

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 20, 2022

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 3800 Vassar Dr. NE
Grading and Drainage Plan
Engineer's Stamp Date: 05/12/22
Hydrology File: G16D112

Dear Mr. Soule:

Based upon the information provided in your submittal received 05/12/2022, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please pay the Payment-in-Lieu of \$ 922.13 using the attached City of Albuquerque Treasury Deposit form. Please email this form to PLNDRS@cabq.gov. Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 3800VASSAR **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A LANDS OF BRUCE JOHNSON
City Address: 3800 VASSAR NE

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER
QUALITY VOLUME MANAGEMENT ON-SITE**

GENERAL INFORMATION

APPLICANT: _____ DATE: _____

DEVELOPMENT: _____

LOCATION: _____

STORMWATER QUALITY POND VOLUME

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is _____ cubic feet

The provided volume is _____ cubic feet

The deficient volume is _____ cubic feet

WAIVER JUSTIFICATION

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:

- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
 - b. Any of the following conditions apply:
 - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
 - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
 - iii. The site use is inconsistent with the capture and reuse of stormwater.
 - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
 - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
 - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
 - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: _____

Professional Engineer or Architect

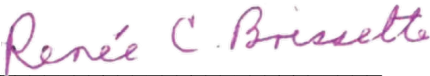
PAYMENT-IN-LIEU

Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ _____

THIS SECTION IS FOR CITY USE ONLY

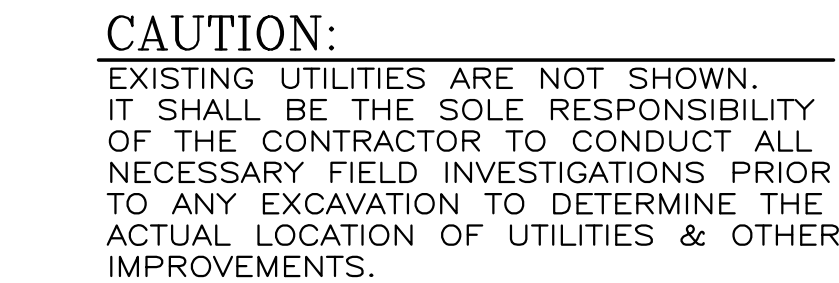
- ☐ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.
- ☐ Waiver is DENIED.



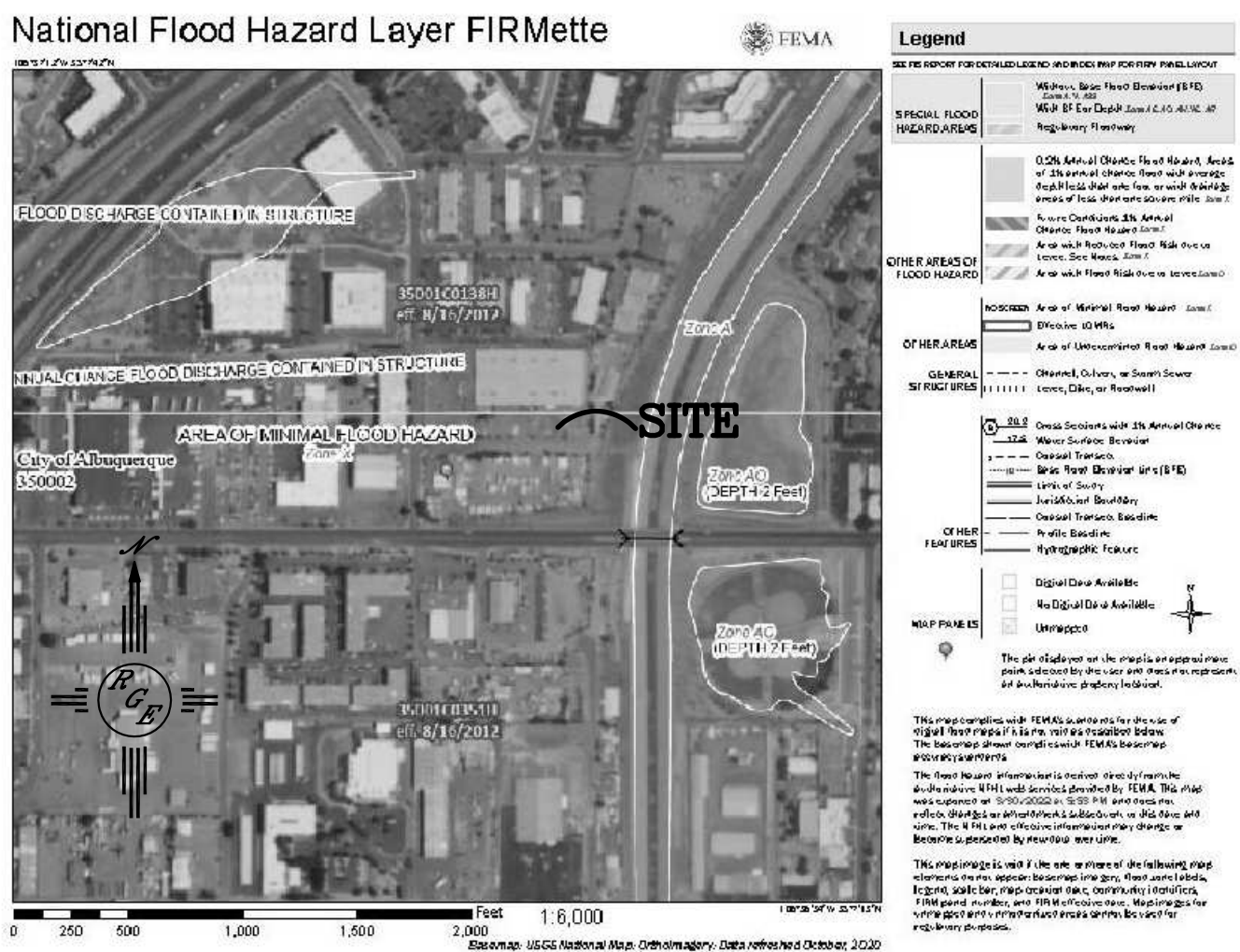
City of Albuquerque
Hydrology Section

Equations	
Weighted E = Ea* <i>A</i> a + Eb* <i>A</i> b + Ec* <i>A</i> c + Ed* <i>A</i> d / (Total Area)	
Volume = Weighted D * Total Area	
Flow = Qa * <i>A</i> a + Qb * <i>A</i> b + Qc * <i>A</i> c + Qd * <i>A</i> d	
Where for 100-year, 6-hour storm(zone2)	
Ea= 0.62	Qa= 1.71
Eb= 0.6	Qb= 2.36
Ec= 1.03	Qc= 3.05
Ed= 2.33	Qd= 4.34

This site is an existing fully developed lot. The site currently free discharges 11.80 cfs to the adjacent Johnville right of way. The drainage from the upland adjacent right of way is allowed to enter and pass through the site. The upland flow is minor due to the north diversion channel and Commanche roadway. The site is part of basin B-2 of the SAD 216 drainage report prepared by Andrews, Asbury and Roberts. This basin contains 35.9 acres and is allowed to generate 145 cfs, therefore the allowable discharge is 4 cfs per acre. There for the site is allowed to discharge 12.24 cfs. The improvements are located on impervious area, therefore no increase in discharge is proposed. The drainage patterns and remain unchanged. Due to lack of ability to construct pond reasonably a fee in lieu payment is proposed



1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. NO PONDING WITHIN 10' OF STRUCTURE.
4. SURVEY INFORMATION PROVIDED BY Ronald A. Forstbauer Surveying Company UTILIZING NAVD 1988 DATUM

City of Albuquerque
Planning Department
Development Review Services

HYDROLOGY SECTION

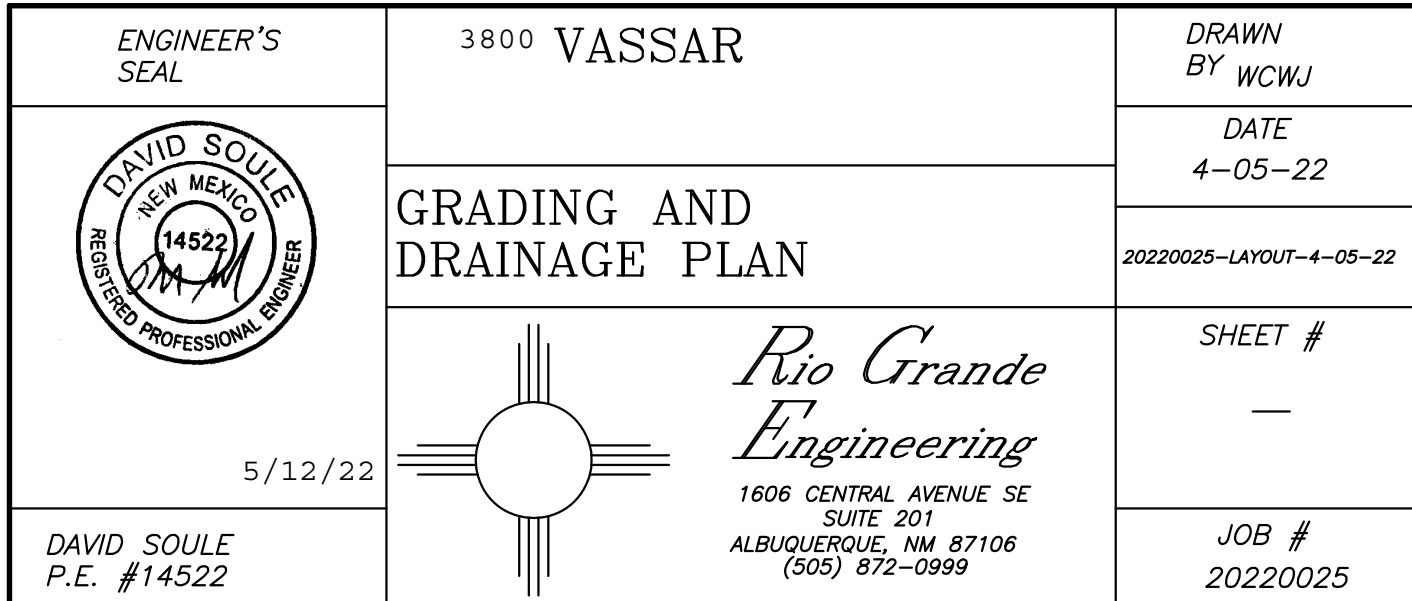
APPROVED

DATE: 05/20/22

BY: Renee C Bruneau

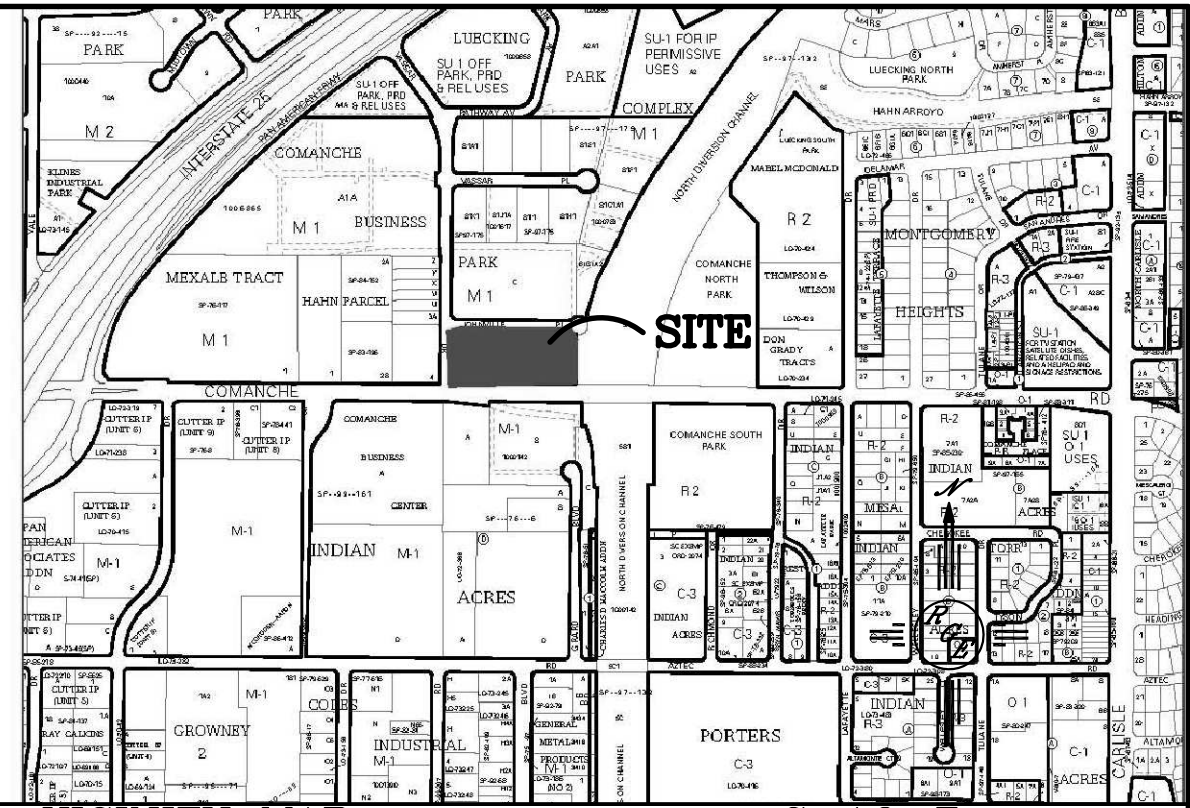
HydroTrans # G16D12

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF THE ACCURACY OR COMPLIANCE OF STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM ENFORCEMENT OF ANY ORDINANCE OR ORDER OF COMMISSIONERS IN PLAN, SPECIFICATION, OR CONSTRUCTION, SUCH AS APPROVED IN PLAN SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

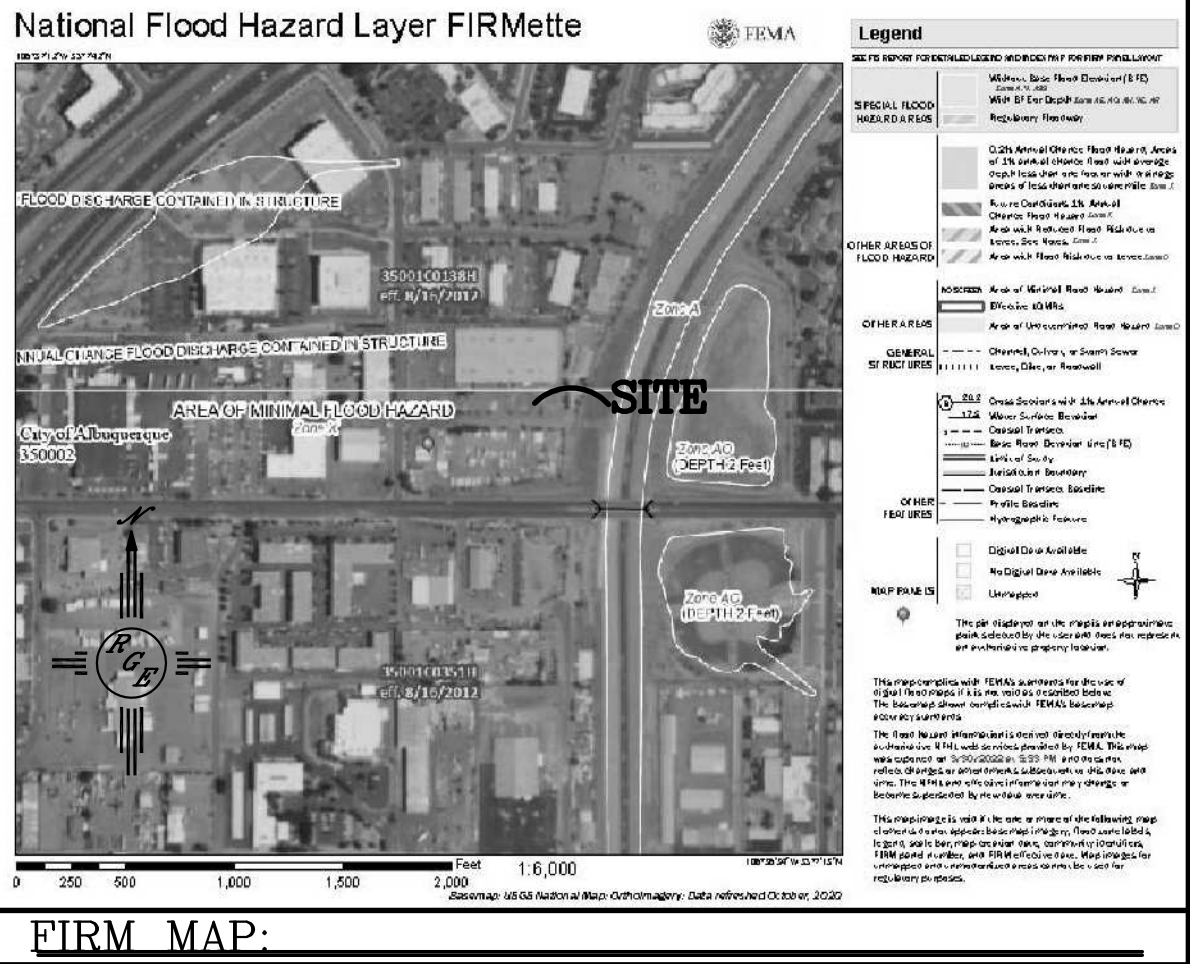


EROSION CONTROL NOTES:

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VICINITY MAP: G-16-Z



FIRM MAP:

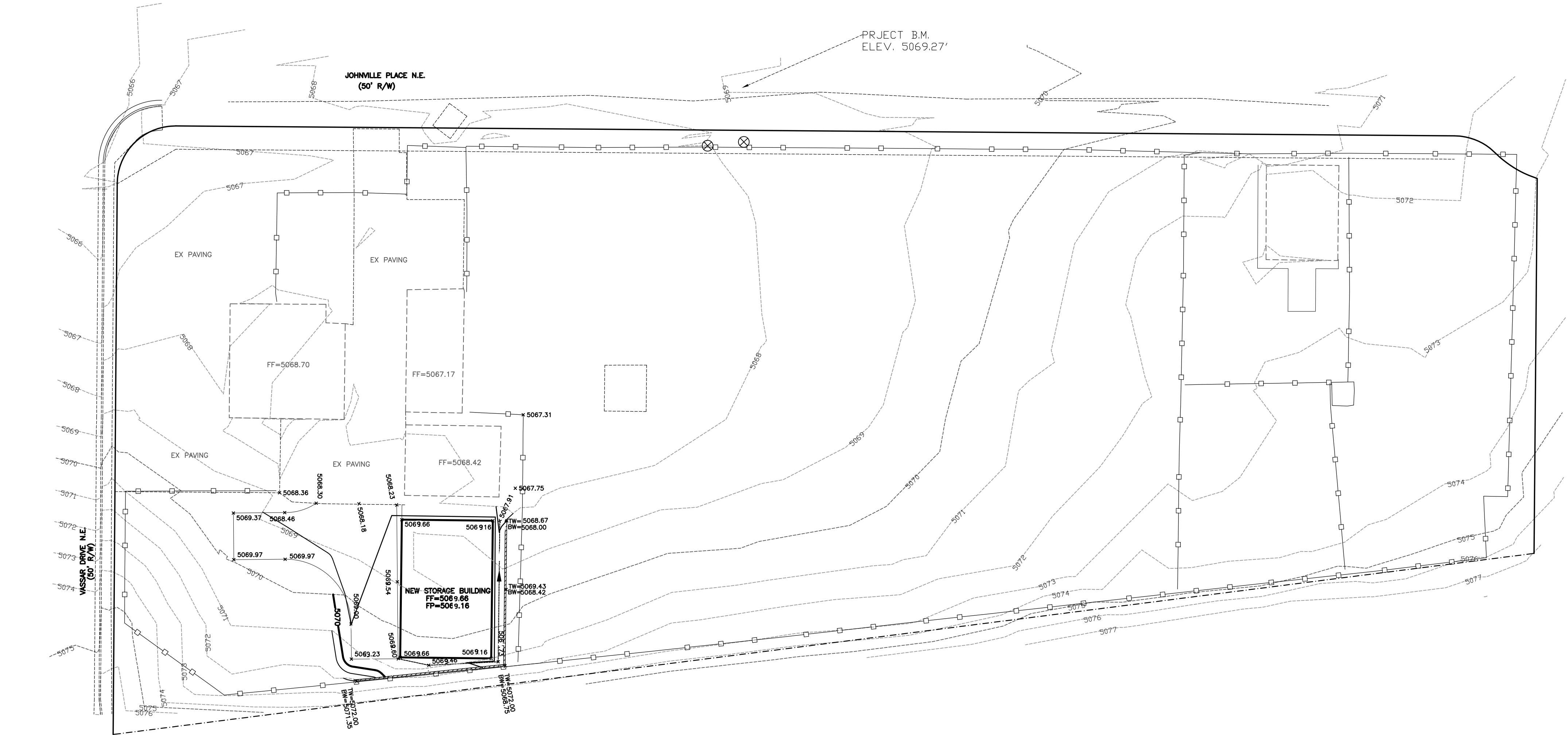
LEGAL DESCRIPTION:
Tract A, Lands of Bruce D. Johnson

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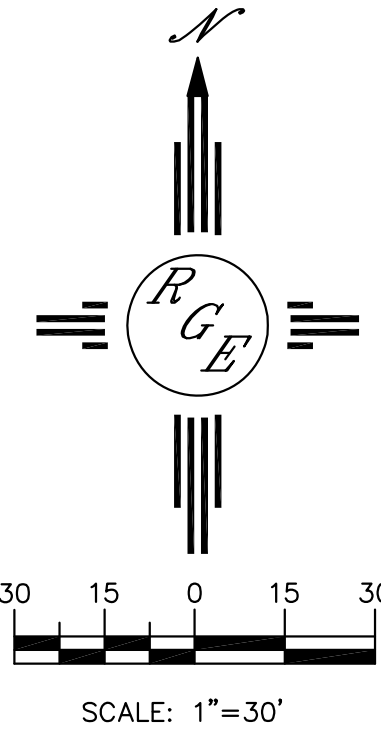
LEGEND

- XXXXX----- EXISTING CONTOUR
- XXXXX----- EXISTING INDEX CONTOUR
- XXXXX----- PROPOSED CONTOUR
- XXXXX----- PROPOSED INDEX CONTOUR
- XXXXX----- SLOPE TIE
- XXXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY LINE
- CENTERLINE
- RIGHT-OF-WAY
- LIMITS OF PAVEMENT CUT
- EXISTING CURB AND GUTTER



CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



ENGINEER'S SEAL	3800 VASSAR	DRAWN BY WCHJ
	OVERALL GRADING AND DRAINAGE PLAN	DATE 4-05-22
		20220025-LAYOUT-4-05-22
5/12/22	 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 2 OF 2
		JOB # 20220025