

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

July 7, 2021

Phillip W. Clark, PE  
Clark Consulting Engineers  
19 Ryan Rd  
Edgewood, NM 87015

**RE: Cohen Project**  
**2929 Candelaria Rd. NE**  
**Grading and Drainage Plan Stamp Date: 5/21/21**  
**Hydrology File: G16D111A**

Dear Mr. Clark:

Based on the submittal received on 6/23/21, the Grading and Drainage Plan is approved for Building Permit by Hydrology.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3986 or [earnmijo@cabq.gov](mailto:earnmijo@cabq.gov).

Sincerely,

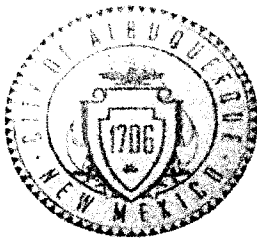
Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6-2015)

Project Title: Cohen project Building Permit #: Bp-2021-18104 Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Lot B2, amended plat of lots B-1 + B-2 of Campbells Tract-B

City Address: 2929 Candelaria NE. alb. NM

Applicant: Bur Construction Contact: Rebbie West

Address: PO Box 3054

Phone#: 505-832-1400 Fax#: 505-832-1441 E-mail: brnm94@brunstruct  
lonca.com

Other Contact: Kory Baker Contact: \_\_\_\_\_

Address: PO Box 254 Estancia NM 87016

Phone#: 505-384-3112 Fax#: \_\_\_\_\_ E-mail: J.K. Baker@century  
link.net

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☒ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: June 4/2021 By: Bur Construction Co, Tanya Percy

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
**APPROVED**

DATE: 7/7/2021  
BY: Ernest Arriaga  
HydroTrans # G16D111

THE APPROVAL OF THIS PLAN AND REPORT SHALL NOT BE  
CONSIDERED TO PERMIT VIOLATIONS OF ANY CITY  
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT  
THE CITY OF ALBUQUERQUE FROM REQUESTING  
CORRECTION OR LEGAL ACTION ON THE BASIS OF  
SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS  
SHALL NOT BE CONSIDERED MODIFIED OR ALTERED WITHOUT  
AUTHORIZATION.

PROJECT IS LOCATED IN ZONE X, NOT WITHIN A  
SPECIAL FLOOD HAZARD AREA

FIRM MAP REF: PANEL # C0351 H

## GRADING & DRAINAGE PLAN

THE 2400 SF WAREHOUSE ADDITION PROJECT IS LOCATED IN THE INDUSTRIAL SECTION OF ALBUQUERQUE'S NORTH I-25 SECTOR APPROXIMATELY 2 MILES NORTH OF THE DOWNTOWN CORE OF ALBUQUERQUE, NM. THE GRADING & DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQ. DEVELOPMENT PROCESS MANUAL (DPM), CH. 6, SIGNED 6/8/20 - DRAINAGE, FLOOD AND EROSION CONTROL. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS: INCLUDING 9600 SF METAL BUILDING AND EXISTING FLATWORK .
- PROPOSED IMPROVEMENTS: ATTACHED ADDITION, WITH NEW PAD / GRADE ELEVATIONS.
- CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- QUANTIFICATION AND ACCEPTANCE OF UPSTREAM OFF-SITE FLOWS WHICH CONTRIBUTE TO THE DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS. (MINIMAL)

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON THE SOUTHWEST, NORTH AND THE WEST BY DEVELOPED LIGHT MANUFACTURING. CANDELARIA ROAD NE, IS PAVED WITH CURB, GUTTER AND 6' SIDEWALK, AND IS MAINTAINED BY THE CITY OF ALBUQUERQUE. THE SITE CURRENTLY HAS SLOPES AT 0 TO 2% DRAINING TO THE NORTHWEST PRIMARILY.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED. NO GRADING IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF THE REDEVELOPMENT FLOW IS ACCEPTABLE, SINCE NO INCREASE IN RUNOFF.

THE SITE IS NOT IMPACTED ADVERSELY BY ANY OFF-SITE DRAINAGE FLOWS.

## CALCULATIONS

### DESIGN CRITERIA

HYDROLOGIC METHODS PER CHAPTER 6, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) 2020 EDITION FOR CITY OF ALBUQUERQUE.  
DISCHARGE RATE:  $Q = Q_{PEAK} \times AREA$ . "Peak Discharge Rates For Small Watersheds"  
VOLUMETRIC DISCHARGE:  $VOLUME = E_{Weighted} \times AREA$   
 $P100-6 Hr = 2.29 In.$ ,  $Zone 2$ ,  $P100-24 Hr = 2.59 In.$ ,  $P100-10 Day = 3.6 In.$   $TC = 12 Min.$   
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [ ] = 10 YEAR VALUES

### EXISTING CONDITIONS

TOTAL AREA = 0.87 ACRES, WHERE EXCESS PRECIP. "W" = 2.2  
PEAK DISCHARGE,  $Q100 = 3.6 CFS$ , WHERE UNIT PEAK DISCHARGE = 4.2 CFS/AC.  
THEREFORE:  $VOLUME 100 = 6948 CF$

### DEVELOPED CONDITIONS - LOT 14-A

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

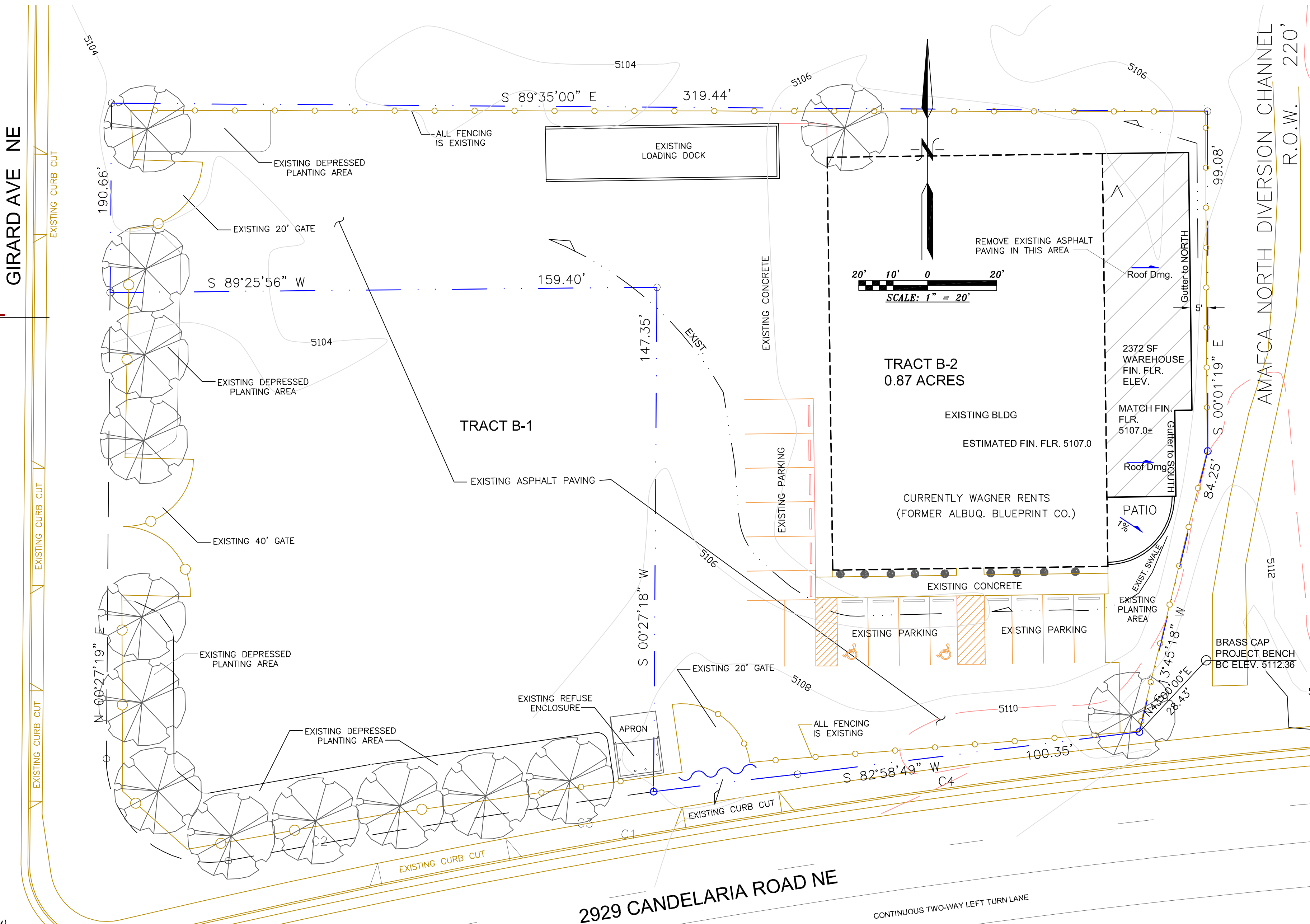
	AREA	LAND TREATMENT	Q Peak	E
UNDEVELOPED	0.0 Ac (0%)	A	1.71[0.41]	0.62[0.15]
LANDSCAPING, Native, <10%	0.02 Ac (3%)	B	2.36[0.95]	0.80[0.30]
GRAVEL & COMPACTED SOIL	0.03 Ac (3%)	C	3.05[1.59]	1.03[0.46]
ROOF - PAVEMENT	0.82 Ac (94%)	D	4.34[2.71]	2.33[1.51]
	0.87 Ac			

THEREFORE:  $E_{Weighted} = 2.2 In.$  &  $VOLUME 100 = 6948 CF$   
 $Q100 \approx 3.6 CFS$  INCREASE, 0 CFS, 0 C.F.

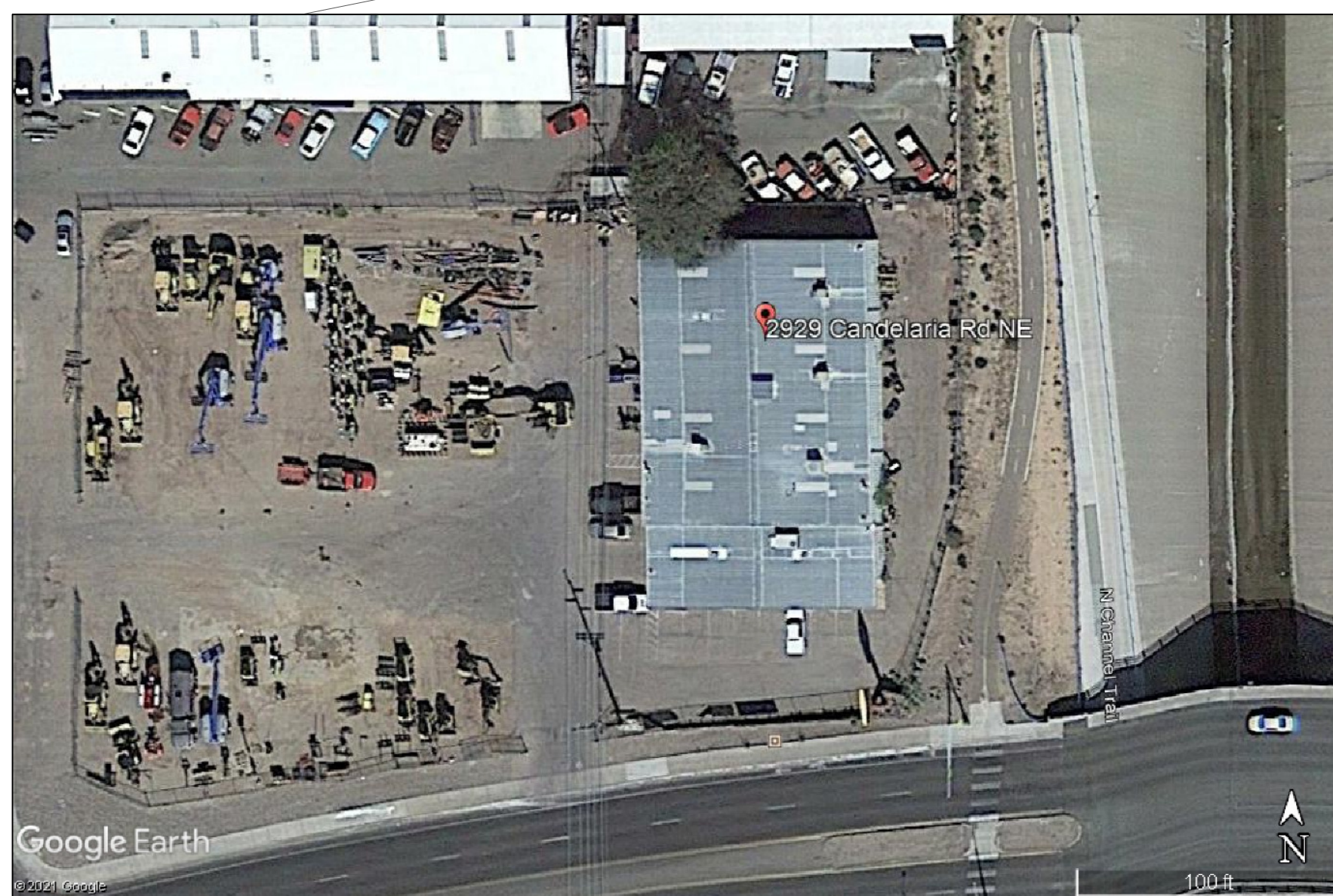
CHECK FIRST FLUSH, Storm Water Quality Pond for Redevelopment

2400 SF X 0.26 INCHES/12 = 52 CF  
THEREFORE: THE 54 CF IS PROVIDED WITHIN THE LIMITED DEPRESSED LSI ISLANDS, OR PROVIDE \$8/CF X 52 = \$416 CASH-IN-LIEU

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.



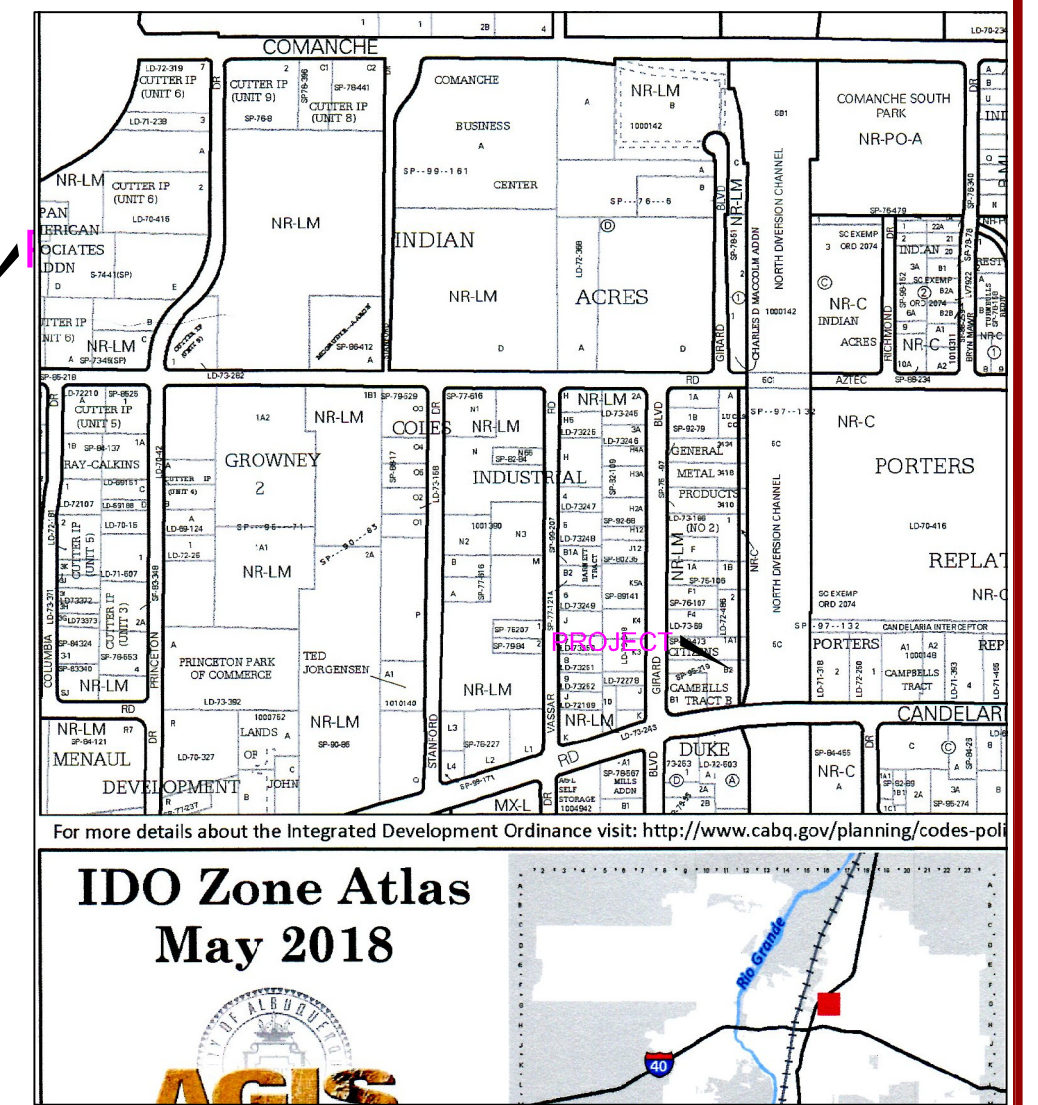
NOTE: NO CHANGES TO EXISTING TRAFFIC CIRCULATION OR PARKING.  
NO CHANGES TO EXISTING GRADING AND DRAINAGE. NEW BUILDING  
ADDITION REPLACES IMPERMEABLE ASPHALT AREA TO BE REMOVED.



ORTHO-PHOTO OCTOBER 2020

EXISTING  
CB - CONCRETE CURB  
DC - DRIVEWAY CUT  
EA - EDGE OF ASPHALT  
EC - EDGE OF CONCRETE  
FF - FINISH FLOOR  
FL - FLOW LINE  
G - GROUND  
SASM - SAS MAN HOLE  
TA - TOP OF ASPHALT  
TC - TOP OF CONCRETE  
WM - WATER METER

5/21/21  
PHILIP W. CLARK  
NEW MEXICO  
10285  
REGISTERED PROFESSIONAL ENGINEER



G-16-Z

## VICINITY MAP

## NOTES

- ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
- AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
- CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
- REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
- MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1, <3' TALL. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

## LEGEND

EXIST. SPOT ELEVATION	X4924.0
EXIST. CONTOUR	10
NEW SPOT ELEVATION (FINISH)	24.0
NEW CONTOUR	12
NEW SWALE	
DRAINAGE DIRECTION, EXISTING	
NEW CONCRETE CURB (0.5' HEIGHT)	
NEW P.C.C., CONCRETE	
TOP OF CURB, EXISTING	TC
TOP OF ASPHALT	TA
FLOWLINE	FL
EXISTING POWER POLE	o P.P.
FACE OF CURB/FACE OF CURB	F-F
WATER BLOCK	

## PROJECT DATA

### LEGAL DESCRIPTION

TRACT B-2, CAMPBELL'S TRACT 'B',  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

### PROJECT BENCHMARK

TOP OF BRASS CAP SET FLUSH IN GROUND. MSL ELEVATION = 5112.36, A  
COA 3-1/4" DIAMETER MONUMENT, "2-G16", LOCATED 28' NORTHEAST OF  
THE PROPERTY SE CORNER.

### TOPOGRAPHIC DESIGN SURVEY

PROVIDED FROM COA LIDAR, BOHANNAN HUSTON ALTA SURVEY, AND  
COMPILED BY CLARK CONSULTING ENGINEERS.

Clark Consulting Engineers Edgewood, New Mexico 87015			
Tele: (505) 281-2444		Cell/Txt: (505) 264-6042	
DATE	REVISION	LOT B-2, CAMPBELL TRACT 'B', ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO 2929 CANDELARIA ROAD, NE GRADING & DRAINAGE PLAN	
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: Cohen_GD	GD-1
CHECKED BY: PWC	DATE: MAY 2021	FILE #: G/D	