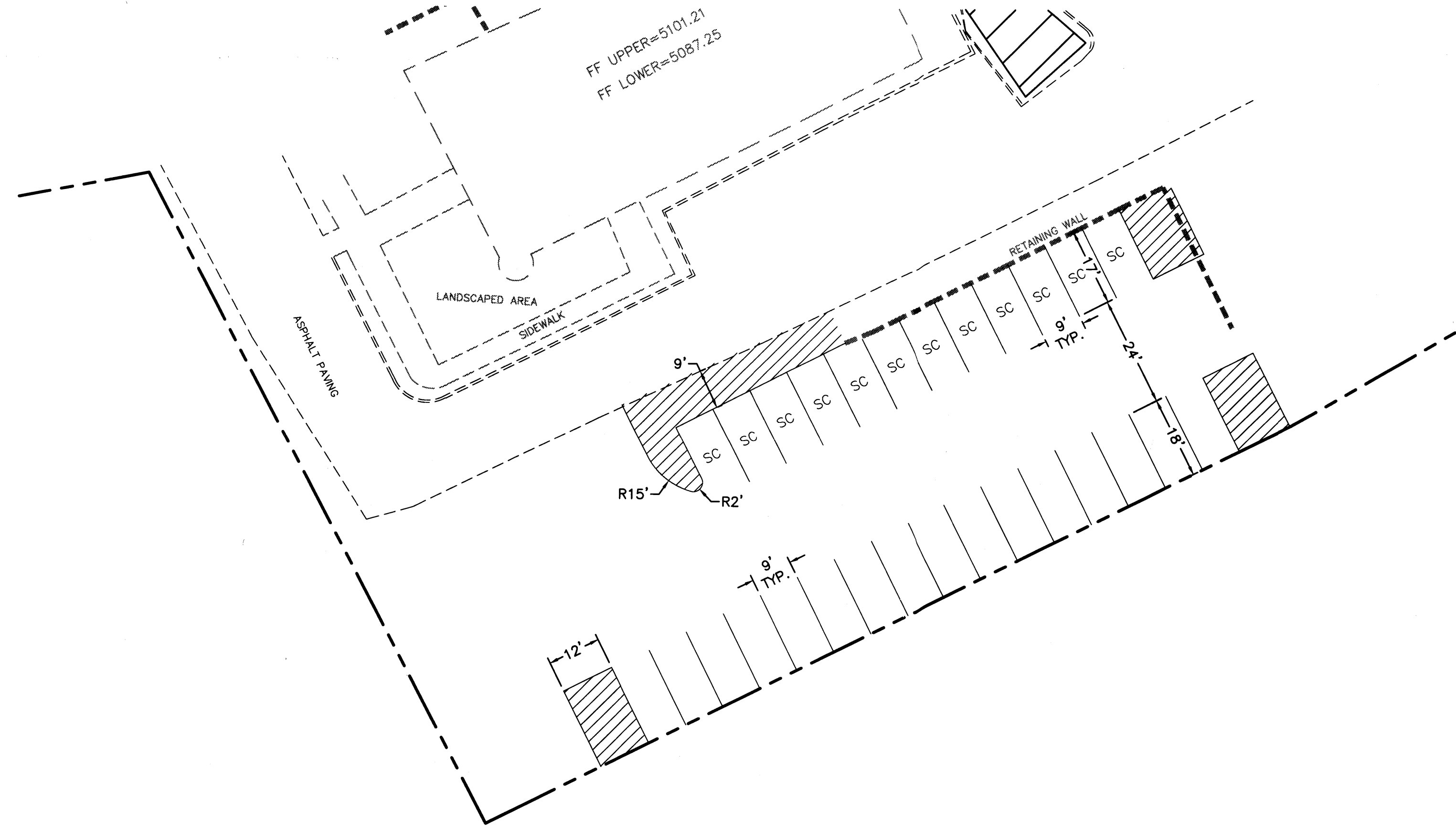
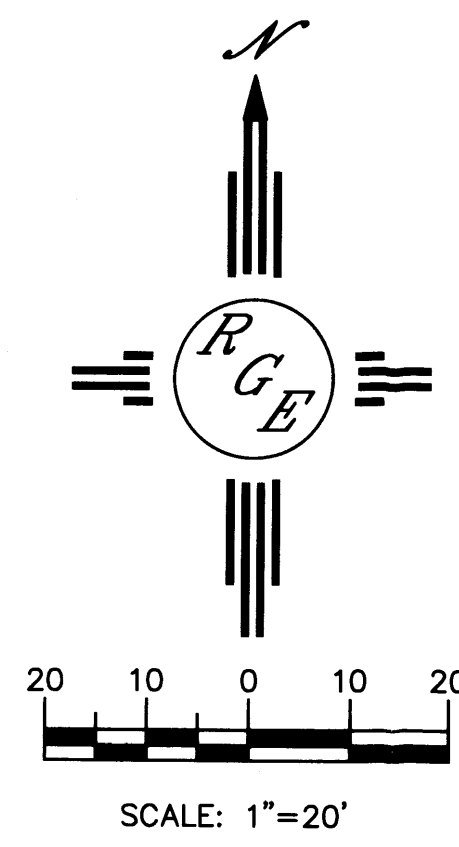
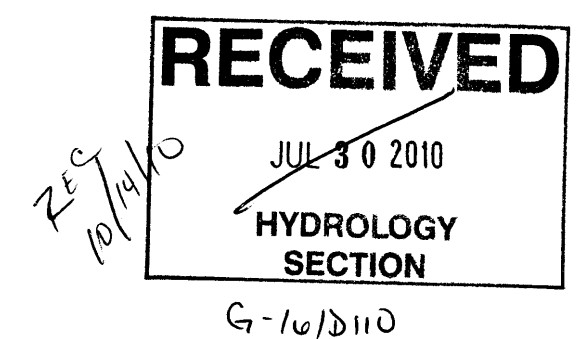
PARKING CALCULATIONS

- EXISTING BUILDING-REMODEL OF CLUBHOUSE/RECREATION AREA
- 0 NEW SPACES SPACES REQUIRED
- 28 NEW SPACES PROVIDED FOR VEHICLE STORAGE/OVERFLOW AREA OVER EXISTING TENNIS COURT



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



| | | | |
|--|---|--|---------------------|
| <div>ENGINEER'S SEAL</div> <div> </div> <div>DAVID SOULE P.E. #14522</div> | DESERT CREEK | | DRAWN BY WCVJ |
| | TRAFFIC CIRCULATION LAYOUT | | DATE 7-30-10 |
| | <div>Rio Grande Engineering</div> <div>1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0892</div> | | 2123-LAYOUT-7-01-10 |
| | | | SHEET # |
| | | | JOB # 2116 |