



October 19, 1998

Jeff Mortensen
Jeff Mortensen & Associates Inc.
6010-B Midway Park Blvd. NE
Albuquerque, New Mexico 87109

RE: ENGINEER CERTIFICATION FOR MCO ELECTRIC (G16-D117) CERTIFICATION
STATEMENT DATED 9/24/98

Dear Mr. Mortensen :

Based on the information provided on your September 24, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely



Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





May 18, 1998

Jeff Mortensen, P.E.
6010 B Midway Park Blvd. NE
Albuquerque, NM 87109

RE: MCO ELECTRIC(G16-D117). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED APRIL 23, 1998.

Dear Mr. Mortensen:

Based on the information provided on your April 23, 1998 submittal, the above referenced project is approved for Building Permit.

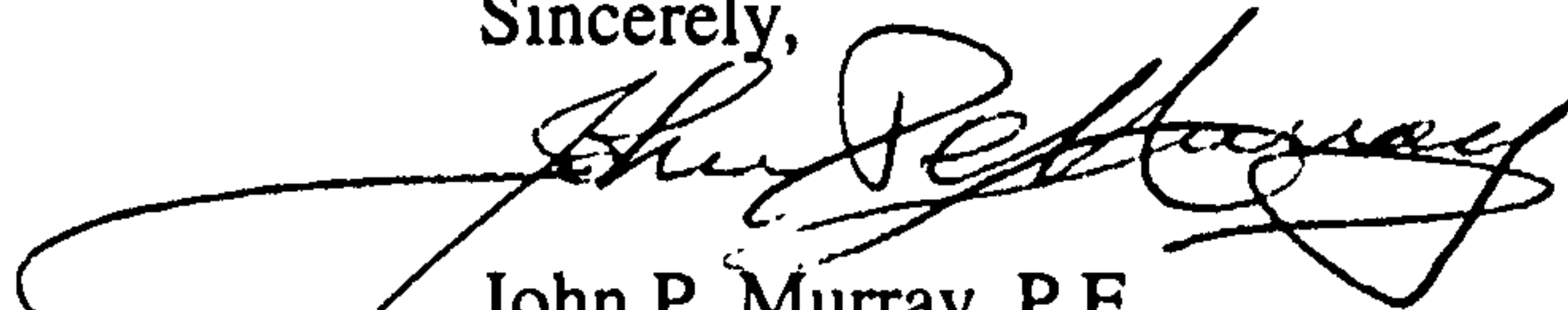
A separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c:

✓ Andrew Garcia

✓ File

Arlene Portillo

SO #19
to ST. Maint.

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

980211

PROJECT TITLE: MCO ELECTRIC ZONE ATLAS/DRNG. FILE #: G16/D117
DRB #: _____ EPC #: _____ WORK ORDER #: 582581
LEGAL DESCRIPTION: Lots 3, 4, 5, Block 2, Indian Rest Addition
CITY ADDRESS: 3508 Richmond Drive N.E.
ENGINEERING FIRM: Jeff Mortensen & Associates CONTACT: Jeffrey G. Mortensen
ADDRESS: 6010-B Midway Park Blvd. N.E. PHONE: 345-4250
OWNER: MCO ELECTRIC CONTACT: Mike O'Dell
ADDRESS: 2934 Kentucky N.E. 87110 PHONE: 881-6727
ARCHITECT: SLNB ARCHITECTS CONTACT: Jim Lewis
ADDRESS: 1620 Central S.E. PHONE: 247-1529
SURVEYOR: Southwest Surveying CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☒ YES (Informal w/Lisa Manwill)
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

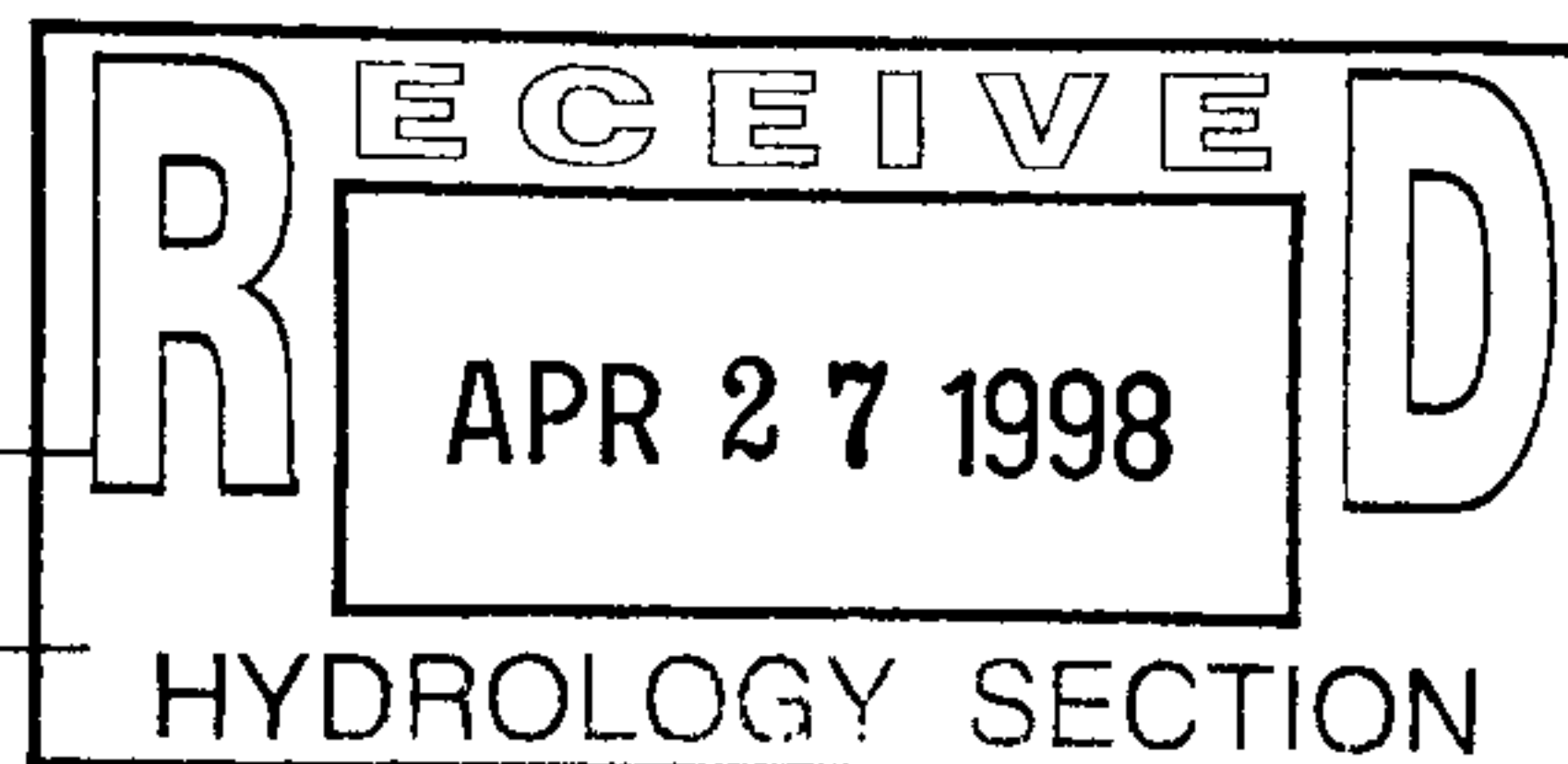
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER SO #19 (SPECIFY)

DATE SUBMITTED:

04-27-98

BY:

Jeffrey G. Mortensen, P.E.





Jeff Mortensen & Associates, Inc.
Engineers & Surveyors

Jeffrey G. Mortensen, P.E.
Juan M. Cala
Charles G. Cala, Jr., P.S.

980211
April 22, 1998

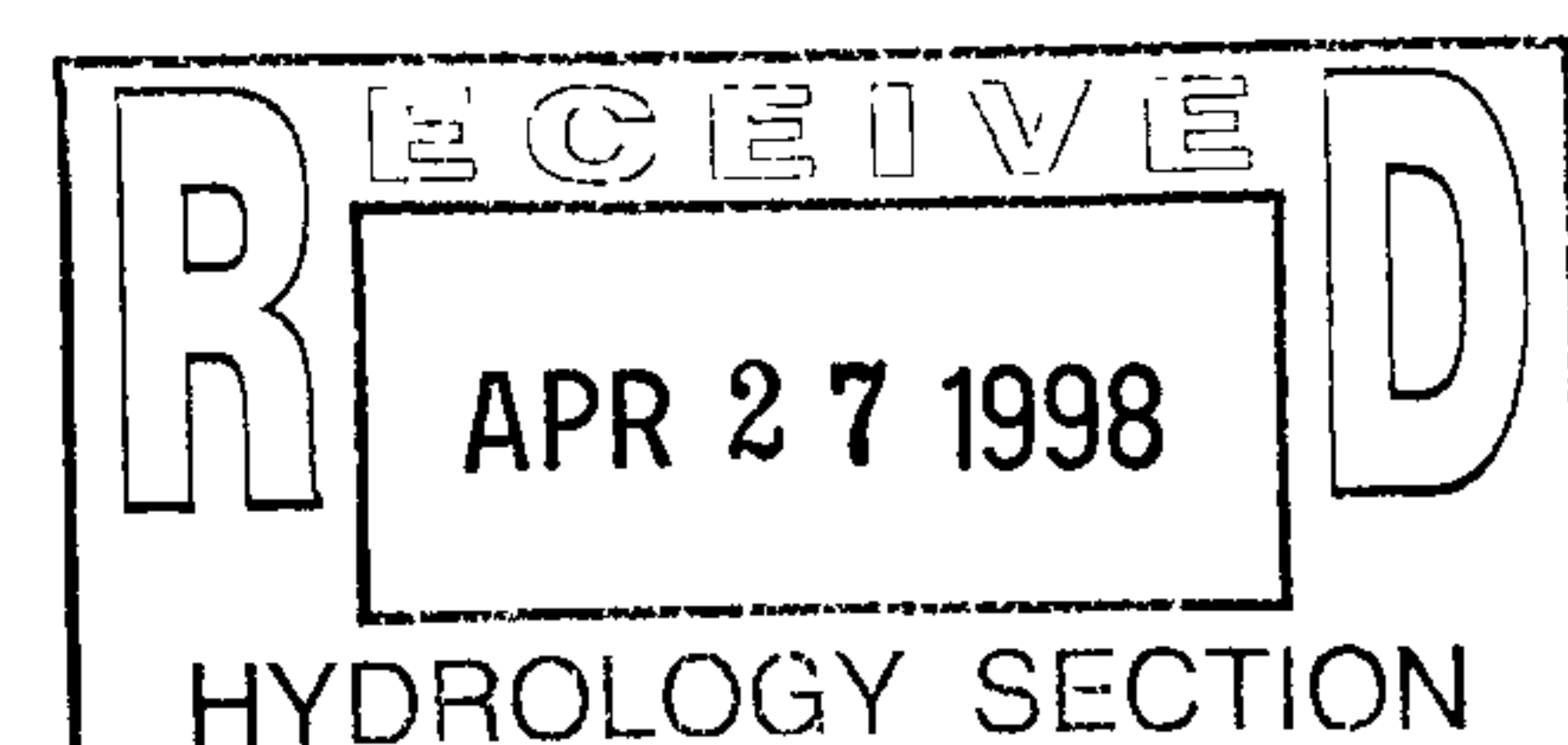
Mr. John P. Murray, P.E.
City of Albuquerque
Public Works Department
Hydrology Section
Plaza Del Sol - Second Floor
Albuquerque, NM 87102

Re: MCO Electric - **G16/D117**

Dear John:

We are in receipt of your written comments dated April 16, 1998. In response to your comments, we resubmit the Grading and Drainage Plan and provide the following written responses. Our responses follow the sequence of your comments.

1. The SO 19 Notes are incorporated into the "Construction Notes". The SO 19 signature block appears in the title block at the bottom of the sheet.
2. The south half of the roof will not be guttered. The runoff generated by the south half of the roof will fall onto the existing concrete apron and/or sidewalk that will abut the building at that location.
3. The Drainage Calculations have been revised.
4. The approval for offsite grading from the owner of Lot 6 appears on the drawing by signature. Runoff generated by Lot 6 has been addressed in the supplemental text which has been incorporated onto the plan. Lots 3, 4, and 5 will be developed as a single parcel, hence Drainage Easements will not be required. The offsite flows from Lot 6 will be accepted as an interim condition which is addressed by the supplemental text, as well as the original Drainage Report.
5. The drainage rundown at the end of Richmond Drive is shown on the plan. Due to graphic constraints, the rundown has not been extended north to the Comanche South Park Pond.



980211

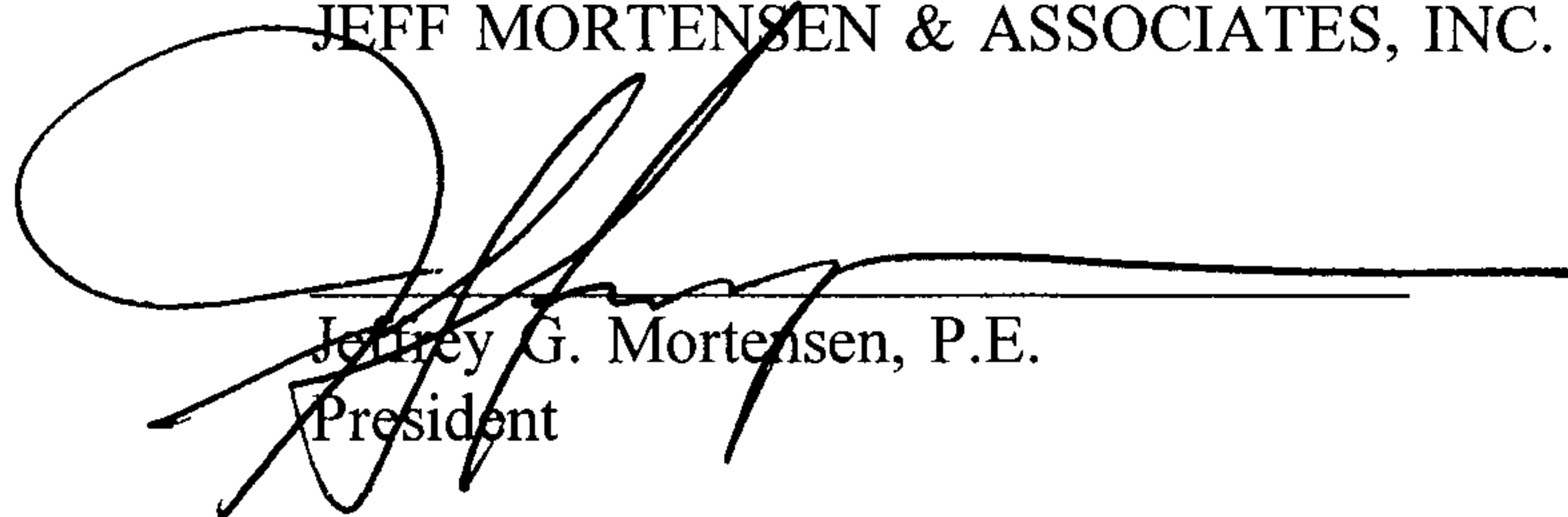
April 22, 1998

Page 2

I hope that the above responses and the revised plan satisfactorily address your comments and concerns. I would also like to thank you for meeting me without notice on April 22, 1998. If you should have any questions or comments concerning this response, and/or this resubmittal, please do not hesitate to call.

Sincerely,

JEFF MORTENSEN & ASSOCIATES, INC.

A handwritten signature in black ink, consisting of a large, stylized 'J' followed by 'G. Mortensen'. The signature is written over a horizontal line.

Jeffrey G. Mortensen, P.E.
President

JGM:dsj

Enclosure

xc: Mike O'Dell
Jim Lewis



April 16, 1998

Jeff Mortensen, P.E
6010 B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: MCO ELECTRIC (G16-D117). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED APRIL 3, 1998.**

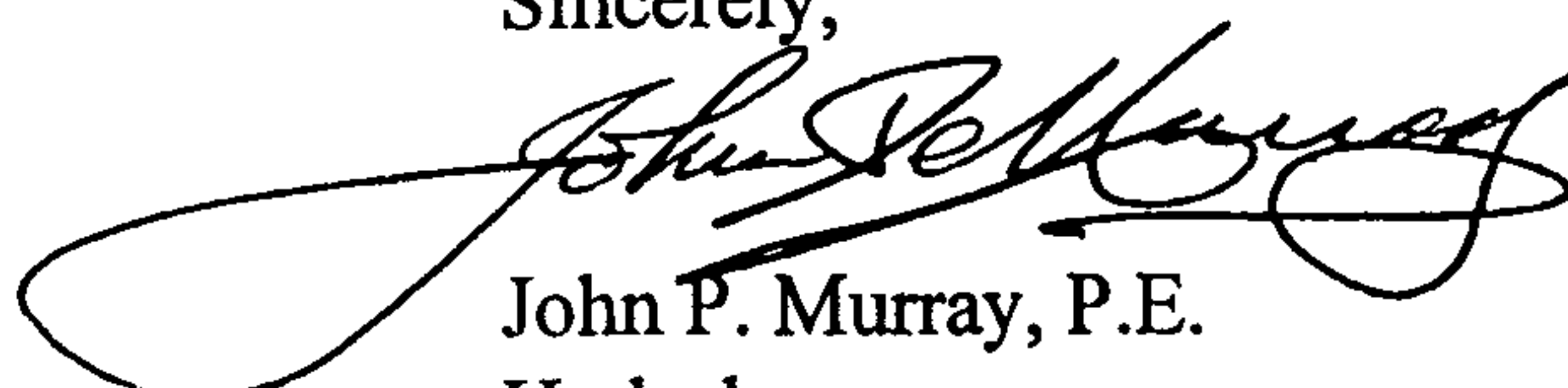
Dear Mr. Mortensen:

Based on the information provided on your April 3, 1998 submittal, listed are some concerns that will need to be addressed prior to final approval for the Building Permit and S.O.# 19 :

1. Six notes and signature block from the SO #19 format within the plan drawing.
2. Is the south half of the roof drainage also to have a gutter to west?
3. Based upon the existing land treatment area (19,050 SF), Project is limited to Lots 3,4, and 5. The developed land treatment is inconsistent. Most of the site will be building and parking lot with the remainder landscaped; therefore, "C" area would vanish. Calculations should be revised accordingly.
4. Permission will be required to do grading on Lot 6. Also, Lot 6 contributes runoff to site. Lot line drainage easements will be required for all lots involved.
5. The drainage rundown at the end of Richmond Drive, which is part of City Project # 5825.81, should be shown.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

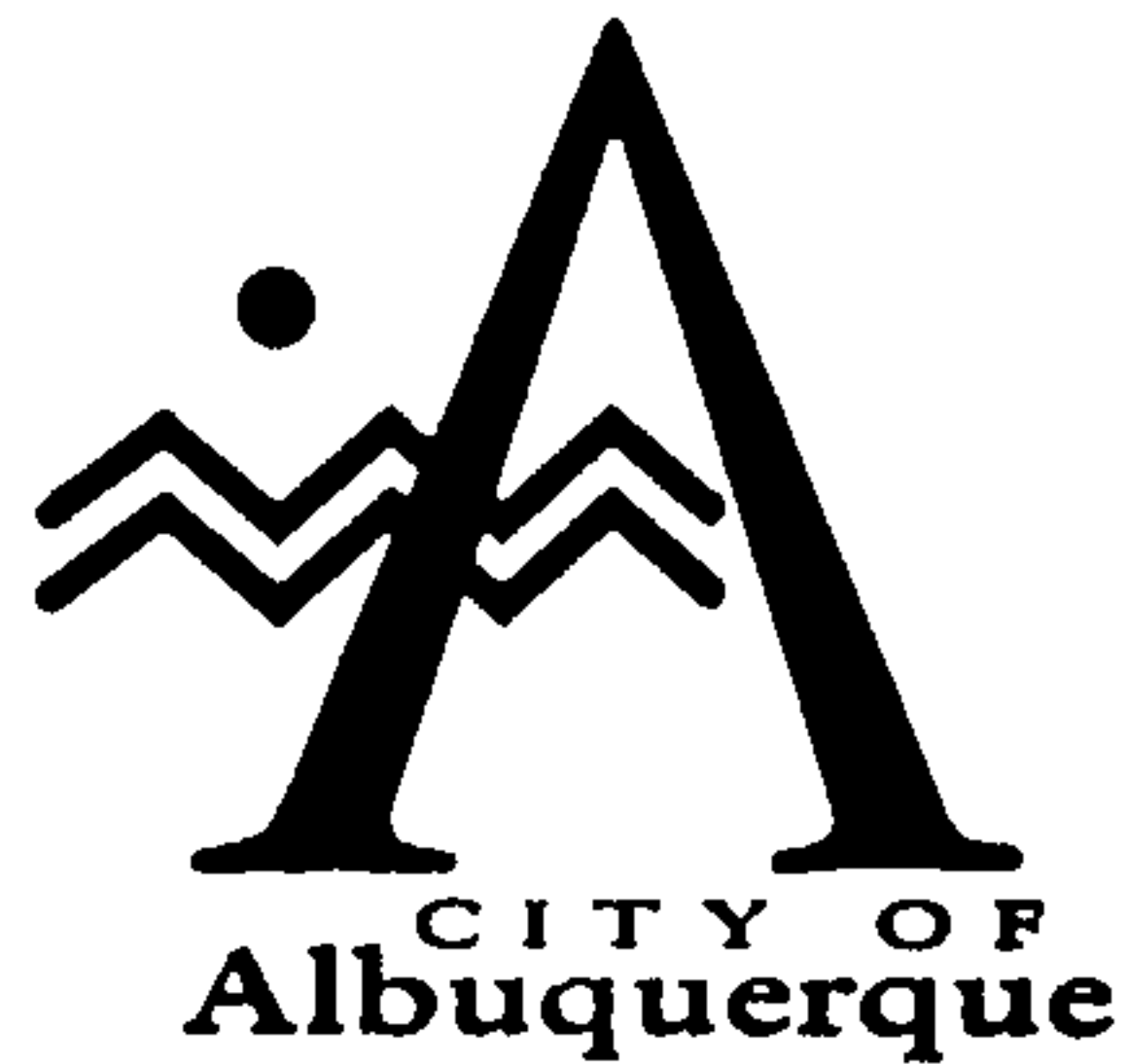


John P. Murray, P.E.
Hydrology

c: Andrew Garcia
File

Good for You, Albuquerque!





April 16, 1998

Jeff Mortensen, P.E
6010 B Midway Park Blvd. NE
Albuquerque, NM 87109

**RE: MCO ELECTRIC (G16-D117). GRADING AND DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED APRIL 3, 1998.**

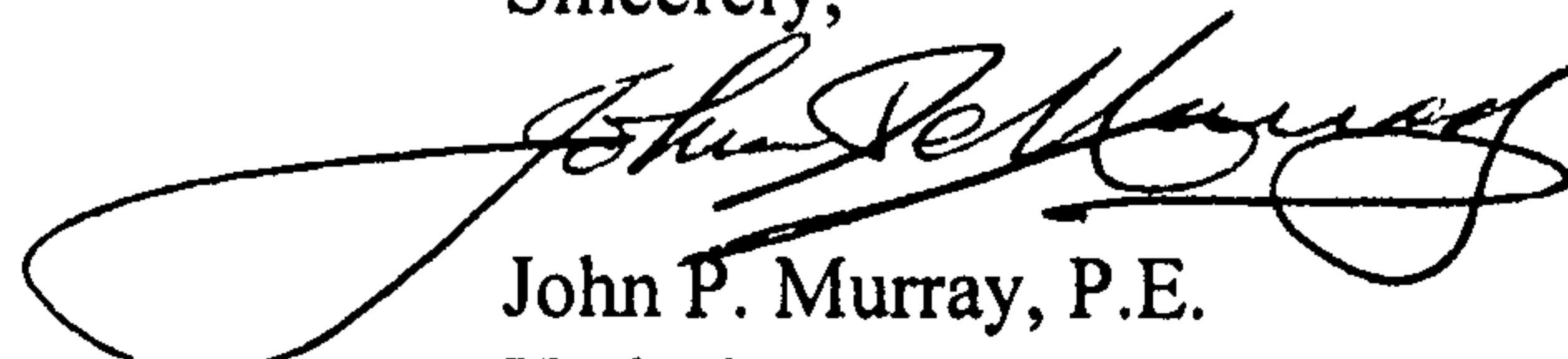
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If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: Andrew Garcia
✓ File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

980211

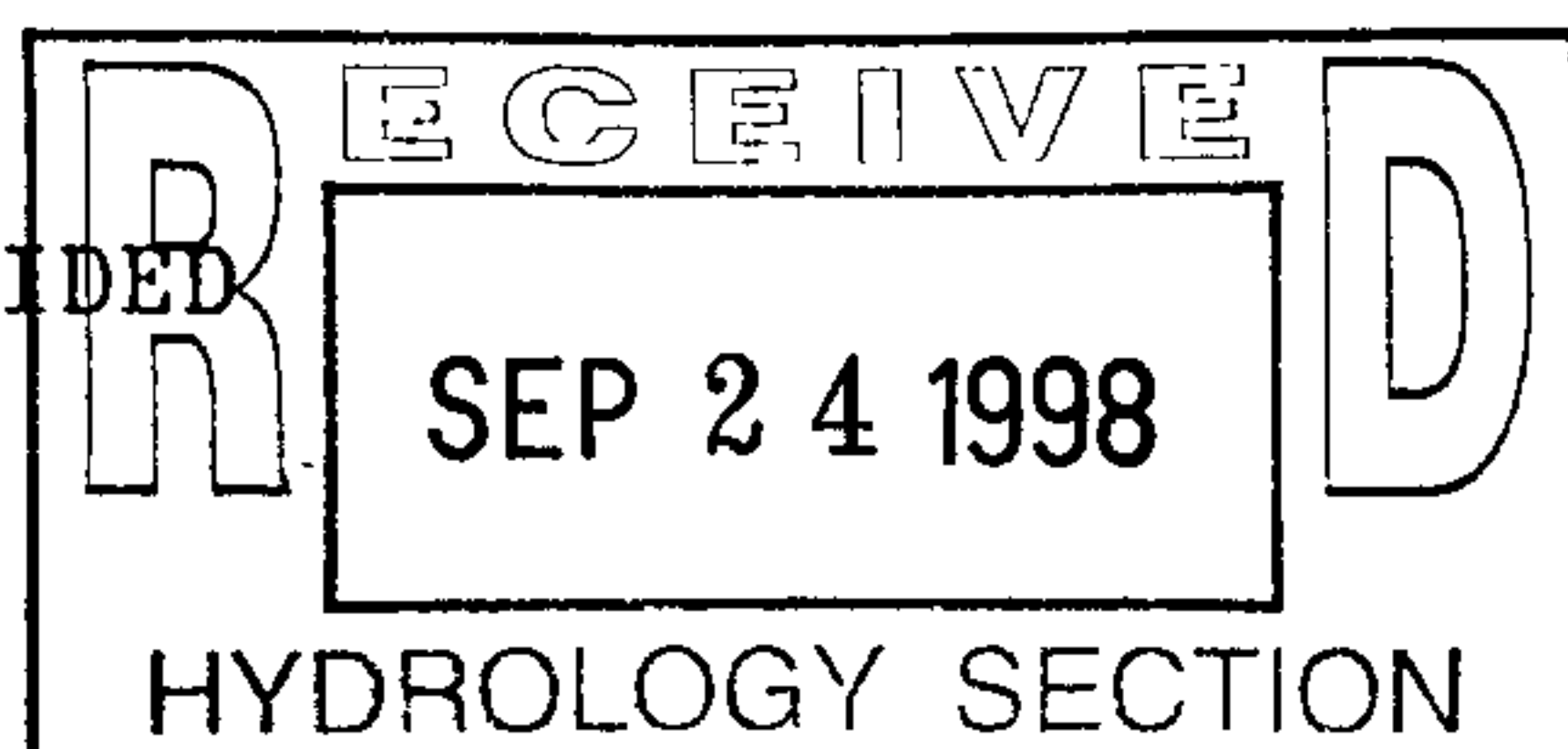
PROJECT TITLE: MCO ELECTRIC ZONE ATLAS/DRNG. FILE #: 916/0117
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOTS 3, 4 & 5, BLK 2, INDIAN REST ADDN
CITY ADDRESS: 3508 RICHMOND NC
ENGINEERING FIRM: JEFF MORTENSEN & ASSOC. CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NC PHONE: 345-4250
OWNER: MCO ELECTRIC CONTACT: MIKE O'BEN
ADDRESS: 3508 RICHMOND PHONE: 881-6727
ARCHITECT: SLNB CONTACT: Jim LEWIS
ADDRESS: _____ PHONE: _____
SURVEYOR: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN
ADDRESS: 6010-B MIDWAY PARK BLVD NC PHONE: 345-4250
CONTRACTOR: MCO ELECTRIC CONTACT: MIKE O'BEN
ADDRESS: 3508 RICHMOND PHONE: 881-6727

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☒ OTHER (WORK ORDER completion)

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

09/24/98

BY:

JEFFREY G. MORTENSEN



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Public Works Department

July 21, 1998

Certificate of Work Order Completion

City Engineer
600 Second St.
Plaza Del Sol
Albuquerque, NM 87102

44-2315.0

Re: Richmond Drive - Project No. 5825.81 (Map No. G-16-Z)

Dear Sir:

This is to certify that Project No. 5825.81 has been completed according to approved plans and construction specifications. Please be advised this Certificate of Work-Order Completion does not constitute acceptance of the city infrastructure until all requirements of the subdivision improvements agreement have been satisfied and a Certificate of Completion and Acceptance is issued by the City Engineer.

The project is described as follows:

The project is located on Richmond Drive just north of Aztec NE. The improvements include 515 feet of new arterial paving twenty-two feet wide with 517 feet of curb and gutter along the East Side of the street. A drive pad was built and a widened section of pavement was paved opposite that drivepad to provide a turn around for this dead end street. An asphalt paved storm drain rundown extends from the end of the pavement with riprap at the bottom of the rundown.

A 6" waterline was extended 988 feet from Aztec north and then east to Bryn Mawr. Two 3/4" services were connected to that 6" water main.

A 3" force main sewer 536 foot long was installed on Richmond and that line empties into a manhole on Aztec. The 1 1/4" force main services were connected to that 3" SAS main line.

Richmond Drive
Project No.. 5825.81
Page 2

The contractor's correction period will begin the date of the City Engineers Certificate of Completion and Acceptance letter and is effective for a period of one (1) year.

Sincerely,

 7/21/98

Peter Chang, P.E.
Acting Chief Construction Engineer
Public Works Department

C: Sundance Mechanical
Crawford Development Services
Fred Aquirre, Hydrology, PWD
Tina Pohl, DRC
Terri Martin, DRC
Martin Barker, Materials Testing Lab
Sam Hall, Water Systems
Ray Chavez, Traffic Engineering, PWD
Josie Jaramillo, New Meter Sales, PWD
Richard Zamora, Maps & Records, PWD
John Ewing, Risk Management
Project No. 5825.81
Warranty: Contract
jtg

DRAINAGE INFORMATION SHEET

980211

PROJECT TITLE: MCO ELECTRIC ZONE ATLAS/DRNG. FILE #: 916/D117

DRB #: _____ EPC #: _____ WORK ORDER #: 582581

LEGAL DESCRIPTION: LOT 3, 4, 5, BLOCK 2, INDIAN REST ADDITION

CITY ADDRESS: 3508 RICHMOND DR. NE

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC CONTACT: JEFF MORTENSEN

ADDRESS: 6010 B MIDWAY PARK BLVD NE PHONE: 345-4250

OWNER: MCO ELECTRIC CONTACT: MIKE O'DELL

ADDRESS: 2934 KENTUCKY RD PHONE: 881-6727
87110

ARCHITECT: SLNB ARCHITECTS CONTACT: JIM LEWIS

ADDRESS: 1620 CENTRAL SE PHONE: 247-1529

SURVEYOR: SOUTHWEST SURVEYING CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

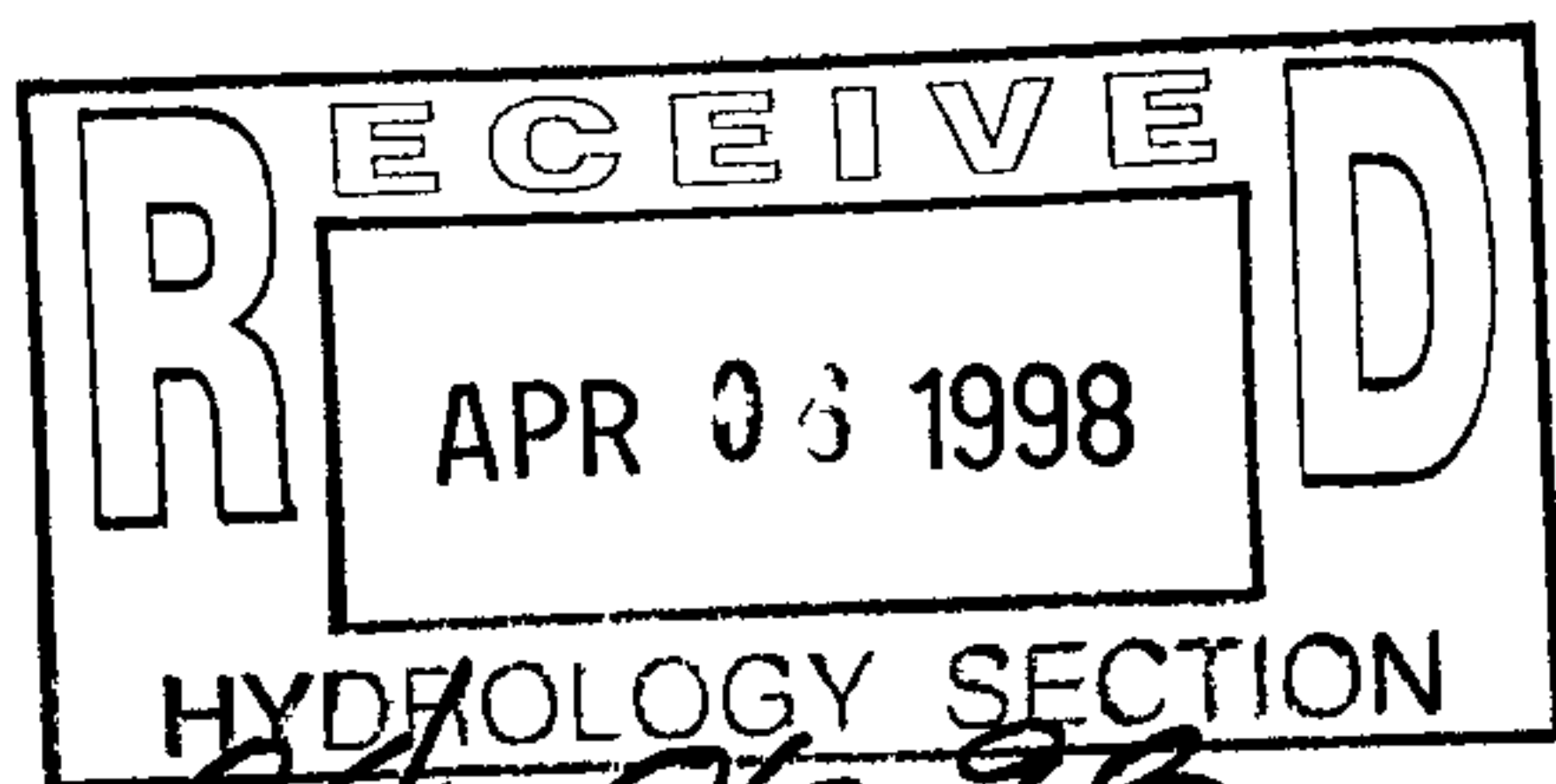
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☒ YES (INFORMAL W/ LISA
MANWILL)
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☒ OTHER 50 #19 (SPECIFY)

DATE SUBMITTED: 04-06-98BY: JEFFREY G. MORTENSEN